

City of Marquette, MI



Meeting Agenda City Commission

Monday, June 9, 2025

6:00 PM

Commission Chambers

300 West Baraga Ave
Marquette, Michigan 49855

Call to Order, Pledge of Allegiance and Roll Call

Approval of the Agenda

Announcements

Boards and Committees

1. Reappointment(s)

Amy Manning, Marquette County Solid Waste Management Authority, for a term ending 7-1-2028

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Presentation(s)

2. Board of Zoning Appeals, by Chair Heather Dombrowski

3. Consent Agenda - Roll Call Vote

3.a. Approve the minutes of the May 27, 2025 regular Commission meeting

3.b. Approve the total bills payable in the amount of \$346,759.08 which excludes \$657 in City Commission travel reimbursement, this reimbursement will be New Business item #4.

3.c. AWH Change Order - Presque Isle Bandshell Professional Services

3.d. Application for License to Use City Property adjacent to 1148 W. Washington Street

3.e. Becky's Roadside Refreshment, LLC - Presque Isle Park Concession Lease Agreement

3.f. Becky's Roadside Refreshment, LLC - Mattson Park Concession Lease Agreement

3.g. MERS Resolution Establishing Military Service Contribution Requirements for Defined Benefit - Roll Call Vote

3.h. Schedule Public Hearing- 01-PUD-03-25

3.i. Schedule Public Hearing- Abatement of a Dangerous Structure - 308 S. Fifth

Street

New Business

4. Commissioner Davis Travel Reimbursement
5. Superior Watershed Partnership 25th Anniversary Proclamation
6. Attorney-Client Privileged Memo – Kruhak v City of Marquette, et al.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Comments from the Commission

Comments from the City Manager

Adjournment

Kyle Whitney, City Clerk

If you require assistance to participate in any meeting, program or activity offered by the City of Marquette, please provide advanced notice to City of Marquette ADA Coordinator Eric Stemen at 906-225-8978 or via email at estemen@marquettemi.gov.

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

Approve the minutes of the May 27, 2025 regular Commission meeting

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ 05-27-25 Meeting Minutes



City of Marquette, MI

300 West Baraga Ave
Marquette, Michigan 49855

Meeting Minutes City Commission

Tuesday, May 27, 2025

6:00 PM

Commission Chambers

Call to Order, Pledge of Allegiance and Roll Call

Present: Davis, Gottlieb, Hanley, Larson, Mayer, Ottaway, Schloegel

Approval of the Agenda

Mayor Pro Tem Paul Schloegel moved to Approve the agenda as written, seconded by Commissioner Sally Davis and Carried Unanimously.

Announcements

Mayor Hanley asked staff to talk about the events happening this week related to the formulation of an Active Transportation Plan for the City.

Deputy City Manager Sean Hobbins said the City is currently working on the plan, which focuses on various forms of travel. He said that over the next two days, the City will host public engagement events, including pop-up activities during the day and evening workshops. He said the goal is to gather public input and meet people where they are and he said an online survey is also available to collect additional feedback.

Boards and Committees

1. Reappointment(s)

Madeline Goodman, Arts and Culture Advisory Committee, for a term ending 6-1-2028
George Patrick, Marquette Area Wastewater Treatment Advisory Board, for a term ending 6-1-2028

Commissioner Sally Davis moved to Approve the reappointments as listed, seconded by Commissioner Jerney Ottaway and Carried Unanimously.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Chelsey Wilkinson, representing Room at the Inn, expressed gratitude to the City Commission, City and Police leadership, and Room at the Inn's board for engaging in a productive discussion about the ordinance proposed tonight. She thanked officials for delaying the vote to allow for that dialogue and appreciated the commitment to revisit the ordinance in six months. She also encouraged the City to re-establish a homelessness

task force, involving nonprofits and public agencies at both the city and county levels. She said it was good to have this discussion about helping the homeless but also allowing the Police Department to protect the community.

Margaret Brumm spoke about her recent experiences in the City Police Department's Citizens Academy and spoke about the bike rodeo safety event happening this week.

David Nyren said he supports limiting overnight occupation of public property and said that real solutions require investment in services like addiction treatment, job training, and mental health care. He said that allowing overnight occupation doesn't address root causes and could strain local resources.

David Campana spoke in support of water fluoridation, noting that the practice is widely used and that he believes it is safe.

Presentation(s)

2. Recognition of City Retiree - Battalion Chief Brian Talvensaari

Fire Chief Ian Davis spoke about retiring Battalion Chief Brian Talvensaari, who has spent 27 years with the Marquette City Fire Department. Originally from the Copper Country, Brian began his career as a volunteer firefighter, later serving in multiple roles including EMT, fire investigator, and hazmat technician. He also served on the Michigan Fire Safety Board and earned national certification. Commissioners thanked Mr. Talvensaari for his dedication and wished him well in retirement, noting he will be greatly missed.

Public Hearing(s)

3. Public Hearing - Single Lot Special Assessment Roll #592

Mayor Hanley opened the public hearing.

Marcus Cook commented, indicating that he was unhappy with the charge related to the City mowing his lawn. He voiced frustration with this process and said he was hoping to grow native plant species while maintaining his yard within the established limits.

Staff and Commissioners emphasized the standard City procedure, which includes multiple notices and efforts by staff to contact property owners. They said the charge largely reflects reimbursement for City-incurred costs and said the City now allows alternative landscaping under updated ordinances, provided residents follow a certification process.

With no one else looking to comment, Mayor Hanley closed the hearing.

Commissioner Cary Gottlieb moved to Approve confirm Single Lot Special Assessment Roll #592, and authorize the Mayor to sign the Warrant, seconded by Mayor Pro Tem Paul Schloegel and Carried Unanimously.

4. Consent Agenda - Roll Call Vote

Commissioner Michael Larson moved to Approve the Consent Agenda as written,

seconded by Commissioner Jerney Ottaway and Carried Unanimously by Roll Call Vote.

- 4.a.** Approve the minutes of the May 12, 2025 regular Commission meeting
- 4.b.** Approve the total bills payable in the amount of \$1,305,542.12
- 4.c.** 906 Adventure Team Non-Profit Status - Roll Call Vote
- 4.d.** MEDC RAP 2.0 Grant Agreement
- 4.e.** Application for License to Use City Property Adjacent to 113 W. Baraga Avenue
- 4.f.** Resolutions for Unpaid Stormwater and Unpaid Water and Wastewater - Roll Call Vote
- 4.g.** Schedule Public Hearing - Ordinance #25-07 for Land Development Code Amendments
- 4.h.** US-41 Hospital Roundabouts - Right-of-Way Conveyance

Unfinished Business

5. Ordinance #25-02: Overnight Occupation of Public Property

A motion originally made on April 14 was postponed to tonight's meeting, so the City Commission had the following motion pending: Commissioner Mayer moved to adopt Ordinance 25-05, and Mayor Pro Tem Schloegel seconded the motion.

Commissioner Cody Mayer now moved to amend this motion on the floor to append the words 'as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update and direct the Police Department to provide a monthly report to the Commission regarding the use of this ordinance until revisited later this year'. The motion was seconded by Commissioner Gottlieb and Commission discussion ensued.

The commission discussed the regular report that was being requested, including how it would be communicated, what data it would include and what value it brought.

Commissioner Mayer ultimately rescinded this motion.

Commissioner Mayer then moved to amend the still-pending motion on the floor to append the words 'as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update'. Mayor Pro Tem Schloegel seconded and the motion carried unanimously.

The City Commission then took up a voted on the now-amended motion "to adopt Ordinance 25-05 as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update."

This motion carried unanimously by roll call vote.

New Business

6. Fire Department Community Risk/Standards of Cover/Compensation Study

Commissioner Michael Larson moved to Approve approve the Fitch & Associates, LLC proposal for consulting services for \$49,995, and authorize the Mayor and Clerk to sign the agreement, seconded by Commissioner Jerney Ottaway and Carried Unanimously.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Margaret Brumm talked about issues on Presque Isle.

Briella Kovacs wished Happy Birthday to Karen Kovacs, and led those present in singing happy birthday.

Comments from the Commission

Commissioner Ottaway wished the City Manager a happy birthday and thanked all parties for working together to find equitable solutions to the issues discussed tonight.

Commissioner Davis echoed these sentiments and then offered a brief summary of a conference focused on freshwater communities from the U.S. and Canada.

Commissioner Gottlieb also praised the work put into the ordinance conversation tonight.

Commissioner Larson acknowledged efforts by Room at the Inn, city staff, and police in addressing the issues discussed tonight. He said tonight's vote marked a step forward.

Mayor Pro Tem Schloegel praised tonight's efforts and encouraged revisiting the idea of a regional homelessness task force. He also mentioned the seasonal uptick in activity in Marquette and urged residents to be cautious of increased traffic and people on bike paths.

Commissioner Mayer thanked staff for putting so much work into the ordinance and shared that he was recently appointed to the housing and utility board for the Sault Tribe, representing the Marquette and Munising areas.

Mayor Hanley said that while the commission took a step forward, solving homelessness will require addressing root causes, and she supported the idea of reviving the community-wide homelessness task force.

Comments from the City Manager

City Manager Karen Kovacs provided updates about repairs in city parks and discussed plans to revisit tonight's discussion before the end of the year.

Adjournment

Mayor Hanley adjourned the meeting at 7:02 p.m.

Jessica Hanley, Mayor

Kyle Whitney, City Clerk

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City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

AWH Change Order - Presque Isle Bandshell Professional Services

BACKGROUND:

At the March 25, 2024 regular meeting, the City Commission awarded the design contract for the Presque Isle Bandshell to AWH Architects, LLC of Minneapolis, Minnesota in the amount of \$99,760.

At the October 28, 2024 meeting, the Commission approved a change order for \$21,300 for geotechnical assessment, 3D drawings and additional design time.

AWH is a second change order to accommodate additional design work performed to meet the needs of the City Band and additional construction administration hours for the landscape architect, structural engineer and general oversight. The total request for this change order is \$27,280.

Generally professional services are 10% or less of the project total. With the increase in size and scope of the project from the professional services request for proposals, total contract with change orders comes to \$148,340 or approximately 6.6% of the total project costs.

FISCAL EFFECT:

A budget amendment will be required. City Band has committed to raising all additional funds needed for this project.

RECOMMENDATION:

Approve change order 2 with AWH Architects in the amount of \$27,280, and authorize the City Manager or her designee to sign it.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ Change Order 2

Peg Hirvonen Bandshell
5/21/2025

Add Service 02
(via email)

City of Marquette,

The Peg Hirvonen Bandshell original RFP and AWH design team budget was based upon a structure with an estimated construction cost of \$1M. After collaborative design efforts, the current Miron construction cost bid accepted for the bandshell is \$2,084,175. Due to scope these scope changes and the additional work to continue to provide architectural services, AWH would like to request the following add service fees.

Additional Construction Administration design time:

1. Additional AWH Construction Documentation fee (40 hours Jan-March) \$8,000
2. Additional AWH CA fee (81 additional CA hours) \$16,280
3. Additional Structural Engineering CA time: 12 hours @ \$150/hr = \$1,800
4. Additional Landscape Architect CA time: 8 hours @ \$150/hr = \$1,200

Requested Architectural and Consultant fees for this Add Service: \$27,280.

If acceptable, please sign and return.



Alex Haecker, AIA, NCARB
WI License #13712-5

Name/Title:

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

Application for License to Use City Property adjacent to 1148 W. Washington Street

BACKGROUND:

Erik Anderson, CFO of 3GEN Marquette Holdings, LLC (owner of Fleet Supply store at 1148 W. Washington Street) has submitted an application to continue the use of portions of the right-of-way on the north side of W. Washington Street and directly south of the Fleet Supply store, for monitoring wells that were required to be located there due to the underground fuel storage tanks that were in place for many years at the former Shopko store property. This application was required as a result of a change in ownership of the 1148 W. Washington Street property.

FISCAL EFFECT:

The application fee of \$460 and has been paid.

RECOMMENDATION:

Approve the License and execute the Grant of License document.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ Application_Exhibit_05-PRU-05-25
- ▣ Grant of License signed by applicant_05-PRU-05-25

PRINT

CITY OF MARQUETTE
APPLICATION FOR LICENSE/EASEMENT
OF CITY-OWNED PROPERTY



CITY STAFF USE

Date Submitted: 3-17-25 Parcel ID#: 0513740 File #: 05-PRU-04-25
Property Address/Location: 1148 W. Washington
Adequate Graphic Image or Legal Description Submitted: ☒ N
Receipt #: 930278 Check #: 379759 Received by and date: AC 3-17-25 (MAIL)

FEE \$460 (We can only accept Cash or Check (written to the City of Marquette))

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS! If you have any questions, please call 228-0425 or e-mail dstensaas@marquettemi.gov.

ADDRESS INFORMATION

What is the street address, or nearest street address, of the property/location of the requested license/easement?

1148 W Washington St, Marquette, MI 49855

APPLICANT CONTACT INFORMATION and LEGAL NAME OF PROPERTY OWNER

APPLICANT or REPRESENTATIVE

Name: Erik Andersen
Address: PO Box 280
City: Grand Rapids
State, Zip: MI 55744
Phone #: 218 326 9451
Email: erik.andersen@lmsupply.com

NAME(S) ON PROPERTY DEED

Name(s): 3GEN Marquette Holdings, LLC
Address: 1200 E Hwy 169
City, State, Zip: Grand Rapids MI 55744
Phone #: 218 326 9451
Email: erik.andersen@lmsupply.com

PROJECT DESCRIPTION

Please describe the reason or necessity for the requested license/easement for use of the City property:

Sub surface monitoring wells

LEGAL or GRAPHIC LOCATION DESCRIPTION

A surveyed legal description of the license/easement area or a graphic image of the approximate requested license area is required. City staff can provide an aerial photo of the subject property/area to assist with creating a graphic location description/exhibit for the application.

see Exhibit A

ATTACHMENTS

You may attach sketches, maps, photos, or other items that may help to illustrate/visualize your request. Community Development staff will attach a photo-map of the area. Attachments:

Exhibit A - original exhibit

SIGNATURE

I understand that this application itself is not considered an approval and only the Marquette City Commission has the authority to grant an approval for a license/easement for use of property owned by the City of Marquette.

Signature: _____

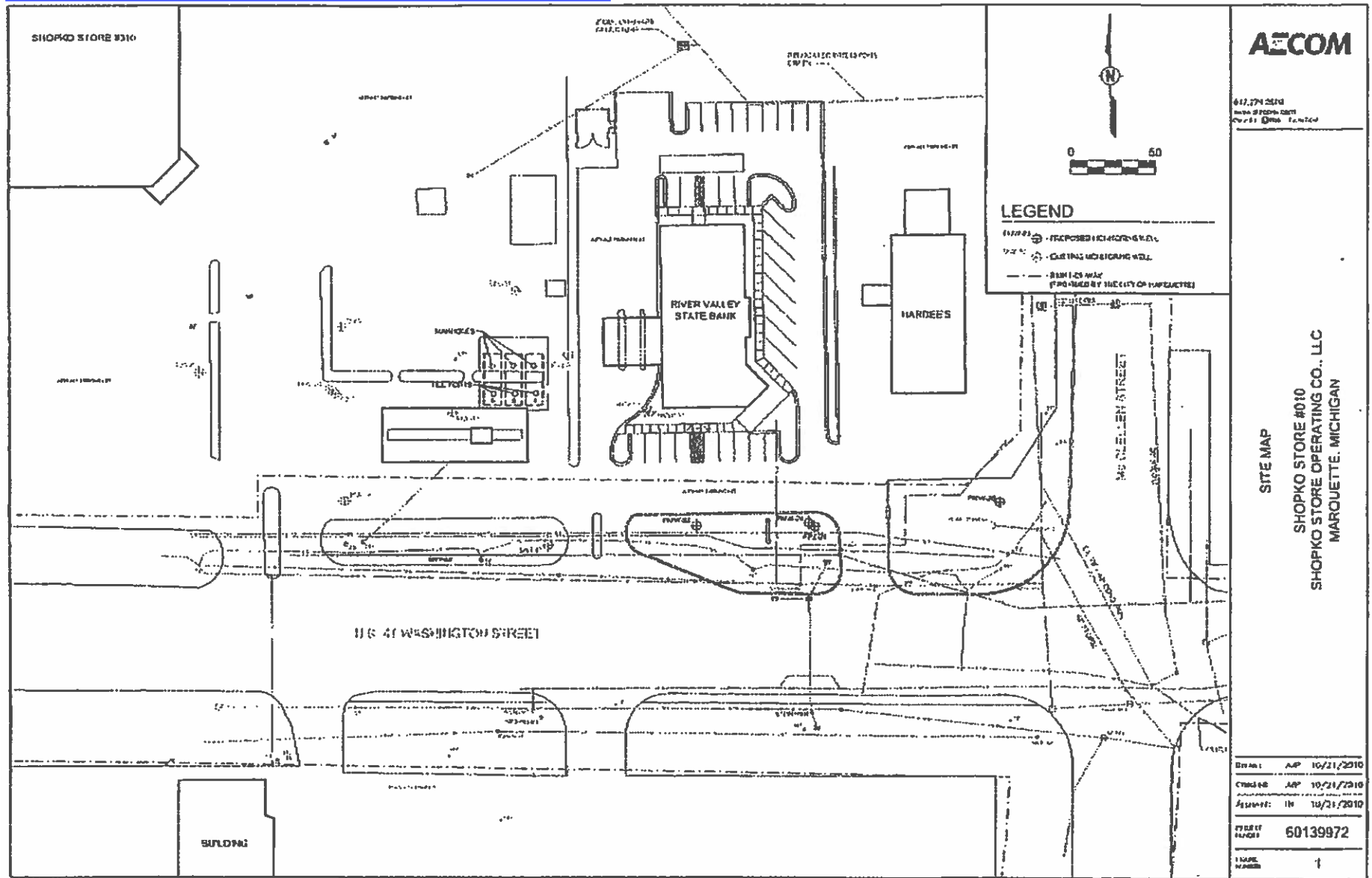
Date: _____

Exhibit A

05-PRU-04-25

Grant of License for monitoring wells
in Washington St. right-of-way

Update to License 2682 executed 11-10-2010



GRANT OF LICENSE

THE CITY OF MARQUETTE, a municipal corporation of 300 W. Baraga Ave., Marquette, MI 49855, ("City"), and 3GEN Marquette Holdings, LLC, a Michigan limited liability company of 1200 E. Hwy 169, Grand Rapids, MN 55744, ("3GEN") licensee, enter into this agreement on May 14, 2025, subject to the following conditions:

1. Background. The City owns the Washington Street right-of-way, in the City of Marquette, and State of Michigan.
3GEN desires to use a portion of the public right-of-way corridor to construct and maintain Monitoring Wells ("Well"), on the real estate and to the specifications set forth in Exhibit A.
2. Grant of the license. In consideration of \$460.00, the City grants to 3GEN the right to construct the Wells on the real estate and to the specifications set forth in Exhibit A.
3. Construction and Maintenance. 3GEN shall construct, and at all times while this License is in effect, maintain the Wells in good repair. 3GEN shall be responsible for all fees and expenses related to the construction and maintenance of the Wells and real estate described in Exhibit A.
4. Use. The right to use the real estate described in Exhibit A is not exclusive, however as long as this License is in effect, the City shall not permit any use contrary to the Wells except as may be necessary to install, repair, remove or replace utilities. In the event the City repairs, removes or replaces utilities, 3GEN shall be responsible for any removal of, repair to or replacement of the Wells in connection with utility work. 3GEN shall not use the real estate for any purpose except as specifically allowed within this agreement, and shall not alter, injure or damage the City's public right of way.
5. Reimbursement for damages. 3GEN shall reimburse the City for any physical damages to the City's public right of way caused by 3GEN's use on the real estate. 3GEN, and any successor or assign shall indemnify, defend and hold harmless the City from and against any demand, claim, action or cause of action, assessment, loss, damage, liability cost and/or expense, including but not limited to, interest, penalties, consultants fees and expenses, and attorneys' fees and expenses, asserted against, imposed upon or incurred by the City due solely to 3GEN's use. 3GEN's obligations under this provision shall not extend to claims, losses, expenses or damages arising out of or in any way attributable to the negligence of the City or its agents, consultants, or employees. 3GEN reserves the right to control the defense and settlement of any claim for which 3GEN has an obligation to indemnify hereunder.
6. Revocation. This License may be revoked by either party at any time by providing at least 90 days' written notice of termination to the other party. On the termination date, all rights and obligations of the parties shall cease and on or before the termination date, 3GEN shall remove the Wells from the real estate, at its own expense. 3GEN shall not be entitled to a reimbursement for any portion of the fee previously paid to the City.
7. Personal Interest. The rights granted herein are personal to 3GEN, and terminate upon the transfer of ownership of 3GEN's premises.
8. Entire Agreement. This Grant of License constitutes the entire agreement between the parties.

The said parties have caused this document to be executed the day and year first written above.

CITY OF MARQUETTE

By: Jessica Hanley
Its: Mayor

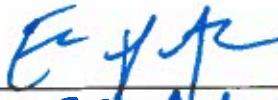
By: Kyle Whitney
Its: Clerk

STATE OF MICHIGAN)
COUNTY OF MARQUETTE)

Acknowledged before me in Marquette County, Michigan, on _____, 2025,
by Jessica Hanley, Mayor and Kyle Whitney, Clerk, of the City of Marquette, a Michigan municipal
corporation.

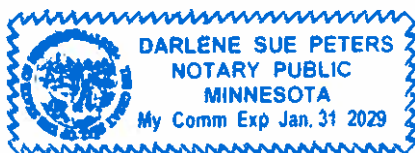
_____, Notary Public
State of Michigan, County of Marquette
My Commission Expires: _____
Acting in the County of Marquette

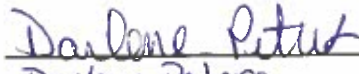
3GEN MARQUETTE HOLDINGS, LLC


By: Erik Andersen
Its: CFO

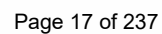
Minnesota
STATE OF ~~MICHIGAN~~)
COUNTY OF ~~MARQUETTE~~)
Itasca

Acknowledged before me in ~~Marquette~~ ^{Itasca} County, ~~Michigan~~ ^{Minnesota}, on May 14, 2025,
by Erik Andersen, CFO of 3GEN Marquette Holdings, LLC.




Darlene Peters, Notary Public
State of ~~Michigan~~ ^{Minnesota}, County of ~~Marquette~~ ^{Itasca}
My Commission Expires: Jan. 31, 2029
Acting in the County of ~~Marquette~~ ^{Itasca}

Update to License 2682 executed 11-10-2010



City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

Becky's Roadside Refreshment, LLC - Presque Isle Park Concession Lease Agreement

BACKGROUND:

Becky's Roadside Refreshment, LLC, of Marquette, Michigan, has requested a renewal of the lease agreement to provide concession services at Presque Isle Park. Staff has worked with the City Attorney and Becky's Roadside Refreshment, LLC to draft a standard lease agreement which includes the relevant terms and conditions. The lease is a three-year term, from May 1 through September 30, during the 2025 through 2027 seasons. The rent during operations is \$600.00/month, including utilities.

This is the first read of two required reads for a lease agreement.

FISCAL EFFECT:

The General Fund will receive \$3,000 in revenue each of the three years.

RECOMMENDATION:

Move the lease agreement with Becky's Roadside Refreshment, LLC for concession space at Presque Isle Park to the next regularly scheduled meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ Lease, Exhibit A and Insurance

LEASE AGREEMENT

THIS AGREEMENT, made and entered into this ____ day of _____ 2025, by and between the **CITY OF MARQUETTE**, a Michigan municipal corporation, of 300 W. Baraga Avenue, Marquette, Michigan 49855, hereinafter ("Lessor"), and **BECKY'S ROADSIDE REFRESHMENT, LLC**, a Michigan limited liability company of 130 W. Washington Street, Ste #1-7, Marquette, Michigan 49855, hereinafter ("Lessee").

Recitals

- A. Lessor is the owner and operator of the concession stand at Presque Isle Park, Marquette, Michigan.
- B. Lessee desires to lease and Lessor is willing to lease to Lessee the concession stand and all equipment currently located within it ("Premises") in accordance with the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual promises of the parties and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. Leased Premises

- 1.1 Lessor leases to Lessee the Premises, as shown on Exhibit A.
- 1.2 Lessee agrees to develop architectural and engineering plans for renovations to the Premises required to meet the specific needs of Lessee for Lessee's intended uses, if needed. Lessee shall be responsible for constructing all renovations as developed by Lessee, and Lessee shall obtain Lessor's written approval of all such plans and specifications prior to beginning any construction activity.
- 1.3 Lessee agrees that only equipment located within the Premises on the date of this Agreement is part of the Premises, and that Lessee takes said Premises and equipment "as is". Any other equipment needed by Lessee to operate the concessions shall be the sole responsibility of Lessee.

2. Term of Lease

- 2.1 The term of this lease is: May 1, 2025 through September 30, 2025;
May 1, 2026 through September 30, 2026; and
May 1, 2027 through September 30, 2027.

3. Rent

- 3.1 Lessee shall be obligated to pay rent in the amount of \$600 per month (utilities included) for the Premises, due in advance on the first of each month for the entire term of this lease.

4. Use of Leasehold Premises

- 4.1 Lessee shall use the Premises only as a concession stand for food and beverages and not for any purpose that would:

- a) be deemed hazardous to the public or adjoining premises, including but not necessarily limited to fire, and environmental type hazards;
 - b) constitute a violation of any public law or requirement;
 - c) cause damage or injury to the Premises or any part of it (ordinary wear and tear excepted);
 - d) interfere with normal operations of the Premises' heating, air conditioning, ventilating, plumbing, or other mechanical or electrical systems;
 - e) constitute a public or private nuisance;
 - f) alter the appearance of the Premises, except as provided herein, without prior written approval of the Lessor;
 - g) permit noise or odors to be unreasonably dispelled from the Premises;
 - h) place merchandise, materials, supplies, signs, or other things of any kind on the sidewalks or other common areas without Lessor approval;
 - i) permit refuse to accumulate in or around Premises; or
 - j) obstruct entryways.
- 4.2 Lessee is solely responsible for obtaining all necessary licenses and permits and otherwise complying with all laws while providing the concessions contemplated by this Agreement.
- 4.3 Lessee is solely responsible for development of menu items and pricing, for obtaining all supplies and products and for all costs related to its sale of food and beverages.
- 5. Use of Common Areas by Lessee**
- 5.1 Lessee and its invitees shall have the right in common with Lessor, its invitees, and others to use the public restrooms, public parking, sidewalks, and surrounding area, subject, however, to all rules and regulations regarding the use of those areas.
- 5.2 Lessee's right to use to Presque Isle - Island Store Pavilion ("Pavilion") is not exclusive. Lessor shall have the right, at all times, to rent the Pavilion to third party users. Lessee shall contact Lessor on a weekly basis in order to determine the dates and times the Pavilion has been rented to a third party user.
- 6. Maintenance and Repair**
- 6.1 Lessee shall be responsible for all ordinary janitorial and cleaning of the Premises as provided in Exhibit A. Lessor shall provide trash receptacles for Premises and shall maintain those receptacles once per day. Any necessary additional refuse collection shall be the responsibility of the Lessee. Any refuse generated from preparation of goods or services shall be the sole responsibility of Lessee.

- 6.2 Lessee shall be solely responsible for the maintenance and repair of all equipment located on the Premises.
- 6.3 Lessee shall be solely responsible for the maintenance and repair of all of Lessee's fixtures, furniture and equipment and keep them in a safe condition and good repair.
- 6.4 Lessee must obtain written consent of Lessor for all signage used by Lessee on the Premises and adjoining premises. All signage approved by Lessor shall be maintained in good condition and repair.
- 6.5 Lessor reserves the right to make any repairs or alterations that it deems necessary and desirable to the common areas. Lessee will be notified of any repairs or alterations to the Premises at least 7 days in advance except in emergency situations.

7. Insurance and Indemnity

- 7.1 Lessee shall not permit any activity on or immediately adjacent to the Premises which would invalidate or be in conflict with Lessor's fire, boiler, sprinkler, water damage, and extended coverage insurance policies covering the Premises and contents therein. Lessor will provide Lessee with a copy of any and all relevant insurance policies.
- 7.2 Lessee shall not permit any activity on or immediately adjacent to the Premises which would cause Lessor's rate for the insurance described herein to be increased. Lessor will provide Lessee with a list of any such activities.
- 7.3 Lessee at its sole expense shall be responsible for insuring its own tangible personal property, equipment, and fixtures from loss from fire and other casualty and shall at all times provide Lessor with a certificate evidencing such coverage.
- 7.4 Lessee at its sole expense shall maintain liability insurance protecting and insuring Lessee and Lessor from all claims for injury or damage to persons or property arising out of the use of the Premises and adjacent areas by Lessee, its employees, agents, invitees, and licensees. The amount of the insurance shall be not less than One Million Dollars (\$1,000,000.00) per occurrence for accident, bodily injury, or death and not less than Five Hundred Thousand Dollars (\$500,000.00) for property damage. Lessee shall provide Lessor with a copy of said policies with proof of payment of premium thereon. The insurance policies shall bear endorsements to the effect that the insurer agrees to notify Lessor not less than thirty (30) days in advance of any modification or cancellation thereof. Lessor shall be named as an additional insured on all insurance policies required by this lease.
- 7.5 Lessee will indemnify and hold Lessor harmless from and against all loss, cost, expense and liability whatsoever (including Lessor's cost of defending against the foregoing; such cost to include attorneys' fees) resulting or occurring by reason of Lessee's construction on, use of, or occupancy of the Premises.

8. Damage by Fire or Other Causes

- 8.1 If the Premises is partially damaged by fire or other peril without the fault or neglect of Lessee or of its servants, employees, agents, visitors, invitees or licenses, the damage shall be repaired

by Lessor at Lessor's expense. If the Premises is substantially damaged (herein defined as fifty percent (50%) or more of the cost of replacement), Lessor may elect either to repair or rebuild the leasehold or the pool building, as the case may be, or to terminate this lease upon giving notice of such election in writing to Lessee within ninety (90) days after the event causing the damage. If Lessor elects to rebuild instead of terminating the lease, Lessor will rebuild something substantially similar to the current Premises, and Lessee shall in a timely manner repair or replace its fixtures, furniture, equipment and improvements to at least the condition of same prior to the damage.

9. Assignment/Subletting

- 9.1 Lessee shall not assign this Agreement.
- 9.2 Lessee shall not sublet the Premises or any part thereof without the express prior written consent of the Lessor.
- 9.3 In no event shall a sublease be allowed that would jeopardize the tax-exempt status of the City.
- 9.4 Lessor may freely assign its rights and obligations under this Lease Agreement to any third party pursuant to a Purchase and Sale Agreement, Land Contract or similar instrument.

10. Use of Premises by Lessor

- 10.1 Lessor reserves for itself and its contractors and agents the right to enter the Premises at reasonable times for the purpose of inspecting, maintaining, installation, operation and repair services. This paragraph does not change the parties' obligations with regarding to maintenance and repairs as otherwise set forth herein.

11. Covenant of Quiet Enjoyment

- 11.1 Lessor warrants and represents that it has full authority to execute this lease for the above term. Lessor covenants that upon Lessee paying the rents and performing its covenants and duties prescribed herein, Lessee may, except as otherwise described herein, have the exclusive and reasonable right to have, hold and enjoy the leasehold.

12. Lessor's Right to Perform Lessee's Obligation

- 12.1 If Lessee defaults in any term of this lease, Lessor may, without thereby waiving the default, remedy the default at Lessee's expense. If, in connection therewith, Lessor makes any expenditure or incurs any obligation for the payment of money or in instituting, prosecuting, or defending any action or proceeding commenced before or during the term of this lease, or after the expiration or termination of this lease including, but not necessarily limited to, legal expenses and attorneys' fees, Lessee shall pay to Lessor on demand the sums paid or obligations incurred together with legal fees and costs.

13. Default by Lessee

- 13.1 If the Lessee fails to perform any other obligations under this agreement within 30 days after receiving written notice of the default from the Lessor; if the Lessee makes any assignment for the benefit of creditors or a receiver is appointed for the Lessee or its property; or if any

proceedings are instituted by or against the Lessee for bankruptcy (including reorganization) or under any insolvency laws, the Lessor may terminate this lease, reenter the Premises, and seek to relet the Premises on whatever terms the Lessor thinks advisable. Notwithstanding reentry by the Lessor, the Lessee shall continue to be liable to the Lessor for rent owed under this lease and for any rent deficiency that results from reletting the premises during the term of this lease. Notwithstanding any reletting without termination, the Lessor may at any time elect to terminate this lease for any default by the Lessee by giving the Lessee written notice of the termination.

- 13.2 In addition to the Lessor's other rights and remedies as stated in this lease, and without waiving any of those rights, if the Lessor deems necessary any repairs that the Lessee is required to make or if the Lessee defaults in the performance of any of its obligations under this lease, the Lessor may make repairs or cure defaults and shall not be responsible to the Lessee for any loss or damage that is caused by that action. The Lessee shall immediately pay to the Lessor, on demand, the Lessor's costs for curing any defaults, as additional rent under this lease.
- 13.3 The rights and remedies of Lessor shall be cumulative as more particularly provided at law or in equity pursuant to the laws of the State of Michigan.

14. Surrender of Leasehold Upon Termination of Lease

- 14.1 All renovations and improvements shall be at Lessee's expense and shall be considered fixtures and owned by Lessor upon termination of lease. Upon the expiration or termination of the lease, Lessee shall surrender the Premises in good order and condition, ordinary wear and tear excepted, and shall remove all of its property, fixtures, and equipment from the Premises. In removing its equipment, Lessee shall be solely liable for repairing any and all damages to the Premises. In the event that the Lessee fails to remove its equipment, and Lessor is required to do so, all costs and expenses incurred by Lessor in removing same and restoring the leasehold to useable condition shall be the financial responsibility of the Lessee.
- 14.2 If upon termination of the lease, Lessee has failed to remove its furniture, equipment, and fixtures, Lessor reserves the right to deem them abandoned and shall have the legal right to dispose of same, and costs incurred in disposing of same shall be the financial responsibility of Lessee.

15. Miscellaneous

- 15.1 Lessee, at its sole option, may continue with the current security system at the same cost currently charged to Lessor by contacting Range Corporation directly.
- 15.2 This agreement shall be binding on the parties and inure to the benefit of the Lessor and Lessee and their respective successors and assigns.
- 15.3 This agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 15.4 This agreement shall constitute the entire agreement between the parties. Any prior understanding or representation of any kind preceding the date of this agreement shall not be binding upon either party except to the extent incorporated herein.

- 15.5 Any modification of this agreement or additional obligations assumed by either party in connection with this agreement shall be binding only if evidenced in a writing signed by each party or an authorized representative of each party.
- 15.6 Waiver by Lessor of any breach of any covenant of duty of Lessee under this lease is not a waiver of a breach of any other covenant of duty of Lessee or any subsequent breach of the same covenant or duty.
- 15.7 The invalidity of any portion of this agreement will not and shall not be deemed to affect the validity of any other provision. In the event that any provision of this agreement is held to be invalid, the parties agree that the remaining provisions shall be deemed to be in full force and effect as if they had been executed by both parties subsequent to the expungement of the invalid provision.
- 15.8 All notices to be given under this lease shall be in writing and mailed, postage prepaid, or by certified or registered mail, return receipt requested, or delivered personally or by courier delivery, or sent by telecopy (immediately followed by one of the preceding methods) to Lessor's address and Lessee's address as above stated or any other place that Lessor or Lessee may designate in a written notice given to the other parties. Notices shall be deemed served on the earlier of receipt or three (3) working days after the date of mailing.

The parties have set their hands on the day and year first above written.

LESSOR
CITY OF MARQUETTE

LESSEE
**BECKY'S ROADSIDE
REFRESHMENT, LLC**

Jessica Hanley, Mayor



By:
Its:

Kyle Whitney, City Clerk

APPROVED AS TO SUBSTANCE:

APPROVED AS TO FORM:

Karen M. Kovacs, City Manager

Suzanne C. Larsen, City Attorney

EXHIBIT A






CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
06/02/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER  Kara Applekamp 2582 US Hwy 41 W Marquette MI 49855		CONTACT NAME: Jessica McCollum PHONE (A/C, No, Ext): 906-228-6645 E-MAIL ADDRESS: jessica@karaapplekamp.com FAX (A/C, No): INSURER(S) AFFORDING COVERAGE INSURER A : State Farm Fire and Casualty Company INSURER B : INSURER C : INSURER D : INSURER E : INSURER F : NAIC # 25143	
INSURED Becky's Roadside Refreshments, LLC Attn: Rebecca Lloyd 600 Altamont St Apt 202 Marquette MI 49855			

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.


INSR LTR	TYPE OF INSURANCE	ADD INSD	SUB WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y	N	92-GD-W470-6	06/17/2025	06/17/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 20,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/>	N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

City of Marquette added as Additional Insured to the policy.

CERTIFICATE HOLDER

CANCELLATION

City of Marquette 300 W Baraga Ave Marquette MI 49855	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

Becky's Roadside Refreshment, LLC - Mattson Park Concession Lease Agreement

BACKGROUND:

Becky's Roadside Refreshment, LLC, of Marquette, Michigan, has requested a lease agreement to provide concession services at Mattson Park. Staff has worked with the City Attorney and Becky's Roadside Refreshment, LLC to draft a standard lease agreement which includes the relevant terms and conditions. The lease as a three-year term, from July 1 through September 30, 2025, and May 1 through September 30, during the 2026 and 2027 seasons. The rent during operations is \$600.00/month, including utilities. The facility requires a new floor to be installed. This lease allows for the lessee to provide renovations in lieu of rent. Rent will not be assessed for July of 2025 as renovations will most likely not be complete until August, but lessee would like access for preparations.

This is the first read of two required reads for a lease agreement.

FISCAL EFFECT:

Lessee will provide renovations in the amount of \$7,200 in lieu of rent.

RECOMMENDATION:

Move the lease agreement with Becky's Roadside Refreshment, LLC for concession space at Mattson Park to the next regularly scheduled meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ Lease, Exhibit A and Insurance

LEASE AGREEMENT

THIS AGREEMENT, made and entered into this ____ day of _____ 2025, by and between the **CITY OF MARQUETTE**, a Michigan municipal corporation, of 300 W. Baraga Avenue, Marquette, Michigan 49855, hereinafter (“Lessor”), and **BECKY’S ROADSIDE REFRESHMENT, LLC**, a Michigan limited liability company of 130 W. Washington Street, Ste #1-7, Marquette, Michigan 49855, hereinafter (“Lessee”).

Recitals

- A. Lessor is the owner and operator of the concession stand at Mattson Park, Marquette, Michigan.
- B. Lessee desires to lease and Lessor is willing to lease to Lessee the concession stand and all equipment currently located within it (“Premises”) in accordance with the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual promises of the parties and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. Leased Premises

- 1.1 Lessor leases to Lessee the Premises, as shown on Exhibit A.
- 1.2 Lessee agrees to develop architectural and engineering plans for renovations to the Premises required to meet the specific needs of Lessee for Lessee’s intended uses, if needed. Lessee shall be responsible for constructing all renovations as developed by Lessee, and Lessee shall obtain Lessor’s written approval of all such plans and specifications prior to beginning any construction activity.
- 1.3 Lessee agrees that only equipment located within the Premises on the date of this Agreement is part of the Premises, and that Lessee takes said Premises and equipment “as is”. Any other equipment needed by Lessee to operate the concessions shall be the sole responsibility of Lessee.

2. Term of Lease

- 2.1 The term of this lease is: July 1, 2025 through September 30, 2025;
May 1, 2026 through September 30, 2026; and
May 1, 2027 through September 30, 2027.

3. Rent

- 3.1 Lessee shall be obligated to pay rent in the amount of \$7,200 total over the course of the lease term. In lieu of monthly rent payments, Lessee shall provide renovations to the interior of the Premises in the minimum amount of \$7,200 prior to July 1, 2025, as coordinated with the Community Services Director.

4. Use of Leasehold Premises

- 4.1 Lessee shall use the Premises only as a concession stand for food and beverages and not for

any purpose that would:

- a) be deemed hazardous to the public or adjoining premises, including but not necessarily limited to fire, and environmental type hazards;
 - b) constitute a violation of any public law or requirement;
 - c) cause damage or injury to the Premises or any part of it (ordinary wear and tear excepted);
 - d) interfere with normal operations of the Premises' heating, air conditioning, ventilating, plumbing, or other mechanical or electrical systems;
 - e) constitute a public or private nuisance;
 - f) alter the appearance of the Premises, except as provided herein, without prior written approval of the Lessor;
 - g) permit noise or odors to be unreasonably dispelled from the Premises;
 - h) place merchandise, materials, supplies, signs, or other things of any kind on the sidewalks or other common areas without Lessor approval;
 - i) permit refuse to accumulate in or around Premises; or
 - j) obstruct entryways.
- 4.2 Lessee is solely responsible for obtaining all necessary licenses and permits and otherwise complying with all laws while providing the concessions contemplated by this Agreement.
- 4.3 Lessee is solely responsible for development of menu items and pricing, for obtaining all supplies and products and for all costs related to its sale of food and beverages.
- 5. Use of Common Areas by Lessee**
- 5.1 Lessee and its invitees shall have the right in common with Lessor, its invitees, and others to use the public restrooms, public parking, sidewalks, and surrounding area, subject, however, to all rules and regulations regarding the use of those areas.
- 6. Maintenance and Repair**
- 6.1 Lessee shall be responsible for all ordinary janitorial and cleaning of the Premises as provided in Attachments 1 and 2. Lessor shall provide trash receptacles for Premises and shall maintain those receptacles once per day. Any necessary additional refuse collection shall be the responsibility of the Lessee. Any refuse generated from preparation of goods or services shall be the sole responsibility of Lessee.
- 6.2 Lessee shall be solely responsible for the maintenance and repair of all equipment located on the Premises.

- 6.3 Lessee shall be solely responsible for the maintenance and repair of all of Lessee's fixtures, furniture and equipment and keep them in a safe condition and good repair.
- 6.4 Lessee must obtain written consent of Lessor for all signage used by Lessee on the Premises and adjoining premises. All signage approved by Lessor shall be maintained in good condition and repair.
- 6.5 Lessor reserves the right to make any repairs or alterations that it deems necessary and desirable to the common areas. Lessee will be notified of any repairs or alterations to the Premises at least 7 days in advance except in emergency situations.

7. Insurance and Indemnity

- 7.1 Lessee shall not permit any activity on or immediately adjacent to the Premises which would invalidate or be in conflict with Lessor's fire, boiler, sprinkler, water damage, and extended coverage insurance policies covering the Premises and contents therein. Lessor will provide Lessee with a copy of any and all relevant insurance policies.
- 7.2 Lessee shall not permit any activity on or immediately adjacent to the Premises which would cause Lessor's rate for the insurance described herein to be increased. Lessor will provide Lessee with a list of any such activities.
- 7.3 Lessee at its sole expense shall be responsible for insuring its own tangible personal property, equipment, and fixtures from loss from fire and other casualty and shall at all times provide Lessor with a certificate evidencing such coverage.
- 7.4 Lessee at its sole expense shall maintain liability insurance protecting and insuring Lessee and Lessor from all claims for injury or damage to persons or property arising out of the use of the Premises and adjacent areas by Lessee, its employees, agents, invitees, and licensees. The amount of the insurance shall be not less than One Million Dollars (\$1,000,000.00) per occurrence for accident, bodily injury, or death and not less than Five Hundred Thousand Dollars (\$500,000.00) for property damage. Lessee shall provide Lessor with a copy of said policies with proof of payment of premium thereon. The insurance policies shall bear endorsements to the effect that the insurer agrees to notify Lessor not less than thirty (30) days in advance of any modification or cancellation thereof. Lessor shall be named as an additional insured on all insurance policies required by this lease.
- 7.5 Lessee will indemnify and hold Lessor harmless from and against all loss, cost, expense and liability whatsoever (including Lessor's cost of defending against the foregoing; such cost to include attorneys' fees) resulting or occurring by reason of Lessee's construction on, use of, or occupancy of the Premises.

8. Damage by Fire or Other Causes

- 8.1 If the Premises is partially damaged by fire or other peril without the fault or neglect of Lessee or of its servants, employees, agents, visitors, invitees or licenses, the damage shall be repaired by Lessor at Lessor's expense. If the Premises is substantially damaged (herein defined as fifty percent (50%) or more of the cost of replacement), Lessor may elect either to repair or rebuild the leasehold or the pool building, as the case may be, or to terminate this lease upon giving notice of such election in writing to Lessee within ninety (90) days after the event causing the

damage. If Lessor elects to rebuild instead of terminating the lease, Lessor will rebuild something substantially similar to the current Premises, and Lessee shall in a timely manner repair or replace its fixtures, furniture, equipment and improvements to at least the condition of same prior to the damage.

9. Assignment/Subletting

9.1 Lessee shall not assign this Agreement.

9.2 Lessee shall not sublet the Premises or any part thereof without the express prior written consent of the Lessor.

9.3 In no event shall a sublease be allowed that would jeopardize the tax-exempt status of the City.

9.4 Lessor may freely assign its rights and obligations under this Lease Agreement to any third party pursuant to a Purchase and Sale Agreement, Land Contract or similar instrument.

10. Use of Premises by Lessor

10.1 Lessor reserves for itself and its contractors and agents the right to enter the Premises at reasonable times for the purpose of inspecting, maintaining, installation, operation and repair services. This paragraph does not change the parties' obligations with regarding to maintenance and repairs as otherwise set forth herein.

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any rent deficiency that results from reletting the premises during the term of this lease. Notwithstanding any reletting without termination, the Lessor may at any time elect to terminate this lease for any default by the Lessee by giving the Lessee written notice of the termination.

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The parties have set their hands on the day and year first above written.

LESSOR
CITY OF MARQUETTE

LESSEE
BECKY'S ROADSIDE
REFRESHMENT, LLC

Jessica Hanley, Mayor


By:
Its:

Kyle Whitney, City Clerk

APPROVED AS TO SUBSTANCE:

APPROVED AS TO FORM:

Karen M. Kovacs, City Manager

Suzanne C. Larsen, City Attorney

EXHIBIT A






CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

06/02/2025

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PRODUCER  Kara Applekamp 2582 US Hwy 41 W Marquette MI 49855	CONTACT NAME: Jessica McCollum PHONE (A/C, No, Ext): 906-228-6645 E-MAIL ADDRESS: jessica@karaapplekamp.com	FAX (A/C, No):	
	INSURER(S) AFFORDING COVERAGE INSURER A: State Farm Fire and Casualty Company INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:		NAJC # 25143
INSURED Becky's Roadside Refreshments, LLC Attn: Rebecca Lloyd 600 Altamont St Apt 202 Marquette MI 49855			

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**


THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADD INSD	SUB WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y	N	92-GD-W470-6	06/17/2025	06/17/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 20,000,000
<input type="checkbox"/>	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
<input type="checkbox"/>	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED \$ RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
<input type="checkbox"/>	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

City of Marquette added as Additional Insured to the policy.

CERTIFICATE HOLDER**CANCELLATION**

City of Marquette 300 W Baraga Ave Marquette MI 49855	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

MERS Resolution Establishing Military Service Contribution Requirements for Defined Benefit - Roll Call Vote

BACKGROUND:

The City of Marquette is a participating municipality with the Municipal Employees' Retirement System of Michigan (MERS). Administration changes at MERS require the City to direct how MERS handles missed contributions for employees on military leave.

Option 1 establishes a plan to recoup employee contributions submitted on behalf of the employee while on military leave.

Option 2 treats the missed employee contributions as additional voluntary contributions with no recoupment from the employee.

FISCAL EFFECT:

Under Option 1, the City will submit the employee's contributions in advance. These contributions will be reimbursed by the employee, over time, when they return to work. This option results in a net zero fiscal impact.

Under Option 2, the City will make additional voluntary contributions equal to the estimated employee's contributions during military leave with no recoupment from the employee. This option increases the pension expenditure for that division.

RECOMMENDATION:

Approve the attached "Employer Resolution Establishing Military Service Contribution Requirements for Defined Benefit" selecting Option 1, and authorize the Chief Financial Officer to sign and execute the document.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▢ Resolution Establishing Military Service Contribution Requirements (DB)

Employer Resolution Establishing Military Service Contribution Requirements for Defined Benefit



WHEREAS, the _____ is a participating municipality or court in the Municipal Employees' Retirement System of Michigan ("MERS"); and

WHEREAS, under Section 8 of the MERS Plan Document, all missed Defined Benefit mandatory employee contributions due to intervening Military service leaves shall be reflected in the participating employer's overall liability in the next annual actuarial valuation unless an alternative method is elected (default); no employee contributions will be required from the participant;

NOW THEREFORE BE IT RESOLVED, that effective _____, 20____, the Governing Body adopts this Resolution (or for a participating court, the Chief Judge by Administrative Order) for all present and future employee divisions requiring that all missed employee contributions due to intervening Military service be handled by (select only one):

- ☐ The member will be permitted to choose to remit some or all missed mandatory employee contributions within a time period equal to three times the duration of the military service from the date of reemployment, but not to exceed five years, and years of service credit shall be granted in proportion to the employee contributions received.
- ☐ The employer shall remit an additional voluntary employer contribution equal to the sum of the missed mandatory employee contributions due to military service. No employee contributions will be required from the participant.

MERS' Military Service contribution procedures are subject to the MERS Plan Document. Changes to the Plan Document may impact MERS' ability to administer this election in the future.

CERTIFICATION FOR PARTICIPATING MUNICIPALITY OR COURT

I hereby certify that this Resolution was adopted by (check one):

- ☐ The Governing Body of the _____ at its meeting held on _____.
(Name of Municipality) (dd/mm/yyyy)
- ☐ Administrative Order No. _____ adopted by the Chief Judge of the _____, on _____.
(Order Number) (Name of Court) (dd/mm/yyyy)

Signature of Authorized Official: _____, Date: _____
(dd/mm/yyyy)

Printed name: _____ Title: _____

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote **Schedule Public Hearing- 01-PUD-03-25**

BACKGROUND:

Veridea Group submitted an application for Preliminary PUD Approval and Site Plan Review for a proposed Planned Unit Development (PUD) that includes a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street on the property previously known as the MGH Campus.

The Planning Commission reviewed the materials at their June 3, 2025 meeting and passed the following motion:

It was moved by S. Lawry, seconded by K. Clegg, and carried 7-0 that after review of the PUD site plan (includes pattern book items) dated May 5, 2025, and the Staff File Review/Analysis for 01-PUD-03-25, the Planning Commission, who previously established that the PUD met 7 out of 10 required objectives and the criteria to be eligible for a PUD of Section 54.323(F) of the Marquette City Land Development Code, and the preliminary PUD Plan meets Section 54.323(H) of the Marquette City Land Development Code, recommends that the PUD be approved by the Marquette City Commission with the condition that an amended plan be submitted to meet staff comments, particularly for the variances requested, for the final site plan review.

The next step in the process is for the City Commission to schedule and hold a public hearing to review the Planning Commission recommendation.

Minutes from the Planning Commission meeting will be available prior to the Public Hearing.

FISCAL EFFECT:

None.

RECOMMENDATION:

Schedule a Public Hearing on 01-PUD-03-25 for the June 30, 2025 Commission meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

▣ PUD Case File



CITY OF MARQUETTE
PLANNING AND ZONING
1100 WRIGHT STREET
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Planning Commission
FROM: Andrea Landers, Zoning Official
DATE: May 28, 2025
SUBJECT: 01-PUD-03-25 (05-SPR-06-25) – Preliminary PUD plan review for W. Magnetic St (Portion of PIN: 0410681))

The Planning Commission is being asked to review an application for a preliminary Planned Unit Development (PUD) approval. The Planning Commission determined that the proposed PUD met the criteria for qualification as a PUD at a public hearing on March 18, 2025. The Planning Commission is now prepared to conduct a public hearing for a preliminary site plan review and then draft a recommendation to the City Commission, who will determine whether to approve or deny the PUD at a public hearing to follow. If approved by the City Commission, the City Attorney will prepare a contract. After the contract is recorded, the applicant can submit a final site plan to the Planning Commission for their determination of conformity to the contract and compliance with the Land Development Code. Only after all these steps are completed and any conditions of approval are complied with can staff issue permits for the development of the PUD.

Please see the attached STAFF FILE REVIEW/ANALYSIS for a complete review of the proposal.

All notices have been sent in accordance with the Land Development Code and State Law. No correspondence has been received.

RECOMMENDED ACTION:

In accordance with the Land Development Code, the Planning Commission should hold a public hearing, review the proposed PUD site plan and support information provided in this packet, and make a recommendation to the City Commission regarding the proposed PUD.

It is also highly recommended that any recommendation regarding the PUD site plan include:

After review of the PUD site plan (includes pattern book items) dated May 5, 2025, and the STAFF FILE REVIEW/ANALYSIS for 01-PUD-03-25, the Planning Commission, who previously established that the PUD met 7 out of 10 required objectives and the criteria to be eligible for a PUD of Section 54.323(F) of the Marquette City Land Development Code, and the preliminary PUD Plan meets Section 54.323(H) of the Marquette City Land Development Code, recommends that the PUD be (approved/denied) by the Marquette City Commission (for the following reasons/with the following conditions).

- Staff recommends a condition of approval that an amended plan is submitted to meet staff comments for the final site plan review.



STAFF FILE REVIEW/ANALYSIS

Completed by Andrea Landers – Zoning Official

Reviewed by David Stensaas – City Planner and Zoning Administrator

File Number: 01-PUD-03-25 (05-SPR-06-25)

Date: May 28, 2025

Project/Application: Preliminary PUD Approval and Site Plan Review for a proposed Planned Unit Development (PUD) for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street.

Location: W. Magnetic Street (Between Lee St. and Fourth St.)

Parcel ID: Portion of 0410681

Available Utilities: Electricity, City Water, City Sewer, Natural Gas, and Garbage Collection.

Current Zoning: MDR – Medium Density Residential

Surrounding Zoning: North: M-U – Mixed Use
South: MDR – Medium Density Residential
East: MDR – Medium Density Residential & M-U – Mixed Use
West: MDR – Medium Density Residential

Zoning District and Standards:

Current Zoning – MDR

Section 54.308 MDR, Medium Density Residential District

(A) Intent	
The MDR district is intended to establish and preserve medium density residential neighborhoods that present an environment acceptable to a range of users, including families of all types. Some additional non-residential compatible uses may be allowed. It is important to the community to preserve and enhance the pedestrian-friendly, compact neighborhood types where homes and buildings are of similar scale and character.	
(B) Permitted Principal Uses	(C) Special Land Uses
<ul style="list-style-type: none">• Accessory Building or Structure• Accessory Use, Non-Single Family Residential Lots• Accessory Use, Single-Family Residential Lots• Adult Foster Care, Family Home• Adult Foster Care, Small Group Home• Child or Day Care, Family Home• Child or Day Care, Group Home• Child Care Center or Day Care Center	<ul style="list-style-type: none">• Cemetery• Dwelling, Intentional Community• Dwelling, Quadplex• Foster Family Group Home• Hospital Hospitality House• Public or Governmental Building• Recreational Use, Public• Religious Institution

STAFF FILE REVIEW/ANALYSIS

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<ul style="list-style-type: none"> • Dwelling, Accessory Unit • Dwelling, Single-Family Detached • Dwelling, Triplex • Dwelling, Two-Family (Duplex) • Food Production, Minor • Foster Family Home • Home Occupation • Home Office • Homestays and Vacation Home • Outdoor Entertainment and Community Events (Temporary) • Residential Limited Animal Keeping • Small Wind Energy Systems, Roof-Mounted • Solar Energy Systems, <20kw- Accessory Use 	<ul style="list-style-type: none"> • School, Primary or Secondary • School, University • Solar Energy Systems, ≥20kw to 2 MW - Accessory Use • Supportive Housing Facility, Transitional and/or Permanent
Where there is a discrepancy between Section 54.306 and this table, Section 54.306 shall prevail.	

(D) Dimensional Regulations for 1 Dwelling unit and other uses identified in Section 54.308			
Lot, Coverage, and Building Height Standards		Minimum Setbacks	
Min. Lot Area (sq. ft.)	4,500 (C)	Front Yard (ft.)	15 (A) , (B)
Min. Lot Width (ft.)	37.5 (D)	Side Yard (one) (ft.)	5 (L)
Max. Impervious Surface Coverage (%)	(S)	Side Yard (total of 2) (ft.)	13 (L)
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	20 (L)
Max. Building Height of Accessory Building	(L)		
Max. Building Height (stories)	-		
Where there is a discrepancy between Article 4 and this table, Article 4 shall prevail.			

(E) Dimensional Regulations for 2 Dwelling Units			
Lot, Coverage, and Building Height Standards		Minimum Setbacks	
Min. Lot Area (sq. ft.)	6,000 (C)	Front Yard (ft.)	15 (A) , (B)
Min. Lot Width (ft.)	50 (D)	Side Yard (one) (ft.)	10 (L)
Max. Impervious Surface Coverage (%)	(S)	Side Yard (total of 2) (ft.)	20 (L)
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	20 (L)
Max. Building Height of Accessory Building	(L)		
Max. Building Height (stories)	-		
Where there is a discrepancy between Article 4 and this table, Article 4 shall prevail.			

(F) Dimensional Regulations for 3-4 Dwelling Units			
Lot, Coverage, and Building Height Standards		Minimum Setbacks	
Min. Lot Area (sq. ft.)	9,000 (E)	Front Yard (ft.)	15 (A)
Min. Lot Width (ft.)	75 (E)	Side Yard (one) (ft.)	10 (H) , (L)
Max. Impervious Surface Coverage (%)	(S)	Side Yard (total of 2) (ft.)	20 (H) , (L)
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	30 (H) , (L)
Max. Building Height of Accessory Building	(L)		
Max. Building Height (stories)	-		
Max. Lot Coverage/ Ground Coverage	0.50		
Where there is a discrepancy between Article 4 and this table, Article 4 shall prevail.			

STAFF FILE REVIEW/ANALYSIS

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(G) References to Additional Standards		
Definitions Article 2	Exterior Lighting Section 54.802	Landscaping and Screening Article 10
Subdivisions Section 54.501	Riparian Buffers Section 54.804	Signs Article 11
Site Condominiums Section 54.503	Wetland Protection Section 54.805	Nonconformities Article 12
Accessory Structures Section 54.705	Steep Slopes and Ridgelines Section 54.806	Zoning Permits Section 54.1401
Fences and Walls Section 54.706	Parking, Loading, and Access Management Article 9	Site Plan Review Section 54.1402

Section 54.1003 Landscaping Design Requirements

(D) Buffer and Greenbelt Requirements.

- (1) Intent. It is the intent of this section to provide suitable transitional yards for the purpose of reducing the impact of and conflicts between incompatible land uses abutting district boundaries.
- (2) Buffer and Greenbelt Schedule. On any lot abutting a zoning district boundary, no structure, building or part thereof shall hereafter be erected, constructed, altered or maintained closer to the district boundary line than specified (in feet) in the following schedule (*Figure 50*). Where indicated, landscape planting is required.

Figure 50 - Required Buffer and Greenbelt Specifications:

DISTRICT IN WHICH BUFFER & GREENBELT IS REQUIRED	ABUTTING DISTRICT							
	LDR & MDR	MFR	MHP	M-U	CBD	GC & RC	C, M, & CR	I-M & BLP
LDR and MDR	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.

Proposed Zoning – PUD

Intent and Uses Allowed (staff comments, where applicable, are indicated in bold text):

Section 54.323 PUD, Planned Unit Development District

- (A) Purpose. The Planned Unit Development (PUD) option is intended to encourage, with City approval, private or public development that is substantially in accord with the goals and objectives of the Community Master Plan. Development permitted under this Section shall be considered as an optional means of development only upon terms agreeable to the City. Use of the PUD option will permit flexibility in the regulation of land development and benefit the City by:

- (1) Encouraging innovation through an overall development plan to provide variety in design and layout.
- (2) Achieving economy and efficiency in the use of land, natural resources, energy, and in the provision of public services and utilities.
- (3) Encouraging the creation of useful open spaces particularly suited to the needs of the parcel in question.
- (4) Providing appropriate housing, employment, service, and shopping opportunities suited to the needs of residents of Marquette.

(B) Use. The PUD may be used to:

- (1) Permit nonresidential uses of residentially zoned areas.
- (2) Permit residential uses of non-residentially zoned areas.
- (3) Permit land uses and the mixing of land uses that would otherwise not be permitted, provided the objectives are supported by the Master Plan and the intent of this Ordinance and the resulting development promotes the public health, safety, and welfare without a material adverse impact on adjoining existing and planned uses.

(C) Minimum Size. The minimum size of a PUD must be two (2) acres of contiguous land. However, the City Commission, upon recommendation from the Planning Commission, may permit a smaller PUD under the following circumstances:

- (1) The proposed project has unique characteristics and benefits; and/or
- (2) The parcel in question has unique characteristics that significantly impact development, such as unusual topography, tree stands, wetlands, poor soil conditions on portions of the parcel, water courses, unusual shape or proportions, or utility easements that cross the parcel.

In such case, the applicant must submit a letter to the City requesting a waiver of the minimum PUD size requirements. The request must be submitted at the time of the submittal of Concept and Request for Consideration of Project Qualifications (*Section 54.101(G)*). The Planning Commission shall review the request and make a recommendation to the City Commission. The City Commission shall make the final decision concerning a request to waive the PUD size requirements.

The City Commission waived the contiguous 2 Acre minimum requirement on April 14, 2025.

(D) Density, Layout, and Bulk.

- (1) Densities, setbacks, height, lot coverage, or lot sizes may be permitted that are different from the current zoning district and unique to the proposed PUD district, provided the other objectives of this Ordinance are met and the resulting development would promote the public health, safety, and welfare. The requirements of the Riparian Overlay District must be met.
- (2) The PUD shall be laid out so various land uses and building bulk relate to each other and to adjoining existing and planned uses with no material adverse impact of one use on another. Clustering development is encouraged in areas that are not located in the Riparian Overlay District.

(E) Definitions.

- (1) A “Planned Unit Development” (PUD) is a zoning district that shall apply to a specific parcel of land or several contiguous parcels of land, for which a comprehensive physical plan has been recommended by the Planning Commission, approved by the City Commission, and documented in a contract (PUD Agreement) between the City and site owner/developer. Such plan and contracted development will establish functional use areas and density patterns; will provide a fixed system of streets, public utilities, drainage, and other essential services; and account for similar factors necessary for and incidental to the intended land uses. The Planning Commission may, but is not required to, consider parcels separated by a public street as eligible for inclusion in a PUD.
- (2) A “Pattern Book” is a document prepared by the applicant’s design firm that contains specific information on the site master plan, and architectural designs for planned buildings. Information should include specifications on building materials, size, and dimensions, building elevations, and site design elements such as pedestrian walkways, lighting, landscaping, and signage.

(F) Criteria for Qualifications. *The PUD option may be permitted anywhere in the City except in the Conservation and Recreation (CR) district. To be considered for the PUD option, it must be demonstrated that all of the following criteria are met:*

(G) Submittal of Concept and Request for Consideration of Project Qualifications.

Sections (F) and (G) have been omitted. The Planning Commission “qualified” the project for a PUD on March 18, 2025.

(H) Submittal and Approval of Preliminary PUD Plan. An application for Preliminary PUD Plan approval may be made for consideration with the submission of the following materials and Planning Commission review. To expedite PUD projects, the Planning Commission, at its discretion, may waive submitted information required in Section 54.101(H) and **Error! Reference source not found.**

STAFF FILE REVIEW/ANALYSIS

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- (1) Submittal of Proposed PUD Plan. An application shall be made to the Community Development Department for review and recommendation by the Planning Commission that complies with the preliminary site plan information requirements of ***Error! Reference source not found.***, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:

- (a) A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor.

Provided.

- (b) A topographic map of the entire area at a contour interval of not more than one (1) foot and spot elevations at intervals not to exceed fifty (50) feet, unless waived.

Provided.

- (c) Existing natural areas including, but not limited to, major stands of trees, bodies of water, wetlands, floodplains, steep slopes, and un-buildable areas.

N/A

- (d) A proposed land use plan.

Provided.

- (e) Parcel and lot lines, land use, access points, and zoning of all parcels within 100 feet of the PUD site.

Provided and will provide per responses to Zoning Comments.

- (f) Vehicular circulation including major drives and location of vehicular access. Proposed project cross sections including public streets or private roads.

Provided.

- (g) Transition treatment, including minimum building setbacks to land adjoining the PUD and between different land use areas within the PUD.

Provided.

- (h) The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

N/A – proposal is for all residential buildings or accessory structure.

- (i) The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

Provided.

- (j) The location of all wetlands, water and watercourses, and proposed water detention areas.

N/A.

- (k) The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

Provided in the plan set and narrative.

- (l) A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

Provided.

- (m) A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

Provided.

- (n) An indication of the contemplated water distribution, storm, and sanitary sewer plan.

Provided.

- (o) A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

Provided.

- (p) The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

Provided.

- (q) Minimum of two (2) site sections, showing major building relationships and building site features.

Provided.

STAFF FILE REVIEW/ANALYSIS

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- (r) Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

Provided except for lighting. See narrative for their response regarding lighting.

(2) Planning Commission Review of Proposed PUD Plan.

- (a) Public Hearing and Review Procedure. The Planning Commission shall give notice of a public hearing as provided in **Error! Reference source not found.** and hold a public hearing on the PUD and conduct a review of the PUD Plan and rezoning pursuant to the rezoning procedures of **Error! Reference source not found.**
- (b) Planning Commission Review and Determination. The Planning Commission shall review the proposed PUD plan and make a recommendation to the City Commission as to the proposal's qualification for the PUD option and for adherence to the following objectives and requirements:
 - (i) The proposed PUD adheres to the criteria for qualification of the PUD option (Section 54.101(F)) and promotes the land use goals and objectives of the City.

To be determined by the Planning Commission. It was determined the concept PUD meet the following objectives:

- (a) To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.***
- (c) To accept dedication or set aside open space areas in perpetuity.***
- (f) To promote the goals and objectives of the Community Master Plan.***
- (g) To foster the aesthetic appearance of the City through quality building design and site development; the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.***
- (h) To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.***
- (i) To bring about redevelopment of sites that have been identified as environmentally distressed or Brownfields.***

(j) To facilitate appropriate development of environmentally sensitive areas.

- (ii) All applicable provisions of this Section shall be met. Insofar as any provision of this Section shall be in conflict with the provisions of any other section of this Ordinance, the provisions of this Section shall apply to the lands embraced within a PUD area.

To be determined by the Planning Commission.

- (iii) There is, or will be, at the time of development, an adequate means of disposing of sanitary sewage and of supplying the development with water, and that the road system and storm water drainage system are or will be adequate.

To be determined by the Planning Commission.

- (3) Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to **Error! Reference source not found.** The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

To be determined by the Planning Commission.

Buffer and Greenbelt Requirements.

None required with PUD.

Schedule of Regulations.

Zoning District	Minimum Lot Size	Minimum Lot Width	Minimum Front Yard	Minimum Side Yard	Minimum Rear yard	Maximum Height
PUD	Per approval	Per approval	Per approval	Per approval	Per approval	Per approval

Relationship to Site Plan Review Standards (Staff Comments in Bold Text):

Per Section 54.1402 of the Land Development code:

- (E) Site Plan Review Standards. In addition to the development standards of this Ordinance as well as the underlying zoning district, each site plan shall be designed to ensure that:

- (1) Public Health, Safety, and Welfare. The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be

designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this Ordinance.

The proposed site plan is for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street. The proposal is not anticipated to harm the public health, safety, or welfare.

- (2) *Safe and Efficient Traffic Operations.* *Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, and other elements such as walkways shall be designed to promote safe and efficient traffic operations within the site and at its access points.*

The proposal indicates a new curb cut and driveway from Lee Street to one of the parcels. The other two parcels use existing curb cuts and driveways. The proposal also has pedestrian paths on the parcels.

- (3) *Vehicular and Pedestrian Circulation.* *The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.*

The proposal has pedestrian paths on the parcels which is separated from the vehicular circulation system.

- (4) *Topography and Landscaping.* *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.*

See Sheets C-04.1 and C-04.2 for the landscaping plan. Please see Zoning comments and applicant's responses regarding the proposed landscaping for the site.

- (5) *Storm Water Management.* *Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved*

areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Per the applicant's narrative a "storm water system is proposed with underground storage chambers to reduce storm water runoff to the City system".

- (6) Emergency Vehicle Access. *All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.*

The Police and Fire Departments had no comments regarding access.

- (7) Outdoor Storage and Loading and Unloading Areas. *All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.*

Per the applicant's narrative for the 36 units – "Roadside collection will be used to collect waste. A local disposal company will be hired by the Condo Association and pick up will be at the rear of the buildings individually at the Garages. Note that none of the garages are viewable from the street so individual cans will be contained within the sites view only".

- (8) Lighting. *Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.*

Per the applicant's narrative, "lighting details are still in process and will be designed for low intensity to remain on the site and meet the city current ordinance for lighting. These details will be provided in the site plan final review process".

- (9) Location of Building Entrances. *For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

The main entrance of buildings L, A, B, C, D, E, F, and G face Magnetic Street. Buildings H and I face a parking lot. Buildings J and K face the green space area. Building M faces Piqua Street.

- (10) Nuisances. *No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.*

The Planning Commission should discuss this with the applicant to verify that no noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.

(11) *City of Marquette Engineering Design and Construction Standards. The site plan must comply with the City of Marquette Engineering Design and Construction Standards.*

Please see applicant's response to Engineering comments. Staff is requesting that a revised site plan is submitted to meet staff comments for the final site plan review if the PUD request is approved.

Additional Comments:

The proposal has reduced the number of units from the concept review of 40 units to 36 units.

Per the applicant's PUD application, the applicant is requesting the following variances:

- Section 54.306 (B) and (C) to allow larger multi family units – “Because of the shape of the lots and access from all streets: Lee, Magnetic, and Fourth, it allows better layout and reduced direct access points, especially to Magnetic and Fourth Streets”.
- Section 54.308(D) Reduction of Front and Rear Lot Setbacks – “Magnetic has an 80-ft ROW and more green boulevard, a reduction to 10-ft would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking. Allowing a 10-ft reduction provides better layout allowing more internal green space. The Piqua Street ROW also provides additional separation to the homes to the South”.

Attachments:

- Applicant's applications for PUD and Site Plan Review
- Applicant's Narrative
- PD Staff Comments
- Applicant's response to Zoning, Engineering, and Fire Staff comments
- Area Map
- Block Map
- Zoning Map
- Photos of Site
- Site Plan set (Pattern book info included)

PRINT

CITY OF MARQUETTE
PLANNED UNIT DEVELOPMENT APPLICATION



CITY STAFF USE

Parcel ID#: 0410681 File #: 01-PUD-03-25 Required Narrative Submitted: Y/N
Receipt #: 930315 Check #: 10230 Received by and date: 5-6-25
Concept Plans (6 copies) Submitted: Y/N Hearing Date: _____ Notice Date: _____
Preliminary Plan & Pattern Book (6) Submitted: Y/N Hearing Date: 6-3-25 Notice Date: 5-16-25
Final Site Plan(6) Submitted: Y/N Contract signed: Y/N Meeting Date: _____
Amendment Plan (6) Submitted: Y/N Meeting Date: _____

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE PLANNED UNIT DEVELOPMENT REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))

- ☐ PUD Criteria Qualification \$1,365
☒ PUD Review
(includes Preliminary & Final Site Plan Review) \$5,115
PUD Revision – Administrative Minor
☐ Residential (additions, etc.) \$220
☐ Commercial structure, ≥ 3 residential units \$885
☐ PUD Revision - Major \$2,750

If you have any questions, please call 228-0425 or e-mail alanders@marquettemi.gov. Please refer to www.marquettemi.gov to find the Planning Commission page for filing deadline and meeting schedule.

Please review the attached:

- PUD Timeline
- PUD Checklist
- Excerpts from the City Land Development Code
 - Section 54.323 Planned Unit Development
 - Section 54.1402 Site Plan Review

APPLICANT CONTACT INFORMATION

PROPERTY OWNER

Name: Veridea Group, LLC
Address: 857 W. Washington, Suite 301
City, State, Zip: Marquette, MI 49855
Phone #: 906.228.3900
Email: mthomas@verideagroup.com

APPLICANT/OWNER'S REPRESENTATIVE

Name: Brian M. Savolainen (WW)
Address: 3224 US-41 West #240
City, State, Zip: Marquette, MI 49855
Phone #: (906) 250-5729
Email: bsavolainen@wickwiresolutions.com

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Planned Unit Development. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

PROPERTY INFORMATION

Property Address: Magnetic Street (No Add.)	Property Identification Number: 041068 (
Size of property (frontage / depth / sq. ft. or acres): 180' on Lee, 858.5' Mag, 90' 4th / 90'to180' /3.1 Acres	
Zoning District: MDR	Current Land Use: Parking Lots
Surrounding Zoning Districts: North - MU East - MU South - MDR West - MDR	Surrounding Land Use: North - Residential and Vacant (former hospital site) East - Residential and Worship South - Residential West - Residential

PLANNED UNIT DEVELOPMENT INFORMATION

Percentage of Land Use by Type

	Residential	Commercial/ Institutional	Industrial	Open Space	Other	Total
# of Acres	1.43	0	0	1.67	0	3.10
% of Total	46.1%	0	0	53.9%	0	100%

Residential Density

Type of Unit	Number of Units	Net Acres	Net Density
Single Family Home			
Town Home	36	1.43 Acres(62,220Sft)	27.97
Apartments			
Other			
Total			

Net Acres - Land development for land use type not including right-of-way
 Net Density - Number of Units/Net Acres

VARIANCES FROM ORDINANCE(S)

THIS IS A REQUIRED SECTION. FAILURE TO FILL OUT MAY INDICATE THAT THE PROPERTY CAN BE DEVELOPED UNDER CURRENT ZONING DISTRICT STANDARDS.

Please list and justify the request variance(s) from the Land Development Code (attach additional pages if necessary):

Section 54.306 (B)&(C) to allow larger than quadplex multi family units -- Because of the shape of the lots and access from all streets: Lee, Magnetic, and 4th, it allows better layout and reduced direct access points, especially to Magnetic and 4th Streets.

Section 54.308 (D) Reduction of Front and Rear Lot Setbacks -- Magnetic has an 80' ROW and more green boulevard, a reduction to 10' would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking.

Allowing a 10' reduction provides better layout allowing more internal green space. The Piqua Street ROW also provides additional separation to the homes to the South.

See cover letter for more information.

REVISIONS TO PUD

Please list the proposed revisions to your approved PUD (attach additional pages if necessary):

Since the concept application, the number of units has been reduced from 40 to 36, and access from Piqua Street has been removed from the plan.

Minor layout modifications may be necessary as the plan moves forward and we work with the City of Marquette Planning/Zoning/Engineering Departments.

SIGNATURE

I hereby certify the following:

1. I am the legal owner of the property for which this application is being submitted.
2. I desire to apply for the Planned Unit Development Permit indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
3. The requested Planned Unit Development would not violate any deed restrictions attached the property involved in the request.
4. I have read the attached Planned Unit Development section of the Land Development Code and understand the necessary requirements that must be completed.
5. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.
6. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full. Once my application is deemed complete, I will be assigned a date for a public hearing before the Planning Commission that may not necessarily be the next scheduled meeting due to notification requirements and Planning Commission Bylaws.
7. I acknowledge that this form is not in itself a Planned Unit Development but only an application for a Planned Unit Development and is valid only with procurement of applicable approvals.
8. I authorize City Staff and the Planning Commission members to inspect the site.

Property Owner Signature:

Robert E. Mahoney

Date: 4/22/25

Applicant Signature:

B. M. J. O.

Date:

4/22/05

PRINT

CITY OF MARQUETTE SITE PLAN REVIEW APPLICATION



CITY STAFF USE

Parcel ID #: 0410681 inc in 01-PUD-03-25 File #: 05-SPR-06-25
Receipt/Inv #: _____ Check #: _____ Received by and date: _____
Site Plan Sheet Set (PC Review - 6 copies/Admin Review - 3 copies) Submitted: ☒ Y ☐ N Digital Copy: ☒ Y ☐ N
If applicable - Hearing Date: 6-3 Notice Date: 5-16 Application complete (checklist, etc): ☒ Y ☐ N
Does the site plan meet the required items: Y / N

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

Businesses may need to be made accessible to the public and employees per the Americans with Disabilities Act and State Construction Code.

FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))

Commercial, Industrial, Residential with 3 or more units, and Final PUD Site Plan (includes zoning compliance fee)

- | | |
|--|---------|
| <input type="checkbox"/> Sketch Plan | \$975 |
| <input type="checkbox"/> Preliminary SPR | \$1,930 |
| <input type="checkbox"/> Administrative Review (CDRT review) | \$2,120 |
| <input type="checkbox"/> Administrative Review (Non-CDRT review) | \$1,110 |
| <input type="checkbox"/> Planning Commission Review | \$2,420 |

Revised Site Plan (Developer Initiated)

- | | |
|--|---------|
| <input type="checkbox"/> Administrative Review (CDRT) | \$1,595 |
| <input type="checkbox"/> Administrative Review (Non-CDRT review) | \$1,080 |
| <input type="checkbox"/> Planning Commission Review | \$1,845 |

Site Condominium

- | | |
|--|---------|
| <input type="checkbox"/> Site Condominium Review | \$2,095 |
| <input type="checkbox"/> Revised (Developer Initiated) | \$1,015 |

Plats/Subdivision

- | | |
|--|---------|
| <input type="checkbox"/> Preliminary | \$2,095 |
| <input type="checkbox"/> Final | \$2,095 |
| <input type="checkbox"/> Revised (Developer Initiated) | \$1,015 |

- ☒ Site Plan Review fee is included in the Special Land Use Permit or Planned Unit Development application fees

If you have any questions, please call 228-0425 or e-mail alanders@marquettemi.gov. Please refer to www.marquettemi.gov to find the following information:

Planning Commission page for filing deadline and meeting schedule
Excerpts from the City Land Development Code

- Section 54.1402 Site Plan Review (this is attached to the application).
- Section 54.1401 Zoning Permits and Zoning Compliance Review.
- If you are applying for a Site Condominium/Plat/Subdivision, please review Article 5.

STORMWATER

Will you be managing stormwater and applying for a stormwater utility fee reduction? ☐ Yes ☒ No
If yes, please refer to the Stormwater Utility Fee Reduction Application on the City website at www.marquettemi.gov under the Engineering applications. Storm Water is Managed no request for reduction

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

APPLICANT CONTACT INFORMATION

PROPERTY OWNER

Name Veridia Group
Address 857 W. Washington Street
City, State, Zip Marquette, MI 49855
Phone # 906-228-3900
Email rmahaney@verideagroup.com

APPLICANT/OWNER'S REPRESENTATIVE

Name Brian Savolainen, PE(Wickwire)
Address 3224 US-41W #240
City, State, Zip Marquette, MI 49855
Phone # 906-250-5729
Email bsavo2000@yahoo.com

ARCHITECT

Name Integrated Architecture
Address 840 Ottawa Ave NW
City, State, Zip Grand Rapids, MI 49503
Phone # 616-574-0220
Email Scott@intarch.com

ENGINEER

Name Same as Representative
Address _____
City, State, Zip _____
Phone # _____
Email _____

SURVEYOR

Name Stacey Bluse, TriMedia
Address 830 W. Washington
City, State, Zip Marquette, MI 49855
Phone # 906-228-5225
Email sbluse@trimediaee.com

PROPERTY INFORMATION

Property Address: Magnetic Street	Property Identification Number: 0410680
Size of property (frontage / depth / sq. ft. or acres): 3.1 Acres	
Zoning District: MDR to PUD	Current Land Use: Parking
Surrounding Zoning Districts: North - Mixed East - Mixed South - MDR West - MDR	Surrounding Land Use: North - Residential & former Hospital East - Residential and Worship South - Residential West - Residential

DESCRIPTION OF PROJECT

Proposed use(s): PUD for Single Family Townhomes
Proposed structures (including stairs) and dimensions, building style, and materials: See Plans
Proposed site improvements: See Plans
Proposed phases and timelines for work: See Narrative in PUD Application
Ultimate ownership: Condo Association

SIGNATURE

I hereby certify the following:	
<ol style="list-style-type: none">1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.2. The request would not violate any deed restrictions attached the property involved in the request.3. I have read the attached Site Plan Review section of the Land Development Code and understand the necessary requirements that must be completed.4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).	
Applicant Signature: <u>Brian Matthew Savolainen</u>	Date: <u>4/24/25</u>
<ol style="list-style-type: none">1. I am the legal owner of the property for which this application is being submitted.2. I authorize City Staff and the Planning Commission members to inspect the site.3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.	
Property Owner Signature: <u>Robert E. Mahaney</u>	Date: <u>4/24/25</u>

Project Name: Venidea PUOFile #: 05-SPR-06-25Parcel #: 0410681

PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.

Site Plan Information Required in the Site Plan Set (See Figure 52 in LDC)		APPLICANT	
		Location in site plan	
Identification of Project			
1. The applicant's name.		Cover	
2. Name of the development.		Cover	
3. The preparer's name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.		Cover	
4. Small scale location sketch of sufficient size and scale. (SKETCH PLAN ONLY)		Cover	
5. A survey of the property, sealed by a surveyor licensed in the State of Michigan.		C-0.1	
6. Date of preparation and any revisions.		Cover	
7. North arrow.		All Site	
8. Complete and current legal description and size of property in acres.		Sht 21&22	
Existing Features			
9. Property lines and dimensions drawn to scale.		All Survey Site	
10. Zoning and current land use of applicant's property and all abutting properties and of properties across any public or private street from the site.		C-0	
11. Lot lines and all structures on the property and within 100 feet of the site's property lines.		C-0	
12. Locations of all significant natural features – streams, wetlands and floodplains (see Section 54.805), steep slopes (see Section 54.806).		None	
13. Boundary of any Riparian Overlay Districts, per Section 54.320(E) . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per Section 54.806		NA	
14. Any existing private or public easements		NA	
15. Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.		C-0	
16. Locations of existing utilities.		C-03.1&2	
17. Existing topography at a minimum of two (2) foot contour intervals.		C-0	
		Location in site plan	N/A attach reason
Proposed Construction			
18. Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See Article 3 , Article 4 , and Article 7 .		AS Drawings	
19. Floor area and ground coverage ratios. See Article 3 and Article 4 .		Site & A drawings	
20. Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code. (Preliminary Site Plan submittal only)		C03.1&2	
21. Proposed topography with a site grading plan with topography at a maximum of two (2) foot contour intervals.		C-02.1&2	

	APPLICANT	
	Location in site plan	N/A attach reason
22. Boundary of any Riparian Overlay Districts, per Section 54.320(E) . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per Section 54.806	none	
23. Location and method of screening for all waste dumpsters. See Section 54.1003(F) .	No Dumpsters	
24. Location and dimensions of parking spaces. See Article 9 .	Site Plans	
25. General landscaping design concept acceptable to the Zoning Administrator. (SKETCH PLAN ONLY)	C-04.1&2	
26. A landscaping plan indicating proposed plant locations with common plant name, number, and size at installation. Berms, retaining walls or fences shall be shown with elevations from the surrounding average grade. See Article 10	C-04.1&2	
27. Details of exterior lighting including locations, height, and method of shielding. See Section 54.802 .	TBD	
28. The location of all permanent or temporary signs, existing or proposed, including their area, size, height, illumination, and the type of construction. See Article 11 .	To Be Determined	
29. Locations of utility services (with sizes) and storm water management elements, including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per Section 54.803 . Any proposed public or private easements.	C-03.1&2	
30. Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.	New at Each Drive C-03.1&2	
31. If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed.	In Narrative	
Site Circulation Details and Access Design		
32. General site circulation and access including: indication of street right-of-way and pavement widths; access points; and location of pedestrian paths. See Section 54.907 . (SKETCH PLAN ONLY)	Survey and Sites	
33. Street horizontal and vertical dimensions, including curve radii.	No Change	
34. Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See Section 54.907 .	Shown Dim to be Add	
35. Schematic location and names of abutting public streets and other right-of-ways, and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Site & Survey	
36. Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See Section 54.907 .	Sites	
37. Locations, dimensions, and names of abutting public streets and other right-of-ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Survey	
38. Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.	D-1	
39. Written verification of access easements or agreements, if applicable.	NA	
Additional Information		
40. Any other information necessary to establish compliance with this and other ordinances.	NA	

	APPLICANT	
	Location in site plan	N/A attach reason
Voluntary Information/Considerations – callouts/notes and narrative would be appreciated		
41. Infrastructure for Electric Vehicle (EV) charging stations (wiring, conduit, etc.)	NA	
42. Incorporation of green infrastructure elements such as a bioswale/rain garden (see Fig 41), pervious pavers, vegetative/green roof, living retaining wall, French drains.	C-Plans	
43. Public art elements such as sculpture, murals, interactive installations.	NA	
44. Affordable housing (including of explanation of how affordability is calculated).	NA	
45. Encourage colorful cladding materials (black, white, grey materials should be limited to <50 percent of total exterior cladding and trim colors).	See Arch Sheets	
46. Inclusion of bicycle parking facilities (racks, shelters, lockers, etc.) not required by the LDC.	NA	

ENGINEERING DEPT	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
Please refer to the Engineering Department General Guidelines and Standards for Street and Utility Design: https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev-5-4-16.pdf			
Will you be managing stormwater and applying for a stormwater utility fee reduction? ____ Yes <input checked="" type="checkbox"/> No If yes, please refer to the Stormwater Utility Fee Reduction Application: https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf			
47. Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	Will be added to Permit Set		
48. Curb cut, water, sanitary sewer, storm sewer permits, etc. required? (obtain prior to construction activities)	Will Require Contractor		
49. Vehicle maneuvering lane size	Moving Van, Trash, Plow		
50. Pavement width/type	Shown		
51. Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas	Yes		
52. Storm sewer ≥12" diameter, in right-of-way, shall be reinforced concrete	None in ROW		
53. Sumps in catch basins?	Yes		
54. Plans to be stamped, dated and signed by a professional engineer	Yes		
55. Is the downstream storm sewer capacity adequate?	Reduced from Current so yes		
56. Verify that storm water runoff volume or velocity is not increased onto adjacent properties	Yes		
57. Does any earthwork disturb adjacent properties?	No		
58. Wetland concerns/proper permits obtained?	NA		
59. Traffic impact minimal to existing conditions (stacking, etc.)?	Same as Current better Location		

ENGINEERING DEPT. CONT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
60. Vehicular and non-motorized circulation	Site		
61. Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?	Yes		
62. Is there a hydrant at the end of any proposed dead end water main?	Yes		
63. Size and material type of proposed and existing utilities shown?	Yes		
64. Street horizontal and vertical dimensions, radii	No Street Improvements		
65. Width and materials for non-motorized paths	None		
66. Dimension of access points including distance from adjacent driveways or intersecting streets	Shown	dims to be added	
67. Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance)		Will be added to final site	

PUBLIC WORKS DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
68. Delineate & dimension all public or private easements	We will be providing for Neighbor		
69. Show public utility main locations & sizes within 100 feet of property boundary	C-03		
70. Extension or re-routing of public utility systems required	No		
71. Capacity and condition concerns of existing utility lines to serve the project	None		
72. Abandonment of existing utility lines associated with the project	None		
73. Location of existing and proposed utility services (with sizes), including storm water to be shown	C-0 & 3		
74. Utility metering requirements of the project	In building		
75. Backflow and cross connection requirements applicable to the project including any proposed irrigation systems	TBD		
76. Sanitary waste pretreatment requirements	Meet County Bldg		
77. Adequate snow storage provided on the property, without clear vision or utility obstructions	Yes		
78. Provisions to collect drainage from snow storage areas collected on property	Green Areas		
79. Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections)	Will Apply for		
80. Additions or changes to public signing or traffic control required or recommended	None		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
PUBLIC WORKS DEPT. CONT.			
81. Additions to existing public sidewalks, or plowed routes, required or recommended	none		
82. Impact of project on public snow removal/storage	none		
83. Effect on plowing or ice control priorities	none		
84. New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements	None		
85. Adequate, proper, and accessible on-site waste storage	Individual	Pick up	
86. Adequate clearances and clear vision maintained for maintenance and sanitation equipment	Yes		
87. Removal, trimming, or planting of public trees required	None		
88. Maintenance-friendly design for any portions of the project to become public property	None		
89. Storage of hazardous materials associated with the project near public utilities	None		
90. Blasting near public utilities associated with the project	None		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
FIRE DEPARTMENT DEPT.			
91. Buildings meet NFPA standards/NFPA Life Safety Code 101/ BOCA National Property Maintenance Code	Will be		
92. Proper water supply for fire suppression including fire hydrants and water mains	No Change		
93. Safe outlets for flushing fire hydrants	No Change		
94. Easements to test hydrants	None		
95. Water supply meets NFPA standards	Will be		
96. Fire Apparatus Access	Architect will coordinate with Fire		
97. Surface Construction	See Plans		
98. Ability to support fire trucks	Yes		
99. Fire truck angle of approach	All sides		
100. Outside turning radius	For Semi		
101. Grade of drive or road ok	Reduced from Existing 3%		
102. Overhead clearance adequate	Yes		
103. Driveways and access roads meet NFPA standards	No Change		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
POLICE DEPARTMENT DEPT.			
104. Cross reference with accident data at nearest intersection(s)	No Change		

Applicant's Narrative

Townhomes PUD (Step 3 – Submittal of Preliminary Plan)

The Veridea Group recently submitted an application for the Development of a PUD at the former Marquette General Hospital (MGH) properties located South of Magnetic Street between Lee Avenue and Fourth Street. The three properties are identified by Marquette Property ID Number 0410680 and have no specific property address. The properties are currently parking lots formerly utilized for parking at MGH and have no use in their current condition.

The Parcels are located in the Medium Density Residential (MDR) zoning district. Veridea and its consultants have been developing a concept plan to best meet the current zoning and restore the area to a residential neighborhood with a mixture of Townhomes that best utilize the current layout of the properties. The Townhomes are designed with multi-car garages to limit the need for large parking areas and allow for increased green space. The plan reduces the storm water runoff to the city system, and the installation of additional storm water utilizing underground storage beneath some of the green spaces will further reduce the flow to the City system.

The City Planning Commission held a public hearing on the PUD concept plan on March 18. The concept plan was approved and this application represents the next step of the PUD process. The attached Preliminary Plan set with some additional proposed Town Home details has been developed.

Note that following the meeting and hearing comments from the public, Planning Commissioners and other miscellaneous concerns, the number of units has been reduced to 36 and vehicular access to Piqua Street has been eliminated.

This submittal has been prepared in accordance with the requirements of *Section 54.1402*, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:

- **All project plans are at a scale of less than or equal to 1"=100'**

A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor. Page 7 of 28

- **Portions of the Completed Alta Legal Survey Sealed by a licensed land surveyor are included in the preliminary plan set.**

The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

Applicant's Narrative

- **There are no proposed non-residential buildings.**

The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

- **Sheet AS-101 includes this information.**

The location of all wetlands, water and watercourses, and proposed water detention areas.

- **There are no Wetlands or watercourses on the site. Proposed storm underground storm water retention areas are shown on the site plans.**

The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

- **Several Open Space (Green Spaces) areas are provided throughout the site and are shown on the Architectural and site plans. These areas will be owned by a future homeowners association.**

A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

- **A conceptual Landscape Plan is included in the plan set.**

A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

- **A preliminary grading plan including spot grades and proposed contours is included. Some decorative retaining wall features may also be added to this plan and the landscape plan in final site design.**

An indication of the contemplated water distribution, storm, and sanitary sewer plan.

- **Our Engineer has met with the City Engineer and Public Works director and has developed a concept plan including single master meters for a private water system for each of the three Parcels, a private sanitary sewer system, including relocation of a neighboring sanitary lateral that will include an easement through the site to its current outlet on Magnetic Street. A storm water system is also proposed with underground storage chambers to reduce storm water runoff to the City System.**

A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

Applicant's Narrative

- **Veridea Group is requesting a PUD for the vacant parking lots on the south side of Magnetic Street between Lee Street and Presque Isle Avenue, as depicted in the application documents. The intention of the PUD is to develop up to 36 attached townhomes in a variety of sizes and floor plans. It is expected that, when fully developed, the resultant population will be between 50-100 people. As depicted in the floor plans included in the PUD application, the floor area of the total development is expected to be approximately 55,392 square feet, with a total of 142 parking spaces. Development is expected to begin with three units built starting in the early fall of 2025 and will progress from East to West on Block 10 of the development map. Development of Blocks 11 and 9 will follow the development of Block 10 and the timeline will be determined based on market conditions and demand. Assuming favorable market conditions, the entire development is estimated for completion by the spring of 2029.**

-

The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

- **The townhomes will be sold as part of a condominium and are expected to be owner-occupied. Phase 1 will begin in the fall of 2025 and will encompass three units. Depending on market conditions, the next section of construction would be planned to follow in the spring of 2026 and will consist of six units. Future phasing will be driven by market demand and is likely to include 6 units per year.**

-

Minimum of two (2) site sections, showing major building relationships and building site features.

- **Several Site section drawings are included in the plan set. WE have also added Sections on Sheet C-05.1 which depict the Proposed Grade through the site, Sheet AS-102 on has also update sections which resemble the landscaping features being proposed, Sheet A-501 also includes the building heights and has added the proposed Pavilion.**

Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

Applicant's Narrative

- **Several Renderings are included in the drawing set, lighting details are still in process and will be designed for low intensity to remain on the site and meet the City current ordinance for lighting. These details will be provided in the site plan final review process. Renderings have been updated to better resemble the site landscaping.**

Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to *Section 54.1402(H)*. The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

- **The Veridea group is willing to discuss performance guarantees with the City of Marquette.**

These are additional write-ups added upon the request of the City initial review of previously submitted documents.

- **Section PUD (H)(1)(K) – We have Added Notation to the Landscape Plan sheets C-04.1 and C-04.2 indicating that all of the Green Area and Buffer Yard Landscape areas will be permanently preserved, and the Condominium Association will be responsible to provide annual maintenance of these areas and provide re-planting as necessary.**
- **On Sheet C-04.1 we have also added notation that the large green space including the proposed Pavilion will be permanently preserved area for the entire Condominium Association.**
- **Section 54.323(H(1))**
 - **(b) We have completed a full topographic survey of the 3 PUD sites and provided 1' contours for the working areas and have also added the neighborhood 2' contour map to Sheet C-0.**
 - **(c) Our topo survey picked up the boundary street trees on all four perimeter streets and those trees are shown in the basemap. No water, wetlands, floodplains, steep slopes or unbuildable areas are located on these sites.**
 - **(d) The proposed land use will be multi-family residential.**
 - **(e) Parcel and lot lines are shown on Sheet C-0 and the legal survey sheet S-1. Land uses are noted on C-0, access points are shown on and dimensioned on C-01 and all zoning parcels within 100' have been added to sheet C-0.**

Applicant's Narrative

- (f) Vehicle Circulation is a 24' wide maneuvering lane between buildings and parking and a detail is included on sheet D-1. Note there are no proposed public or private streets included in the new development areas.
- (g) Transition treatments are included on the Landscape Plan Sheets C-04.1 and C-04.2 and setbacks and Land Uses are identified on C-0
- Exterior Mechanical Equipment, yet to be fully determined, will be located on the roofs and will be screened by the building parapet walls. Additional screening may be added as required by City planning review of final architectural plans.
- Handling waste for 36 units: Roadside collection will be used to collect waste. A local disposal company will be hired by the Condo Association and pick up will be at the rear of the buildings individually at the Garages. Note that none of the garages are viewable from the street so individual cans will be contained within the sites view only.

Respectfully Submitted,

Brian M. Savolainen, PE



**CITY OF MARQUETTE
POLICE DEPARTMENT
300 W. BARAGA AVE.
MARQUETTE, MI 49855
(906) 228-0400
www.marquettemi.gov**

MEMORANDUM

TO: Planning Commission
FROM: James Finkbeiner, Road Patrol Captain
DATE: May 14, 2025
SUBJECT: Review of 05-SPR-06-25 with 01-PUD-0325

**Parcel ID's # 0410681
300 Block of West Magnetic Street
Veridea Group, Inc, LLC**

I have reviewed the plans and have no comments at this time.

Captain James Finkbeiner
Road Patrol Captain
Marquette City Police Department





CITY OF MARQUETTE
PLANNING AND ZONING
1100 WRIGHT STREET
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Andrea Landers, Zoning Official
FROM: Brian Savolainen, PE for Wickwire
DATE: May 20, 2025
SUBJECT: Preliminary Site Plan Review – 01-PUD-03-25 – W. Magnetic St
(Portion of PIN: 0410681)

After reviewing the site plan set, zoning staff have the following comments:

General Comments

1. Missing – Location of access points across from Lee Street.
Plans will be revised to show additional dimensioning.
2. Missing – Distance from adjacent driveways including those across Lee Street.
Plans will be revised to show additional dimensioning.
3. Snow storage has to be in a landscaped area per Section 54.905 - "*The snow storage area may be located in a landscape area required in [Article 10](#) or in a storm water detention or retention pond, subject to approval by the City.*" The proposed locations do not meet the code. Please revise to meet code.
A stormwater leaching basin near Building F will be added for storm water and snow runoff. Other snow storage areas will be relocated to the landscaped/greenspace areas.

Sheet C-04.1

1. The parking lot to the south of Building E abuts a residential zoning district to the east and to the south. Please provide how you propose to meet **Section 54.905(I)** of the LDC. You have a note that states existing fence but not what type and height of the fence.
Plans will be revised to show fence height and type (6' height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.

Sheet C-04.2

1. The parking lot to the south of Building F abuts a residential zoning district to the east, west, and to the south. Please provide how you propose to meet **Section 54.905(I)** of the LDC.
Plans will be revised to show fence height and type (6' height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.

2. For Block 9 Lee Street Frontage. Missing 1 required Ornamental tree for a total of 2. Please provide.

Plans will be revised to add one more ornamental tree.

3. For Block 11 interior parking lot landscaping, missing the 2 requires deciduous trees for the 419 S.F. area.

Plans will be revised to include 2 deciduous trees in the landscaping area.

Site Plan Review
CITY OF MARQUETTE
1100 Wright Street
Marquette, MI 49855

Date: May 16th, 2025

Location: Magnetic Street between Lee Street and Fourth Street

Submittal Documents:

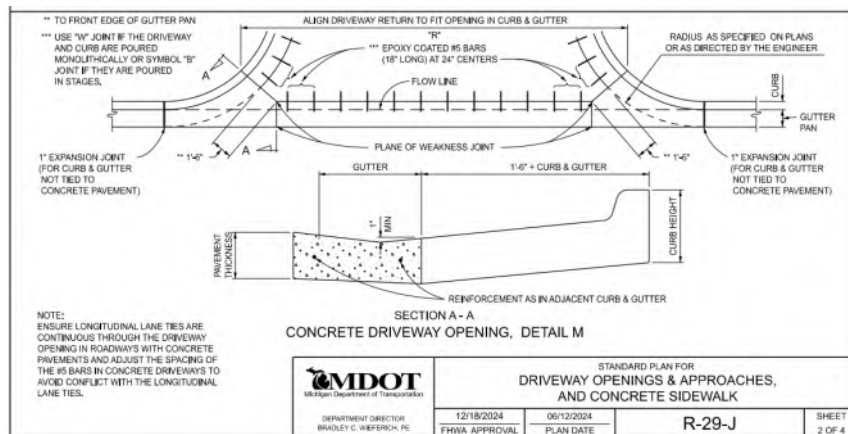
Plan Title: Veridea Group Marquette General Hospital Site Re-Development

Submitted by: Wickwire

Plans Stamped: 5/5/25

The following are **responses to the** review comments from the Engineering Department submitted for the documents identified above.

1. All driveway openings must follow MDOT Concrete Driveway Opening, Detail M.
Plans will be revised to include the standard detail.



2. Sidewalks must be carried through the driveways and maintain ADA compliant cross slope.
Plans will be revised to concrete drive approaches with integrated sidewalk.
3. Please include City of Marquette Standard Utility Details in the plan set.
Plans will be revised to include all 3 utility details.
4. Please include a note that all existing water and storm sewer service abandonments shall be made as directed by the City Engineer.
Plans will be revised to include “ALL EXISTING WATER AND STORM SEWER SERVICE ABANDONMENTS SHALL BE MADE AS DIRECTED BY THE CITY ENGINEER”.

Respectfully Submitted,
WICKWIRE, PC



CITY OF MARQUETTE
Fire Department
418 S. Third St.
MARQUETTE, MI 49855
(906) 225-8941
jfossitt@marquettemi.gov



MEMORANDUM

TO: Andrea Landers
FROM: Jeff Fossitt
DATE: 04-28-25
SUBJECT: 05-SPR-06-25 and 01-PUD-03-25
Parcel Numbers: 0410681
Magnetic Street

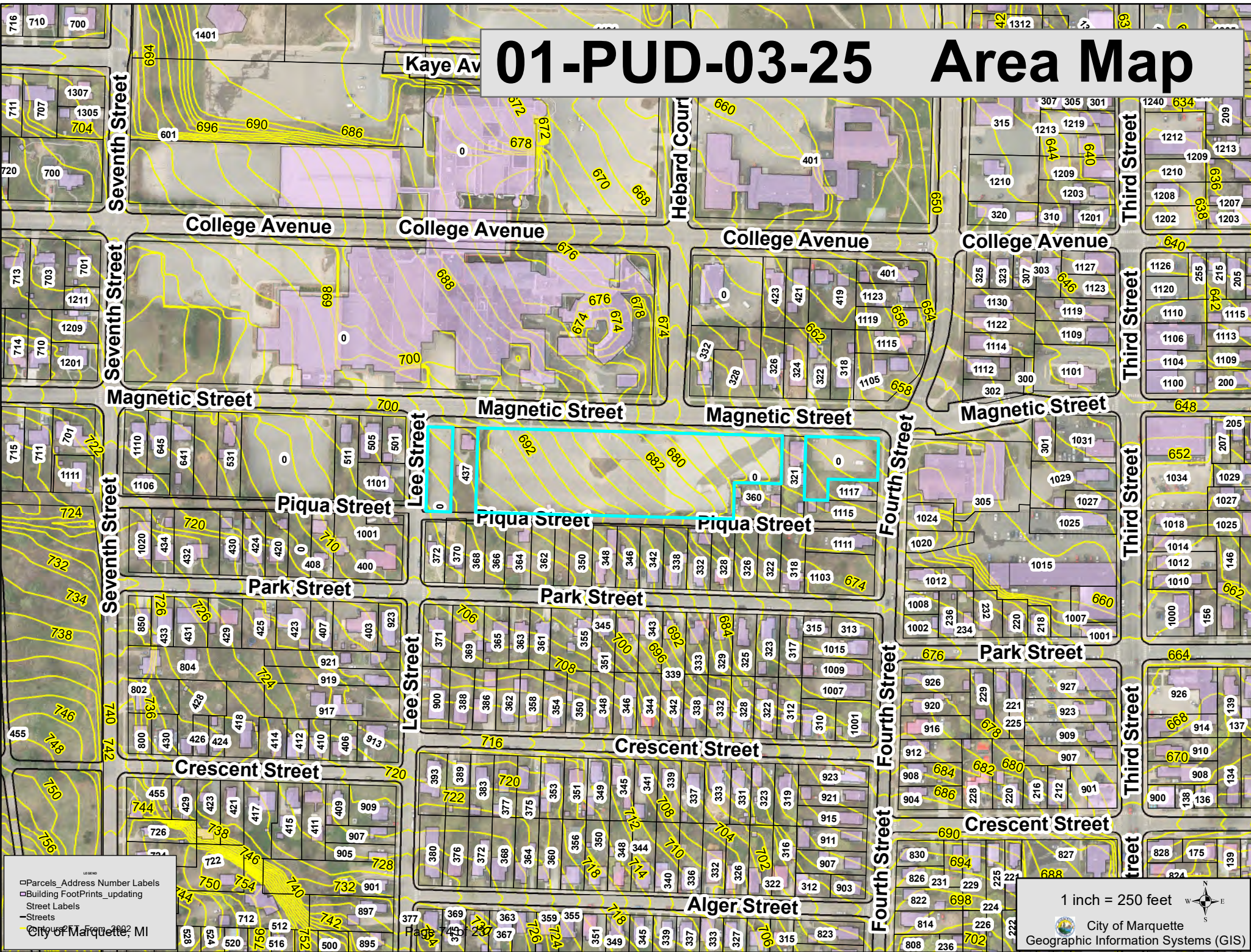
FIRE DEPARTMENT COMMENTS:

- Will the buildings be equipped with a fire alarm system?
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire alarms are not required. Smoke alarms will be provided, as required.
- Will the buildings be equipped with sprinkler systems?
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire sprinkler systems are not required.
- Will a Knox Box be provided?
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, Knox Boxes are not required.

Jeff Fossitt
Fire Marshal
Marquette Fire Department



01-PUD-03-25 Area Map



Kaye Av

Hebard Court

Third Street

Third Street

Third Street

Third Street

Third Street

Fourth Street

Fourth Street

Fourth Street

Lee Street

Lee Street

Page 4

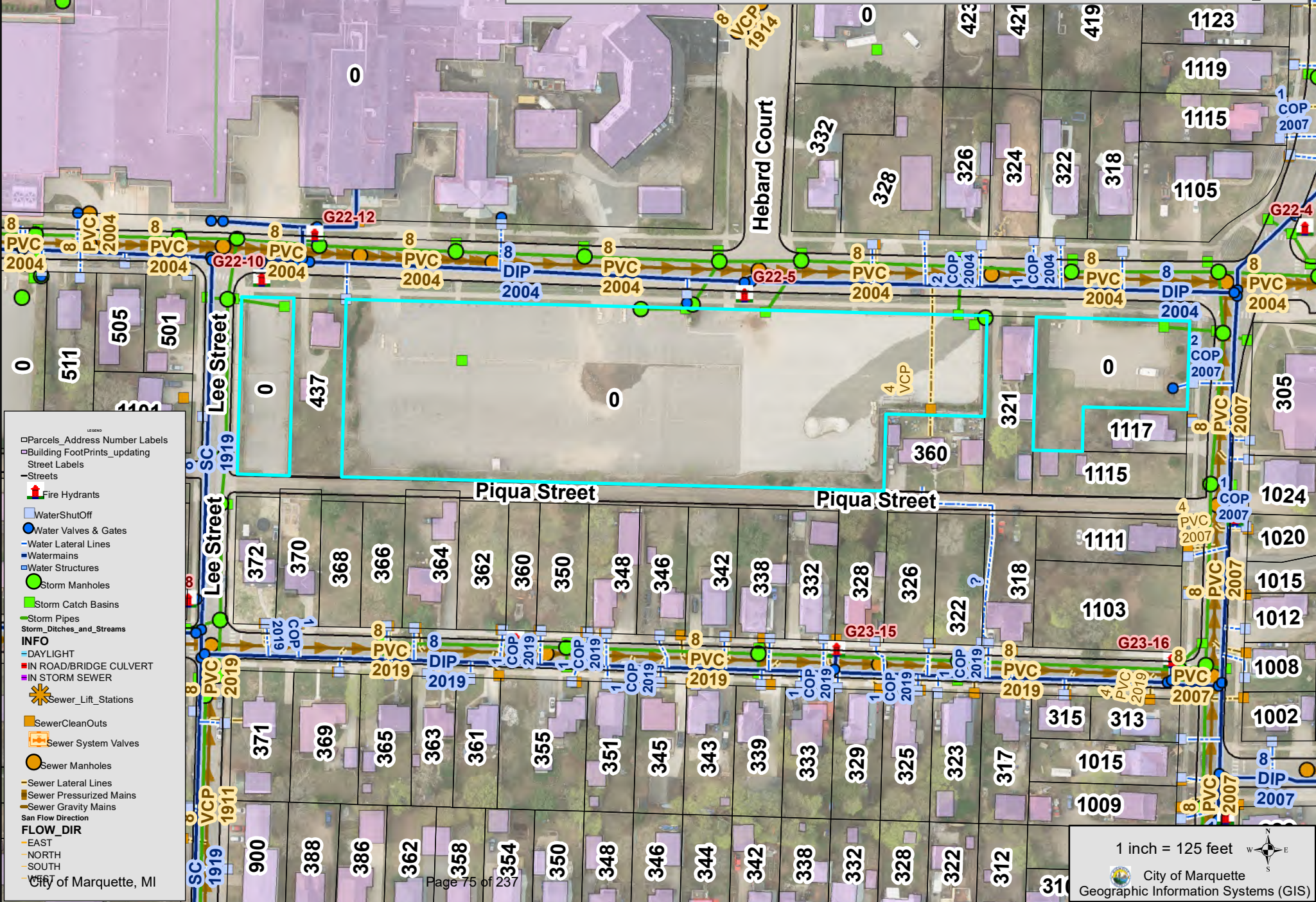
Seventh Street

Seventh Street

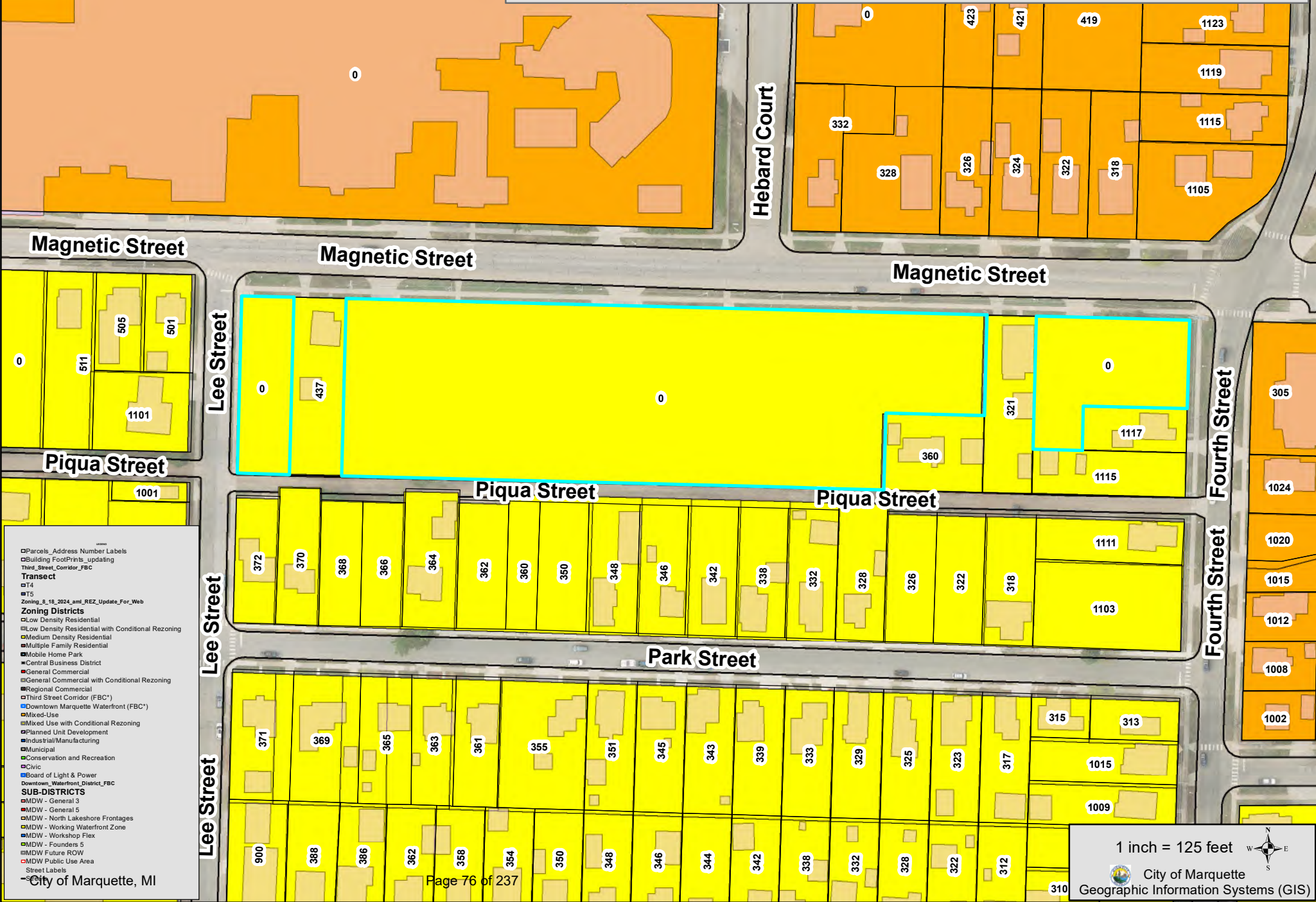
Seventh Street

Seventh Street

01-PUD-03-25 Block Map



01-PUD-03-25 Zoning Map













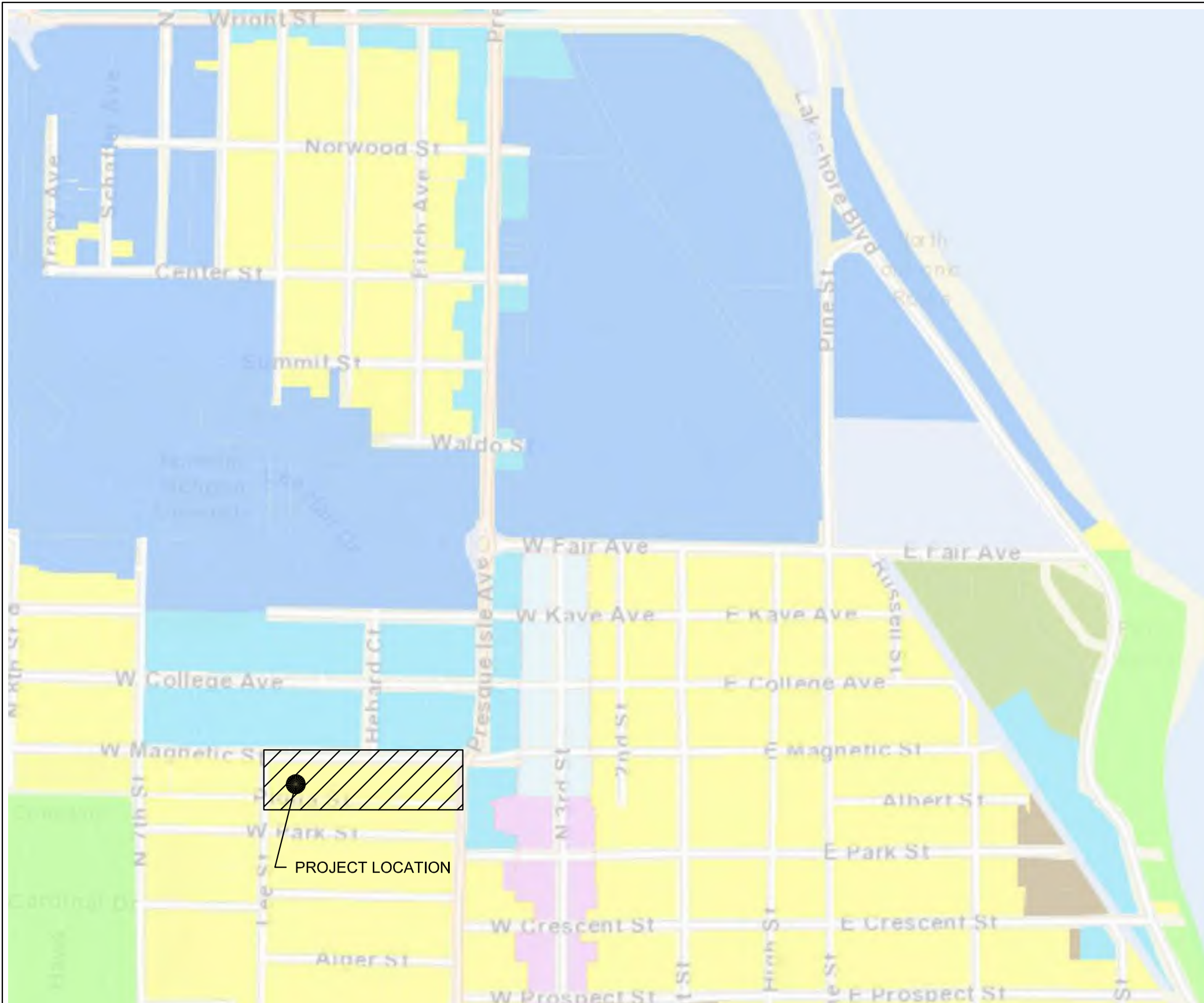
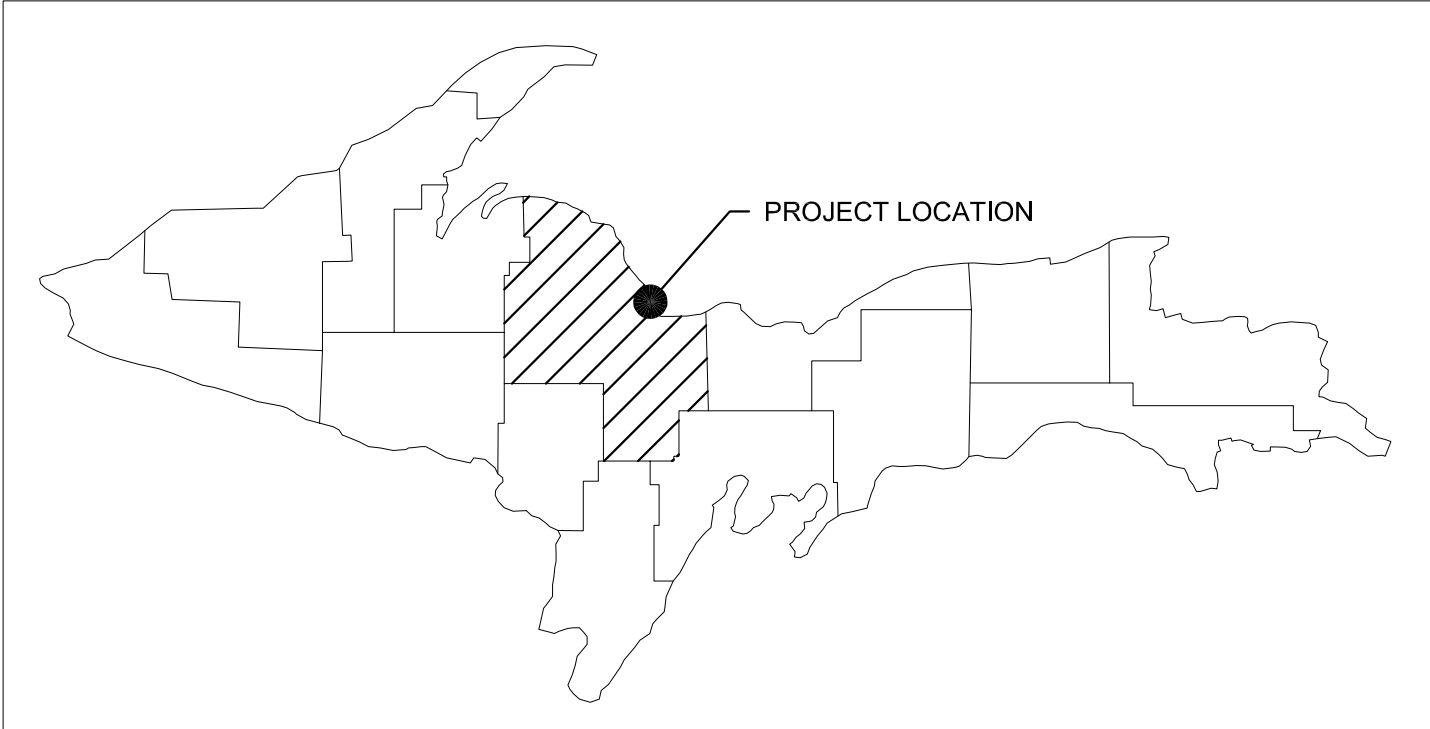




VERIDEA GROUP
MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



CITY OF MARQUETTE,
MARQUETTE, MICHIGAN
WICKWIRE PROJECT NO.: 24042



SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	01-G-01	COVER
2	C-0	OVERALL EXISTING SITE SURVEY
3	C-0.1	PHASE 1 REMOVAL PLAN
4	C-0.2	PHASE 2 REMOVAL PLAN
5	C-01	OVERALL SITE PLAN
6	C-01.1	PHASE 1 SITE PLAN
7	C-01.2	PHASE 2 SITE PLAN
8	C-02.1	PHASE 1 GRADING/STORM PLAN
9	C-02.2	PHASE 2 GRADING/STORM PLAN
10	C-03.1	PHASE 1 UTILITY PLAN
11	C-03.2	PHASE 2 UTILITY PLAN
12	C-04.1	PHASE 1 LANDSCAPING PLANS
13	C-04.2	PHASE 2 LANDSCAPING PLANS
14	C-05.1	PHASE 1 ELEVATION PROFILE VIEWS
15	C-05.2	PHASE 1 UTILITY PROFILE VIEWS
16	D-1	DETAILS
17	AS-101	ARCHITECTURAL SITE PLAN
18	AS-102	SITE SECTIONS
19	A-101	UNIT FLOOR PLANS
20	A-102	UNIT FLOOR PLANS
21	A-501	BUILDING ELEVATIONS
22	A-501	CONCEPT RENDERINGS ARCHITECTURAL DETAILS
23	A-502	CONCEPT RENDERINGS ARCHITECTURAL DETAILS
24	S-1	ALTA/NSPS LAND TITLE SURVEY
25	S-6	ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:
OWNER
VERIDEA GROUP
857 W. WASHINGTON ST.
SUITE 301, MARQUETTE, MI 49855

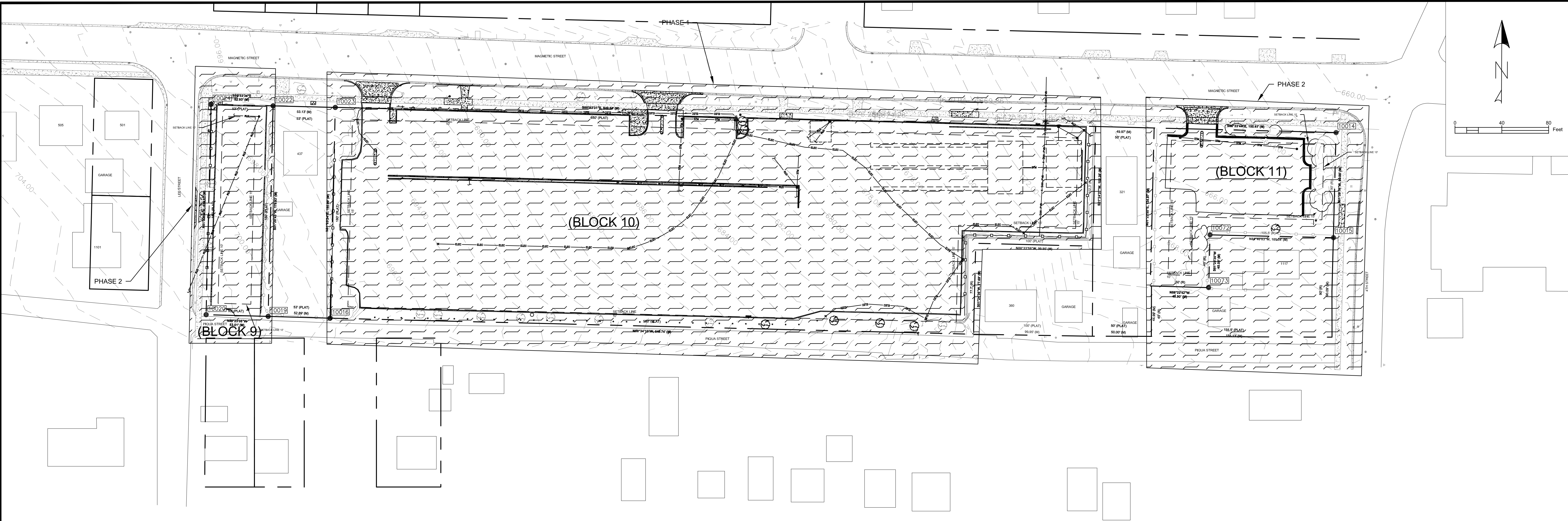
ARCHITECT & MEP ENGINEERING
SCOTT FREDRICKS
INTEGRATED ARCHITECTURE
840 OTTAWA AVE NW
GRAND RAPIDS, MI 49503
(616) 574-0220
SFREDRICKS@INTARCH.COM

CIVIL ENGINEER
BRIAN SAVOLAINEN
MI PROFESSIONAL ENGINEER NO. 6201040601
WICKWIRE, P.C.
715 SELDEN RD.
IRON RIVER, MI 49935
(906) 250-5729
BSAVOLAINEN@WICKWIRESOLUTIONS.COM

SURVEYOR
STACEY BLUSE
MICHIGAN PROFESSIONAL SURVEYOR NO. 4001050429
TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC
830 WEST WASHINGTON STREET
MARQUETTE, MICHIGAN 49855
(906) 228-5125
SBLUSE@TRIMEDIAEE.COM

PREPARED BY:
WICKWIRE, P.C.
715 SELDEN RD
IRON RIVER, MI 49935
906.265.9865

				DWG. NO.
				01-G-01
				REV
				1
	2	5/5/25	REVIEW	SHEET NO. 1
	1	4/22/25	REVIEW	



BLOCK 9
BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

BLOCK 10
BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

BLOCK 11
BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

ZONING NOTES

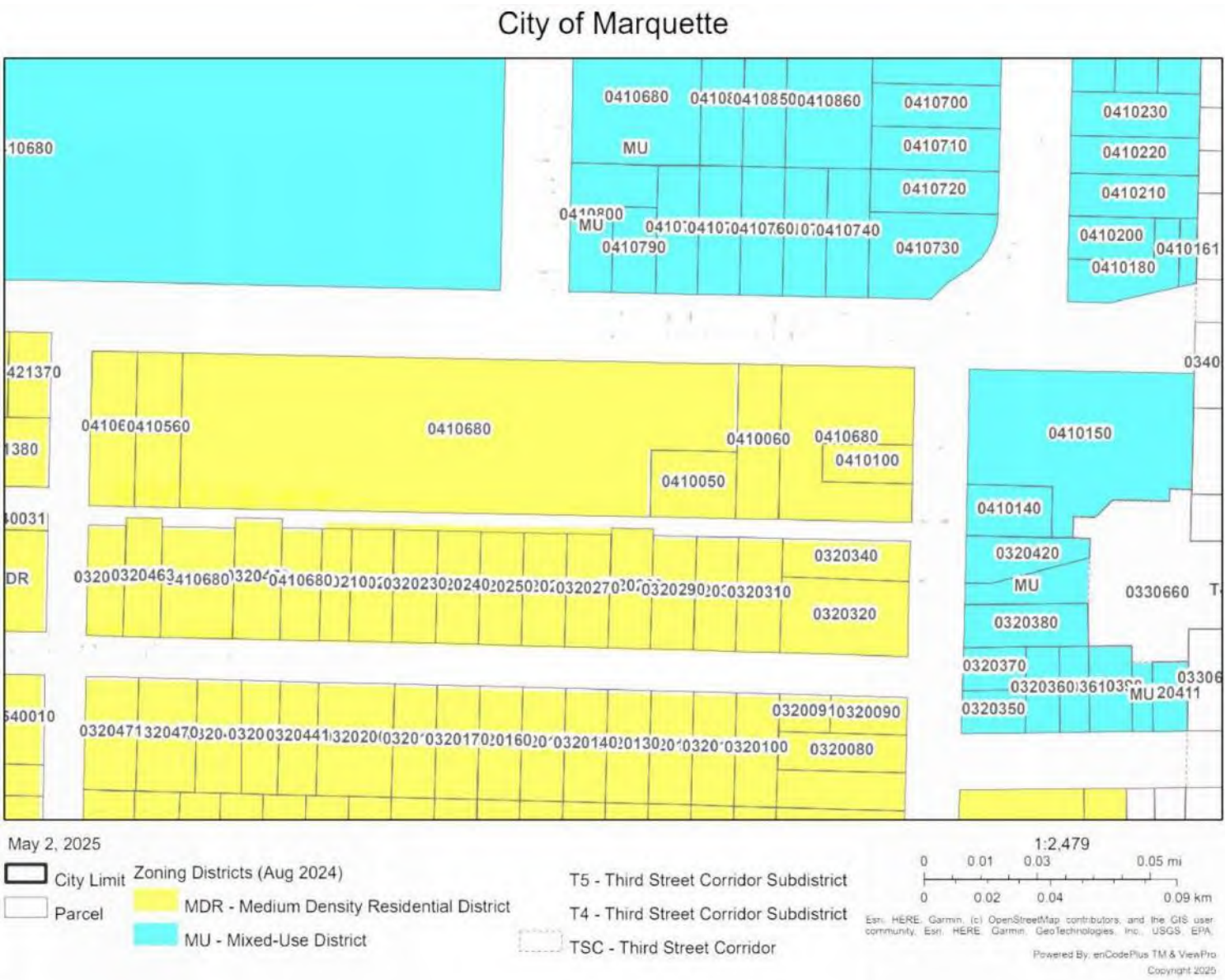
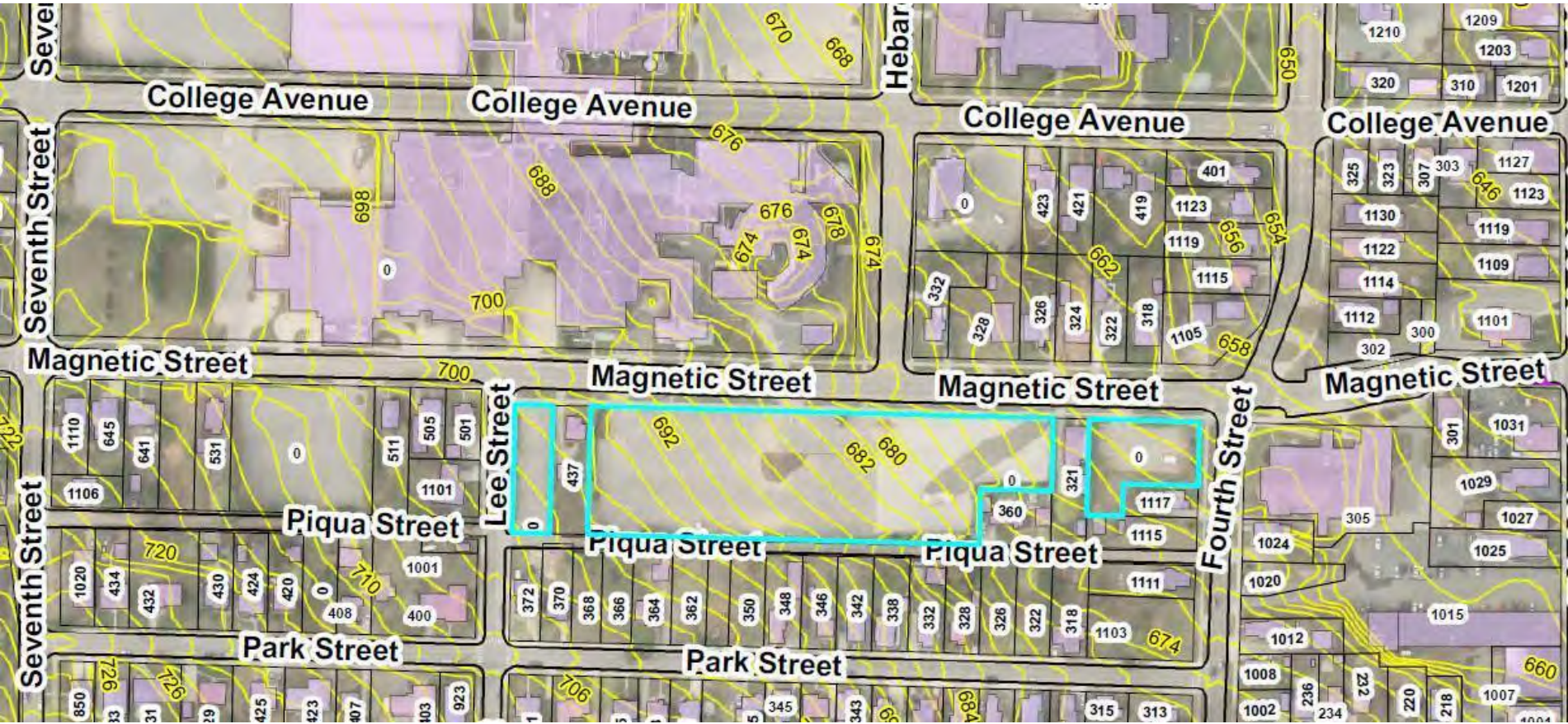
REQUIRED SETBACKS:
FRONT: 10 FEET (PER INITIAL PUD REQUEST)
SIDE: 15 FEET (30 FEET MIN. TOTAL 2 SIDES)
BACK: 10 FEET (PER INITIAL PUD REQUEST)

SETBACKS ARE BASED ON A MAXIMUM BUILDING HEIGHT OF 36.5'.
ZONING DISTRICT: PUD (PLANNED UNIT DEVELOPMENT DISTRICT)
PROPOSED USE: TOWNHOMES

ADJACENT ZONING: NORTH: MIXED USE DISTRICT
EAST: MEDIUM DENSITY DISTRICT
WEST: MIXED USE DISTRICT
SOUTH: MEDIUM DENSITY DISTRICT

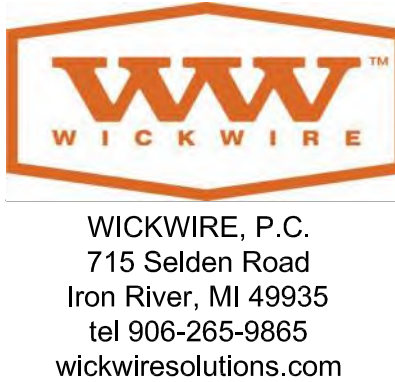
PARCEL SIZE: 9,525 SFT (0.22 ACRES - BLOCK 9)
109,173 SFT (2.51 ACRES - BLOCK 10)
16,221 SFT (0.37 ACRES - BLOCK 11)

CURRENT LAND USE:
501 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
437 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
321 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
330 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
326 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
322 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
318 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY
1105 PRESQUE ISLE AVE: RESIDENTIAL SINGLE FAMILY
360 PIQUA ST: RESIDENTIAL SINGLE FAMILY
SOUTH OF PIQUA: RESIDENTIAL SINGLE FAMILY
NORTH OF MAGNETIC, WEST OF HEBARD CT: PLANNED UNIT DEVELOPMENT



OVERALL EXISTING SITE SURVEY/PHASING

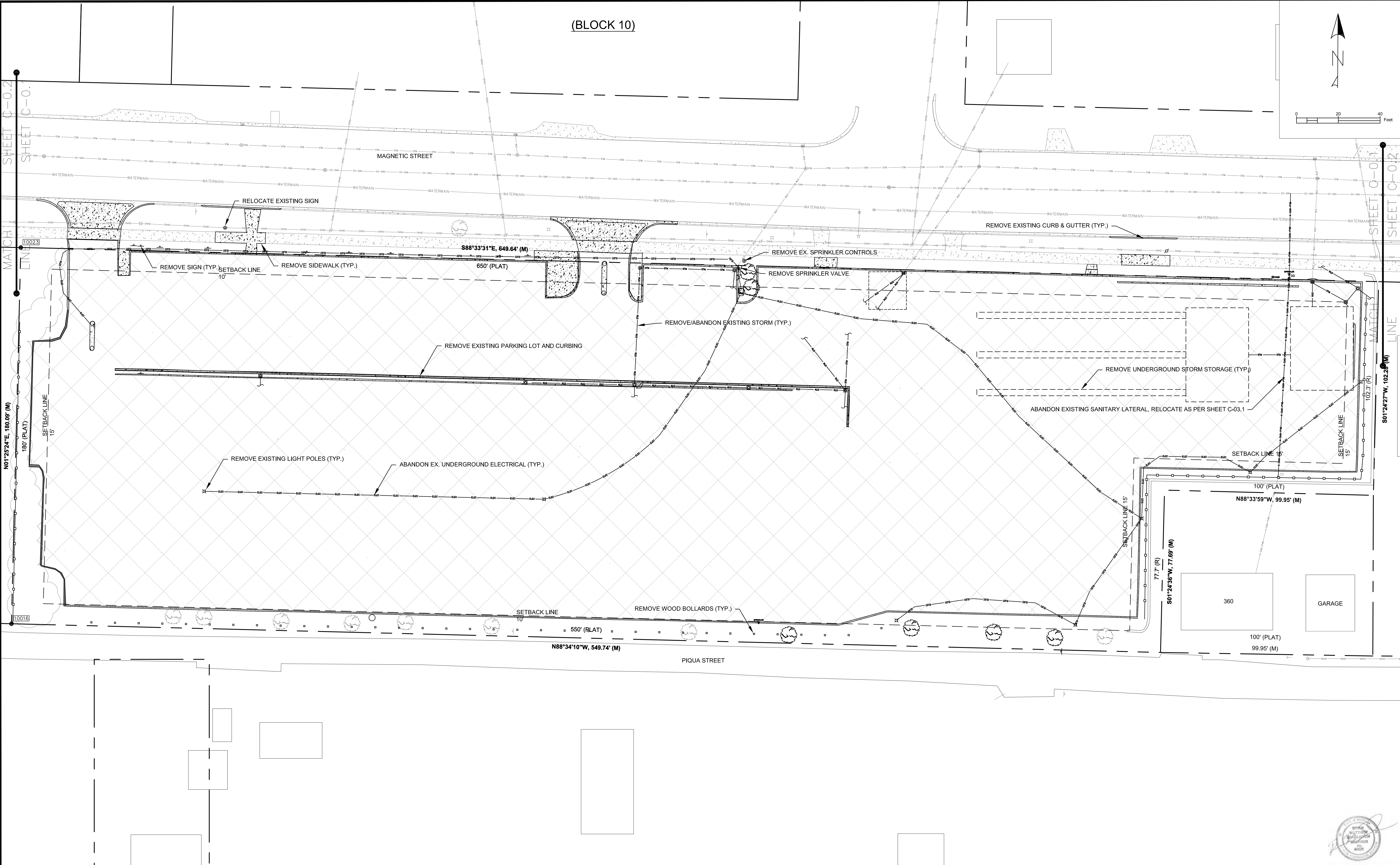
MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



Attention: 1" = 40' (Scale bar)
If this scale bar does not measure 1" then drawing is not original scale.


ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 2
		DWG. NO. C-0





PHASE 1 REMOVAL PLAN

MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



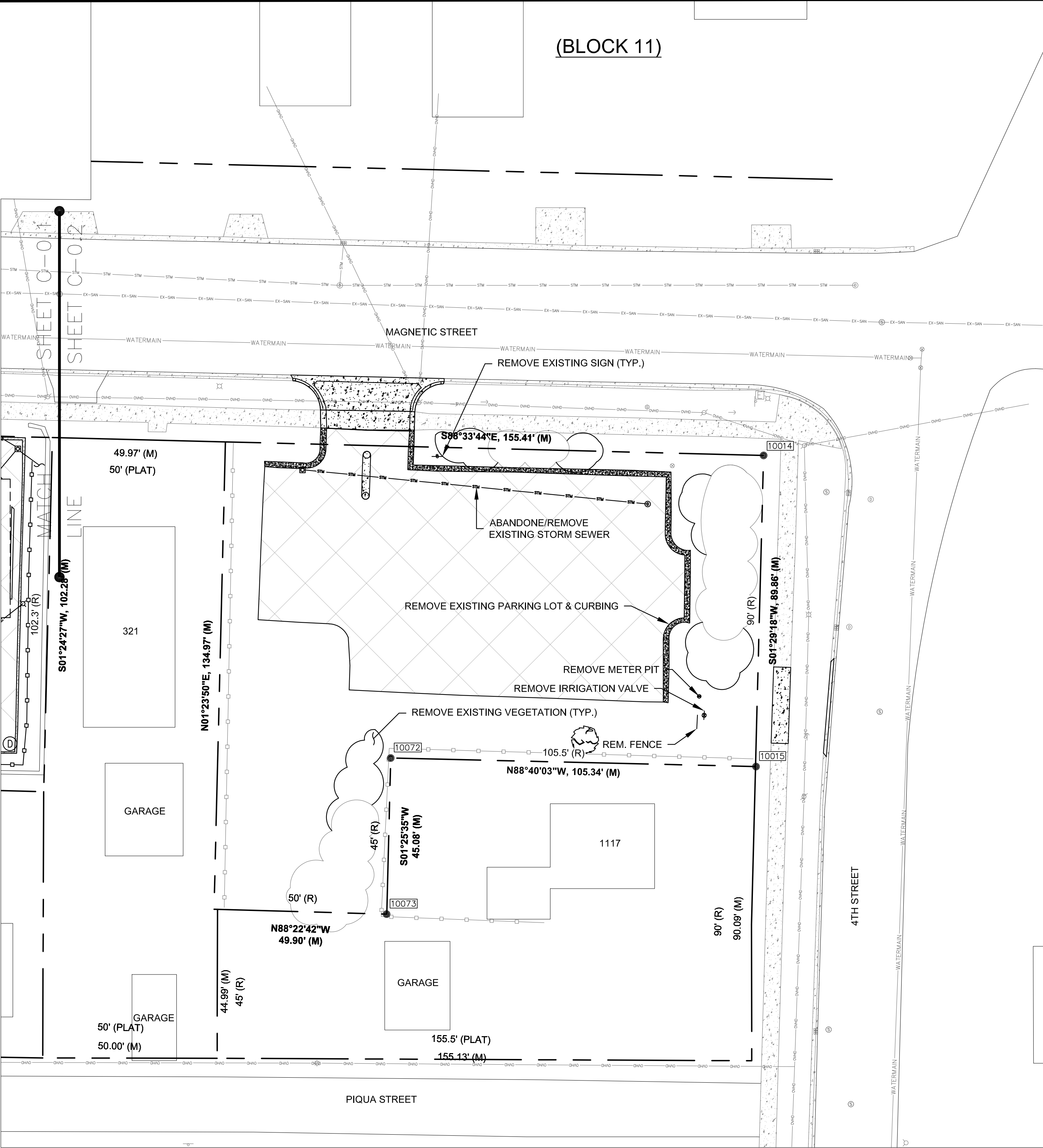
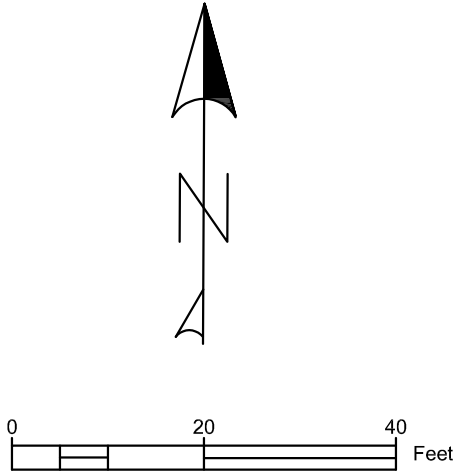
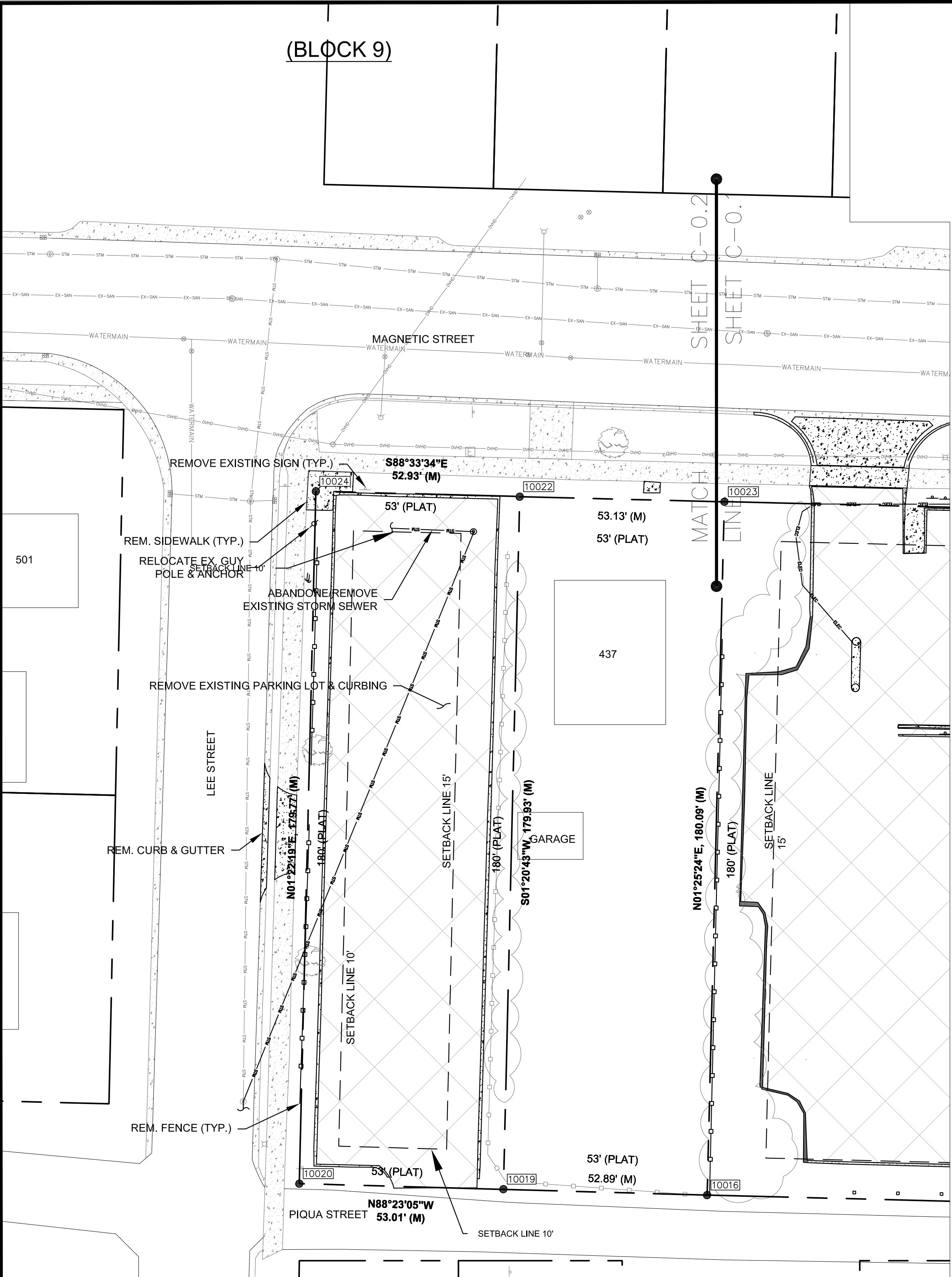
WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1" = 100'
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By: LBS
Checked By: BMS
Drawn By: LBS
Approved By: BMS
PROJECT # 24042
SHEET NO. 3
DWG. NO. C-0.1





PHASE 2 REMOVAL PLAN

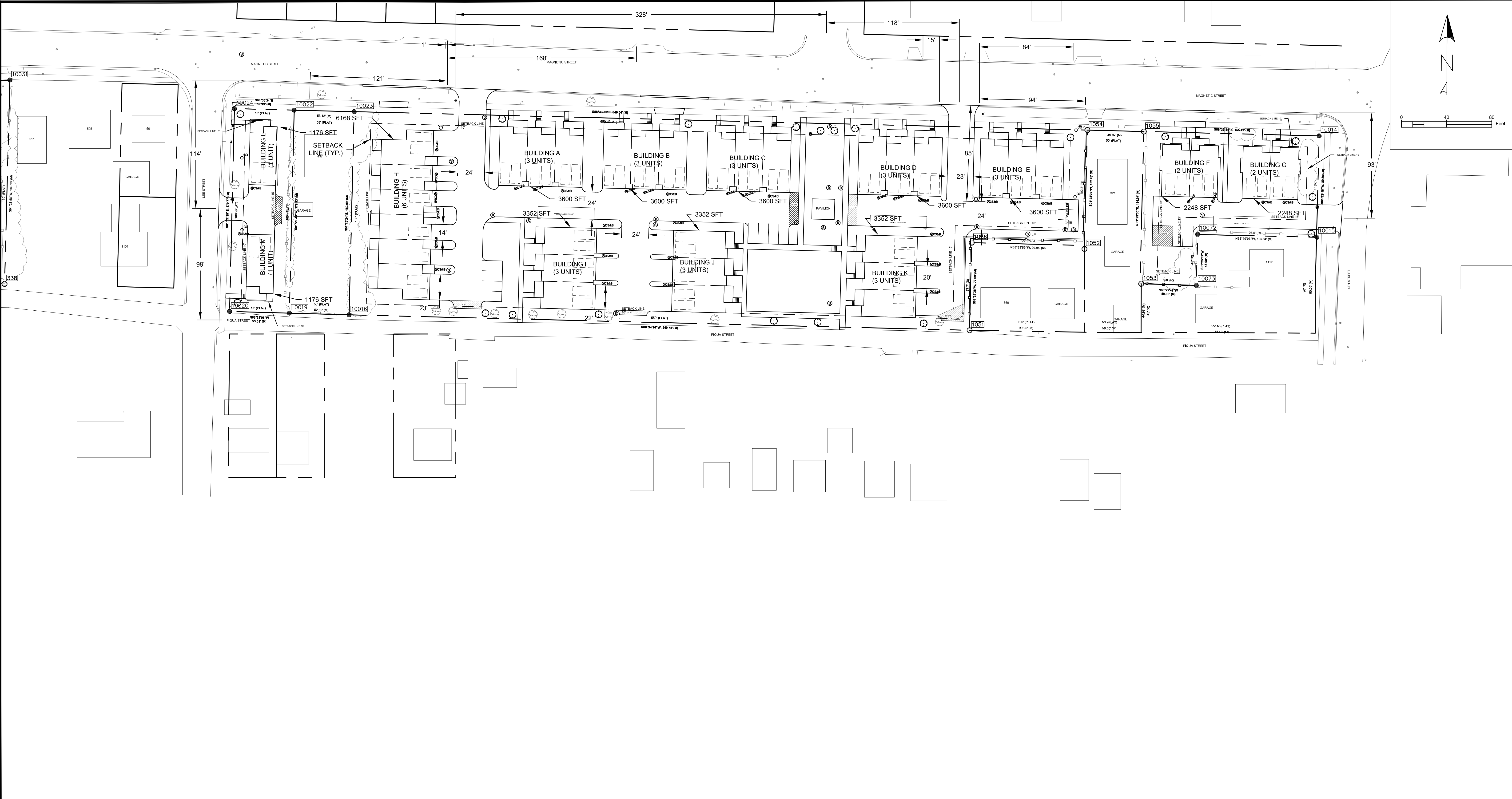
MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



Attention: 1" = 40' (Scale)
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By:	LBS
Checked By:	BMS
Drawn By:	LBS
Approved By:	BMS
PROJECT #	24042
SHEET NO.	4
DWG. NO.	C-0.2



NOTE:
ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.

ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.

ALL WATER AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF WAYS OR EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.

NOTE:
BLOCK 9 TOTAL FLOOR AREA: 1,176+1,176 = 2,352 SFT
GROUND COVER RATIO: 2,352 / 9,525 = 24.7%

BLOCK 10 TOTAL FLOOR AREA: 6168+3352+3352+3352+3600+3600+3600+3600 = 30,624 SFT
GROUND COVER RATIO: 30,624 / 109,173 = 28.1%

BLOCK 11 TOTAL FLOOR AREA: 2248+2248 = 4,496 SFT
GROUND COVER RATIO: 4,496 / 16,221 = 27.7%



OVERALL SITE PLAN

MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT

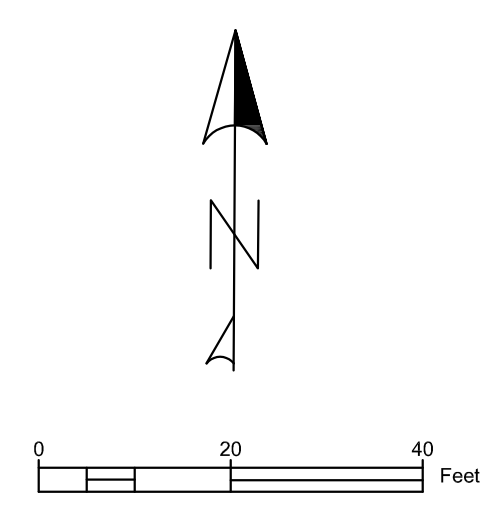
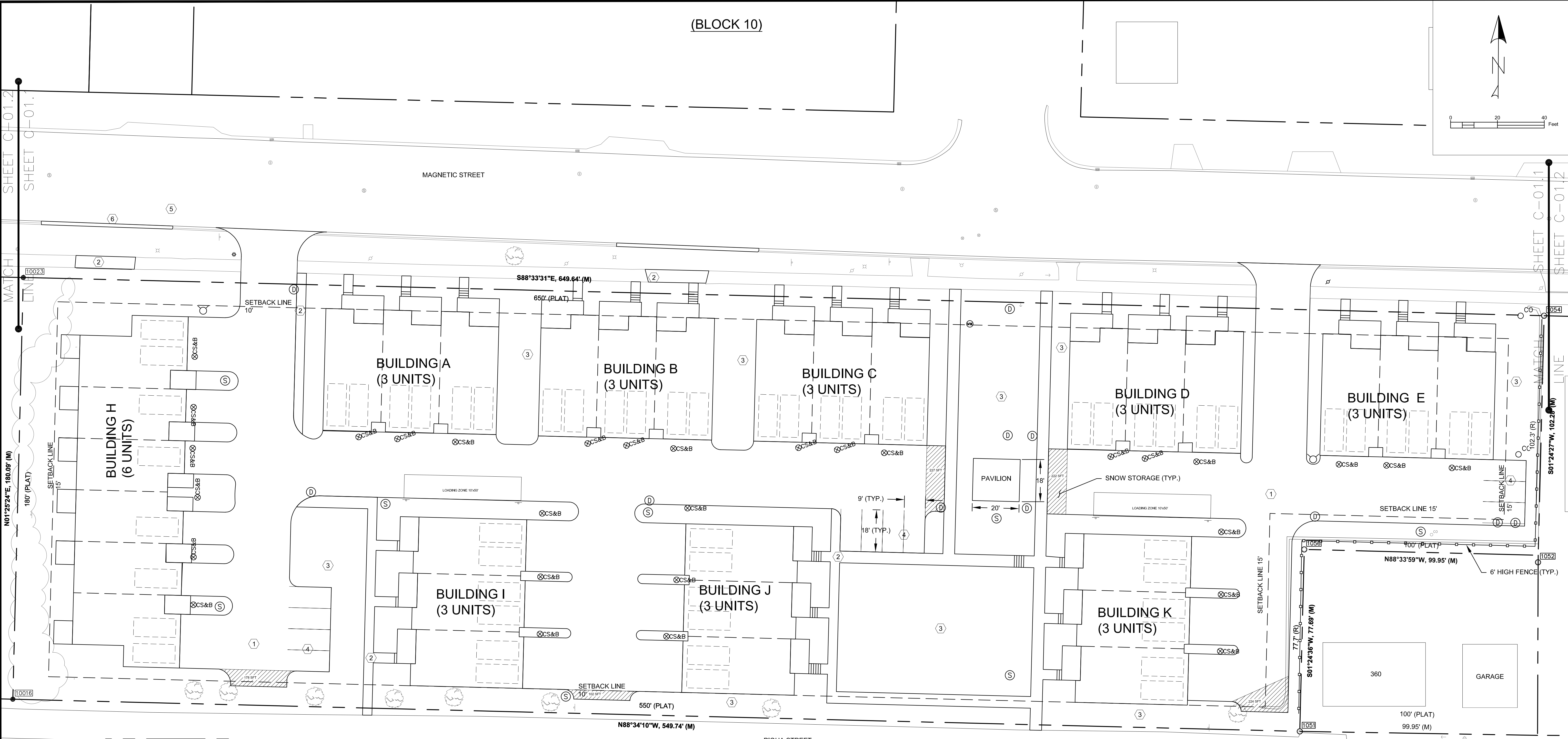


WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1" = 40' = 1600"

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 5
		DWG. NO. C-01





PARKING CALC'S REQUIRED:
6-UNIT BUILDING: 2 SPACES PER UNIT = 12 SPACES EACH
3-UNIT BUILDINGS: 1.5 SPACES PER UNIT = 5 SPACES EACH
PARKING MAXIMUM: 52 (TOTAL) x 20% = +10 SPACES

ACTUAL:
6-UNIT BUILDING: 8 (GARAGE) + 4 (SPACES) = 12 SPACES
3-UNIT BUILDING (8X): 8 (GARAGE) = 48 SPACES

SNOW STORAGE CALC'S REQUIRED:
10% OF PARKING STALL AREA: 48 * (9*18)*10% = 777.6 SFT

ACTUAL:
178 + 102 + 227 + 222 + 224 = 953 SFT

- KEYNOTES**
- 1. Contractor shall construct the roads and parking with a min. 12" Subbase (3"minus), 8" Aggregate Base and 3 1/2" HMA Surface
 - 2. Contractor shall provide 4" concrete sidewalk and monolithic sidewalk (when adjacent to parking lot) with a curb height 6".
 - 3. Contractor shall provide 4" topsoil and seeding for all landscape areas and disturbed areas.
 - 4. Contractor shall provide 4" yellow pavement marking stalls (Typ.)
 - 5. Contractor shall remove and replace roadway inkind in disturbed area. Maintain access during water and sewer construction.
 - 6. Contractor shall match existing and adjacent curb.

NOTE:
SEE ARCHITECTURAL PLANS FOR BUILDING DESIGN.



PHASE 1 SITE PLAN

MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT

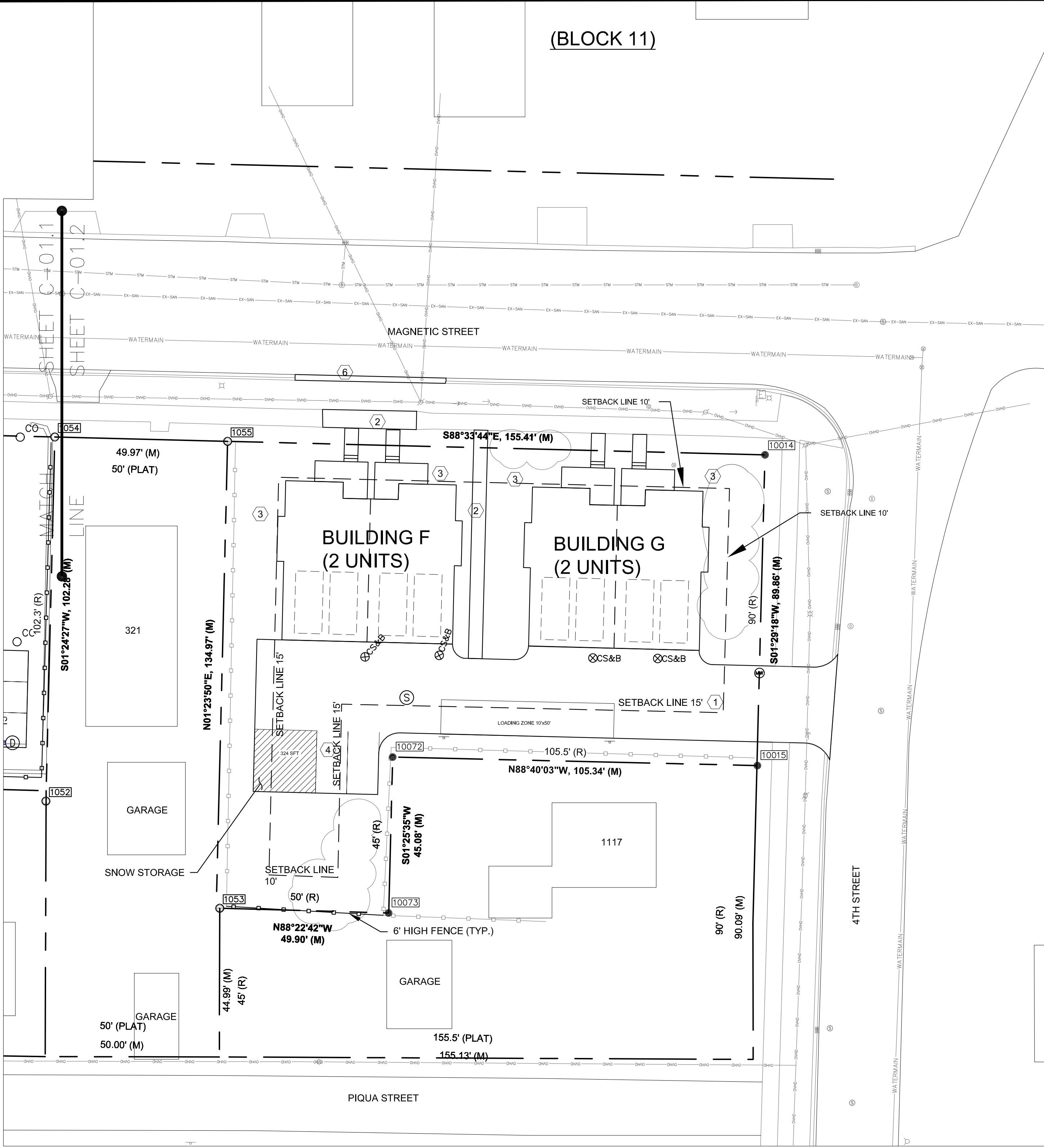
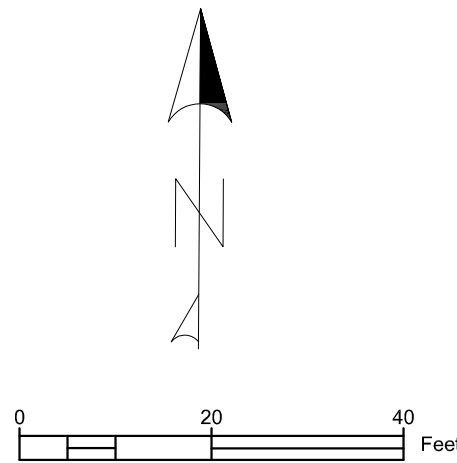
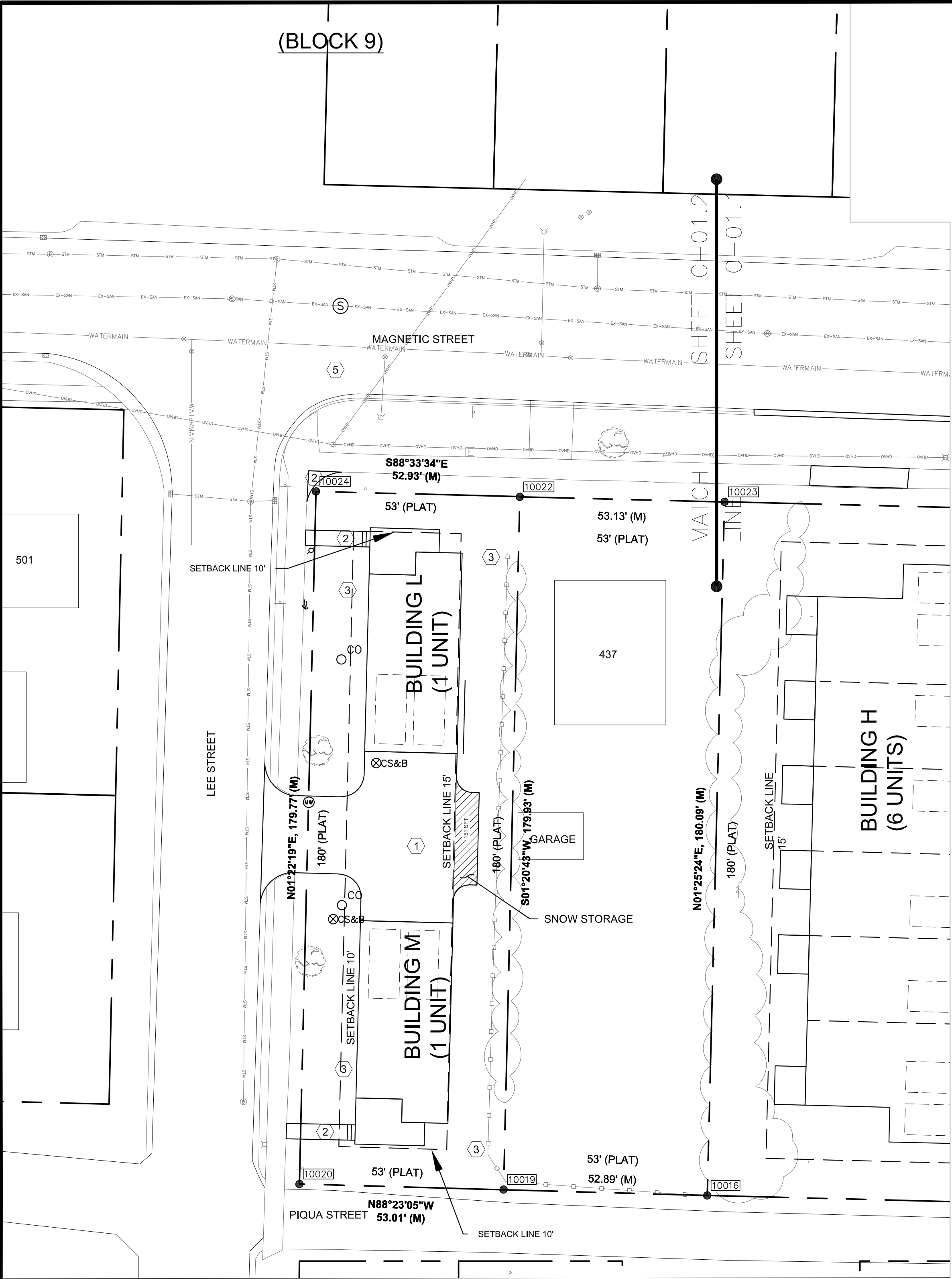


WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1" = 40'

If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 6
		DWG. NO. C-01.1



KEYNOTES

PARKING CALC'S
REQUIRED:
1-UNIT BUILDING: 2 SPACES PER UNIT = 2 SPACES EACH
2-UNIT BUILDINGS: 2 SPACES PER UNIT = 4 SPACES EACH
PARKING MAXIMUM: 8 (TOTAL) 20% = +2 SPACES

ACTUAL:
1-UNIT BUILDING (2X): 2 (GARAGE) = 4 SPACES
2-UNIT BUILDING (2X): 4 (GARAGE) + 2 SPACES = 10 SPACES

SNOW STORAGE CALC'S
REQUIRED:
BLOCK 9: 10% OF PARKING STALL AREA: 4 (9'x18')x10% = 64.8 SFT
BLOCK 11: 10% OF PARKING STALL AREA: 10 (9'x18')x10% = 162 SFT

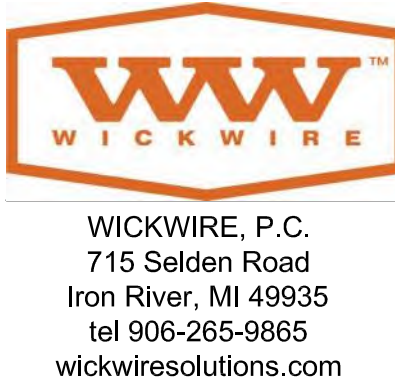
ACTUAL:
BLOCK 9: 151 SFT
BLOCK 11: 324 SFT

1. Contractor shall construct the roads and parking with a min. 12" Subbase (3"minus), 8" Aggregate Base and 3 1/2" HMA Surface
2. Contractor shall provide 4" concrete sidewalk and monolithic sidewalk (when adjacent to parking lot) with a curb height 6".
3. Contractor shall provide 4" topsoil and seeding for all landscape areas and disturbed areas.
4. Contractor shall provide 4" yellow pavement marking stalls (Typ.)
5. Contractor shall remove and replace roadway inkind in disturbed area. Maintain access during water and sewer construction.
6. Contractor shall match existing and adjacent curb.



PHASE 2 SITE PLAN

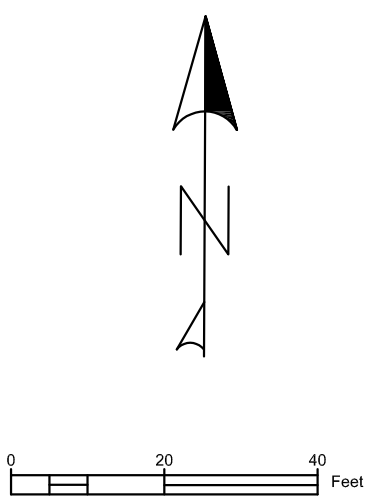

MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



Attention: 1" = 40' (if this scale bar does not measure 1" then drawing is not original scale.)

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 7
		DWG. NO. C-01.2





BUILDING A
(3 UNITS)

BUILDING
(3 UNITS)

BUILDING
(3 UNITS)

**BUILDING
(3 UNITS)**

5.33 BUILDING
(3 UNITS)

**BUILDING
(3 UNITS)**

BUILDING
(3 UNITS)

BUILDING K
(3 UNITS)

360

GARAGE

100' (PLAT)

NOTE: PATIO'S SHALL NOT EXCEED 30" AGL.

NOTE: NO GRADING SHALL OCCUR OUTSIDE OF PROPERTY LIMITS.




PHASE 1 GRADING/STORM PLAN

MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT

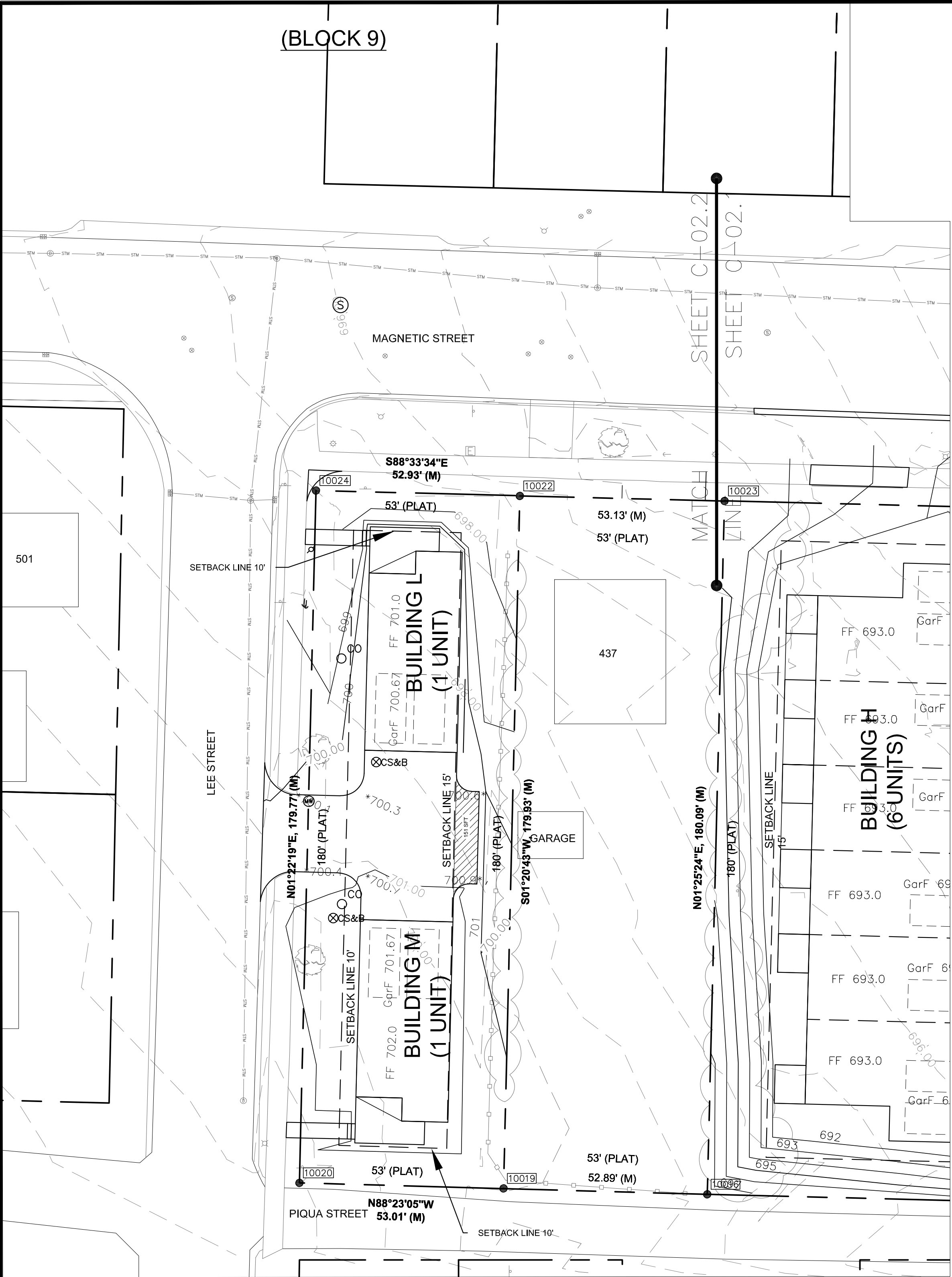
WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention:

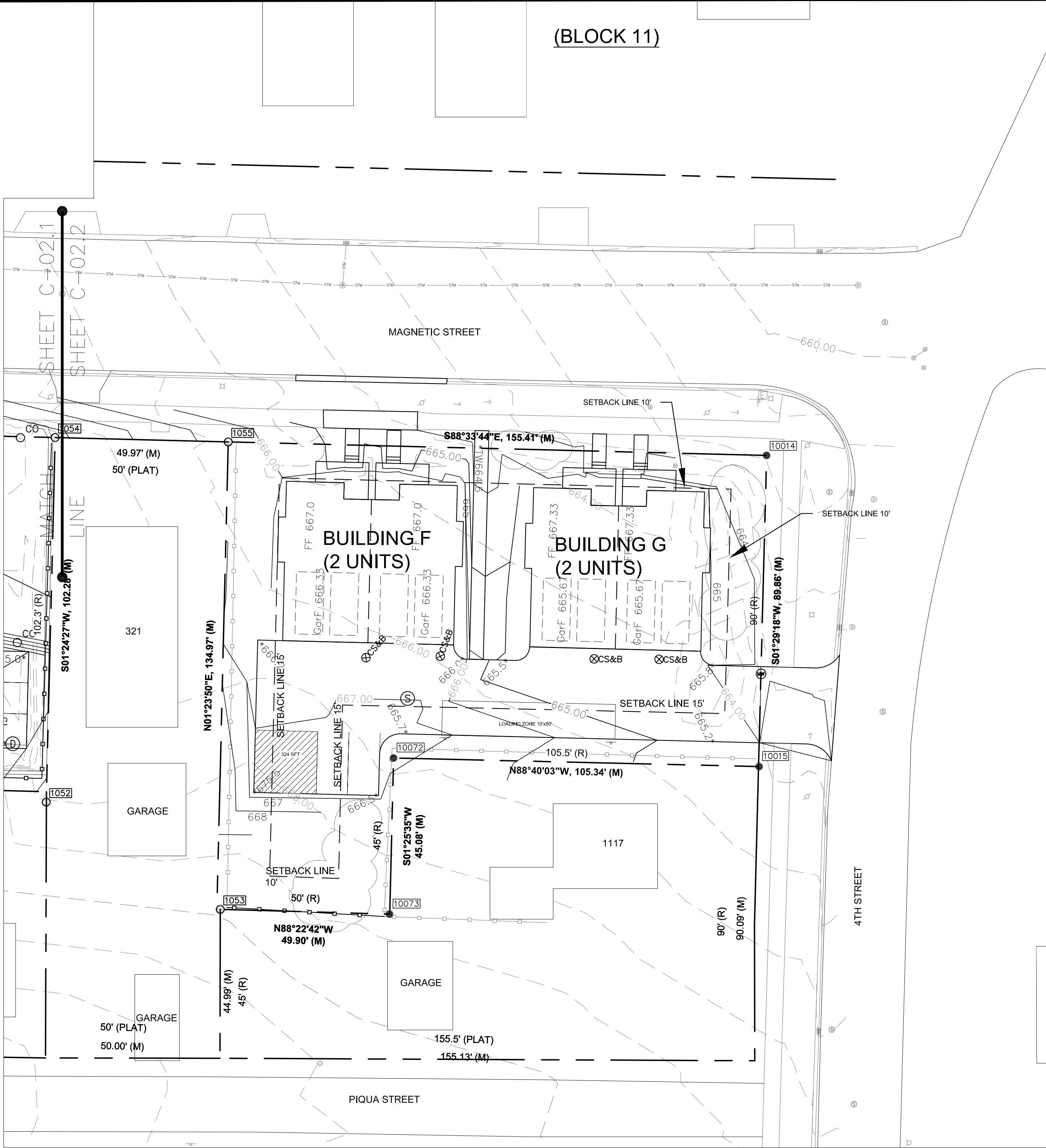
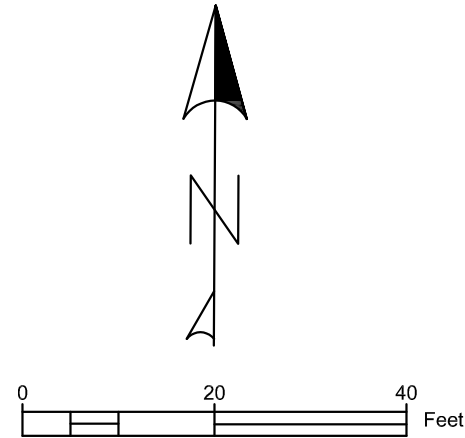


If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By: LBS
4/22/25	REVIEW	Checked By: BMS
5/5/25	REVIEW	Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 8
		DWG. NO.
		C-02.1





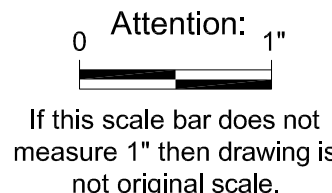
NOTE: PATIO'S SHALL NOT EXCEED 30" AGL.

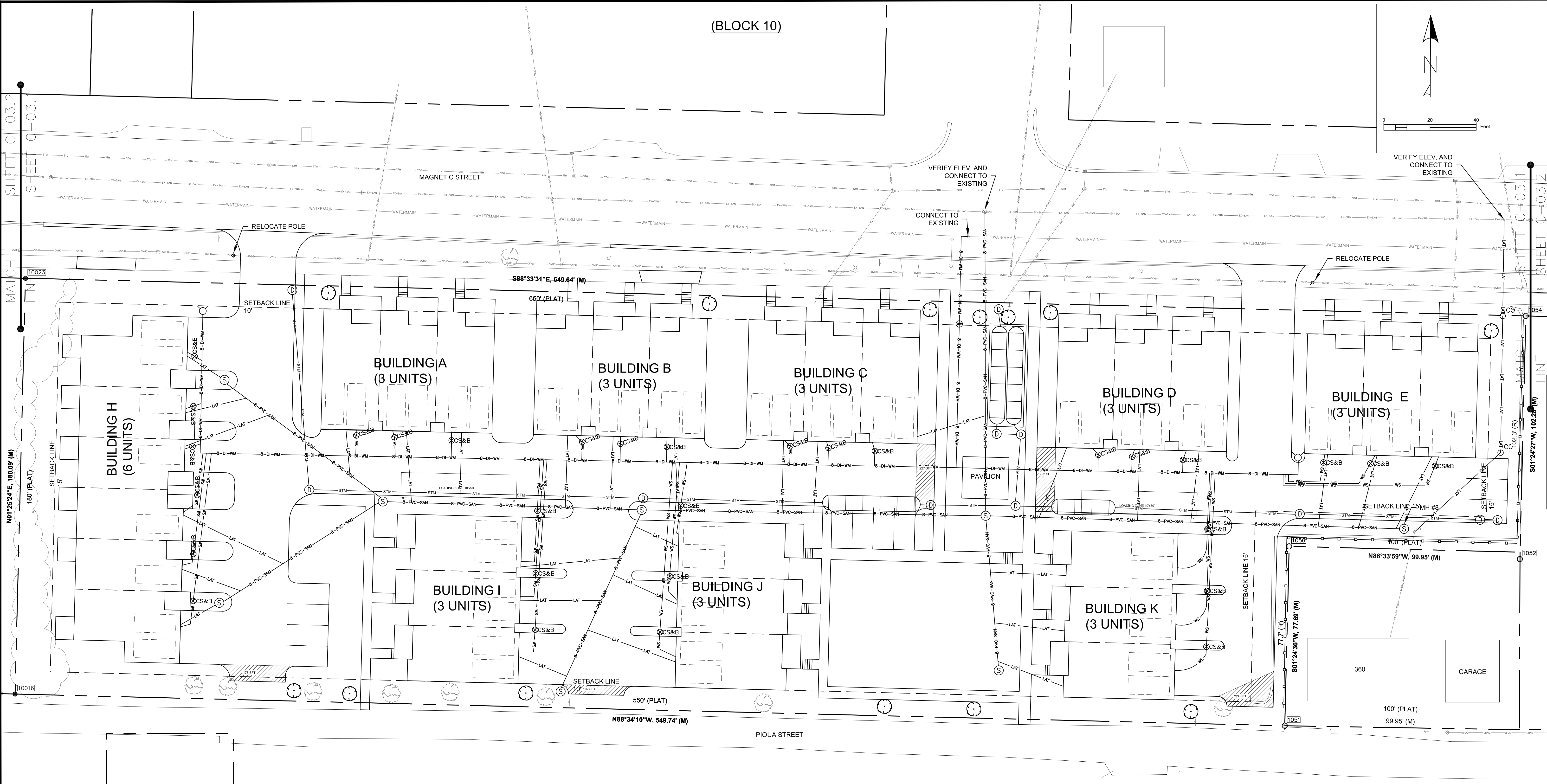


NOTE: PATIO'S SHALL NOT EXCEED 30" AGL.



NOTE: NO GRADING SHALL OCCUR OUTSIDE OF PROPERTY LIMITS.

		PHASE 2 GRADING/STORM PLAN	MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT	 WICKWIRE, P.C. 715 Selden Road Iron River, MI 49935 tel 906-265-9865 wickwiresolutions.com		ISSUE DATE	FOR	Designed By:	LBS					
						4/22/25	REVIEW	Checked By:	BMS					
						5/5/25	REVIEW	Drawn By:	LBS					
								Approved By:	BMS					
								PROJECT #	24042					
								SHEET NO.	9					
								DWG. NO.	C-02.2					



NOTE:
ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.

ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.

ALL WATER AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF WAYS OR EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.

LEGEND	
	EX. WATERMAIN (CITY)
	EX. NATURAL GAS (DTE)
	PROPOSED NATURAL GAS (DTE)
	PROPOSED 6" SANITARY LATERAL (PRIVATE)
	PROPOSED 8" SANITARY SEWER (PRIVATE)
	EX. SANITARY SEWER (CITY)
	EX. OVERHEAD POWER (MBLP)
	PROPOSED UNDERGROUND POWER (PRIVATE)
	PROPOSED STORM SEWER (PRIVATE)
	PROPERTY BOUNDARY
	PROPOSED 6" WATERMAIN (PRIVATE)
	PROPOSED 8" WATERMAIN (PRIVATE)
	PROPOSED UTILITY POLE
	PROPOSED HYDRANT
	PROPOSED VALVE
	PROPOSED SAN. CLEANOUT
	PROPOSED SANITARY STRUCTURE
	PROPOSED CATCH BASIN



PHASE 1 UTILITY PLAN

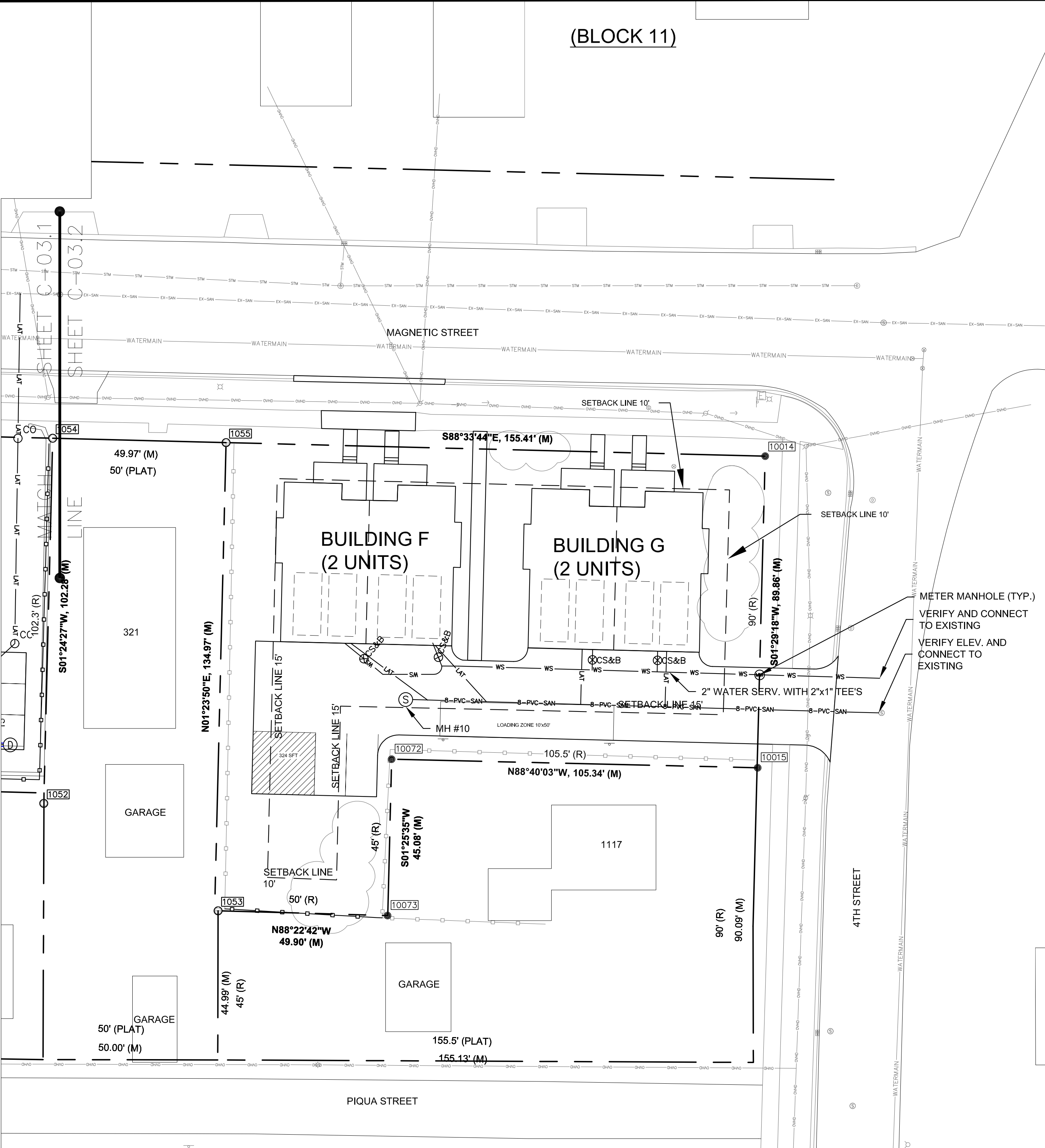
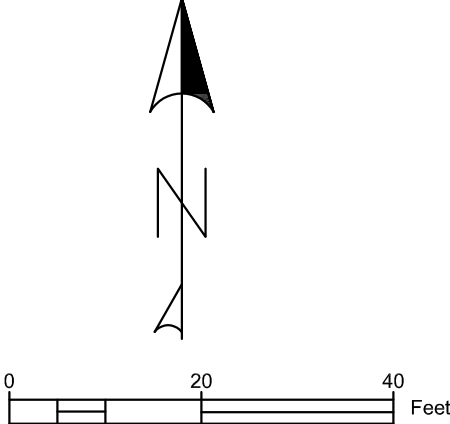
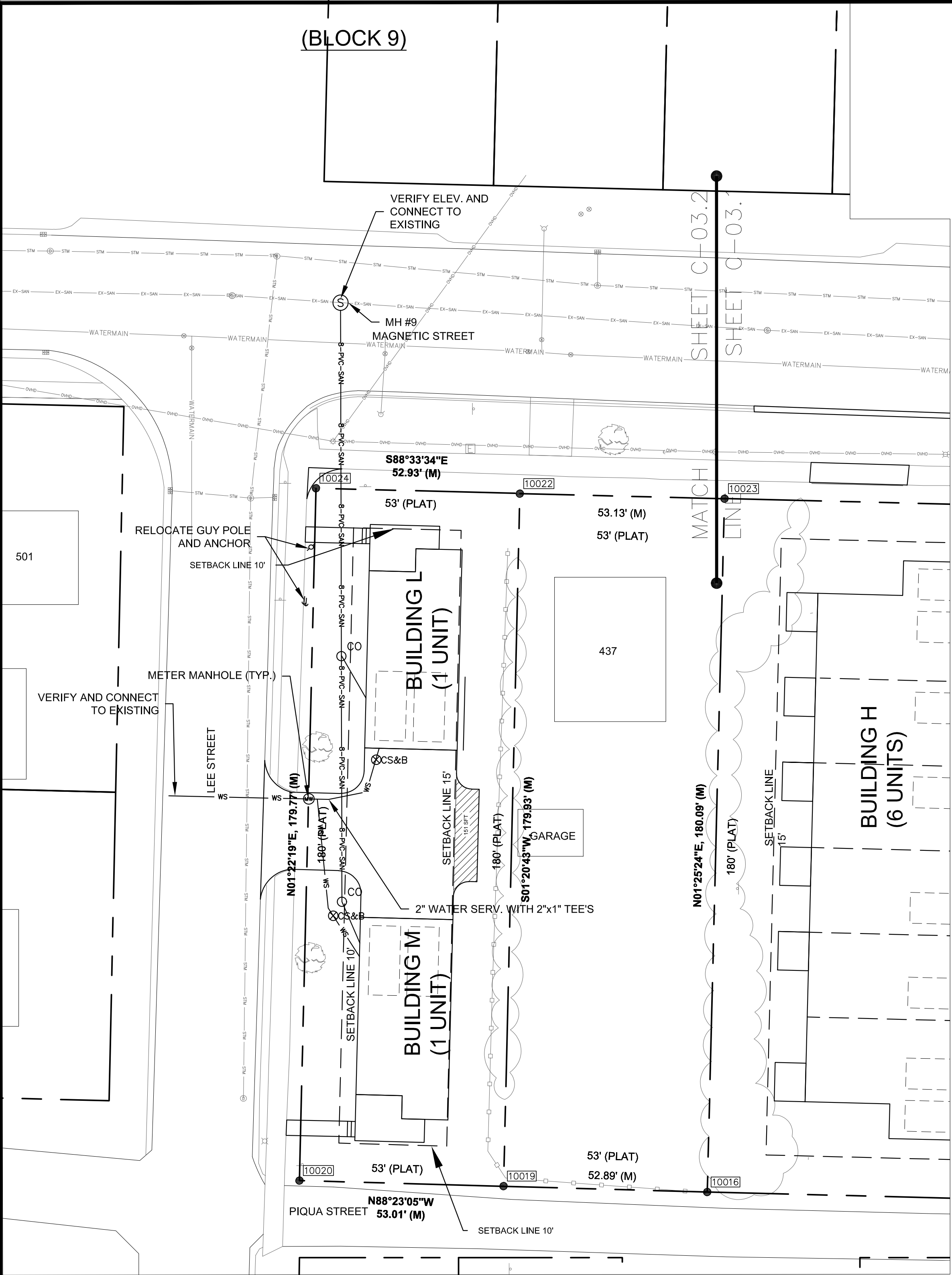
MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT

WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1" = 40'

If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 10
		DWG. NO. C-03.1



NOTE:
ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.

ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.

AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.



LEGEND	
EX. WATERMAIN (CITY)	PROPOSED UTILITY POLE
EX. NATURAL GAS (DTE)	PROPOSED HYDRANT
PROPOSED NATURAL GAS (DTE)	PROPOSED VALVE
PROPOSED 8" SANITARY LATERAL (PRIVATE)	PROPOSED SAN. CLEANOUT
PROPOSED 8" SANITARY SEWER (PRIVATE)	PROPOSED SANITARY STRUCTURE
EX. SANITARY SEWER (CITY)	PROPOSED CATCH BASIN
EX. OVERHEAD POWER (MBLP)	
PROPOSED UNDERGROUND POWER (PRIVATE)	
PROPOSED STORM SEWER (PRIVATE)	
PROPERTY BOUNDARY	
PROPOSED 6" WATERMAIN (PRIVATE)	
PROPOSED 8" WATERMAIN (PRIVATE)	



PHASE 2 UTILITY PLAN

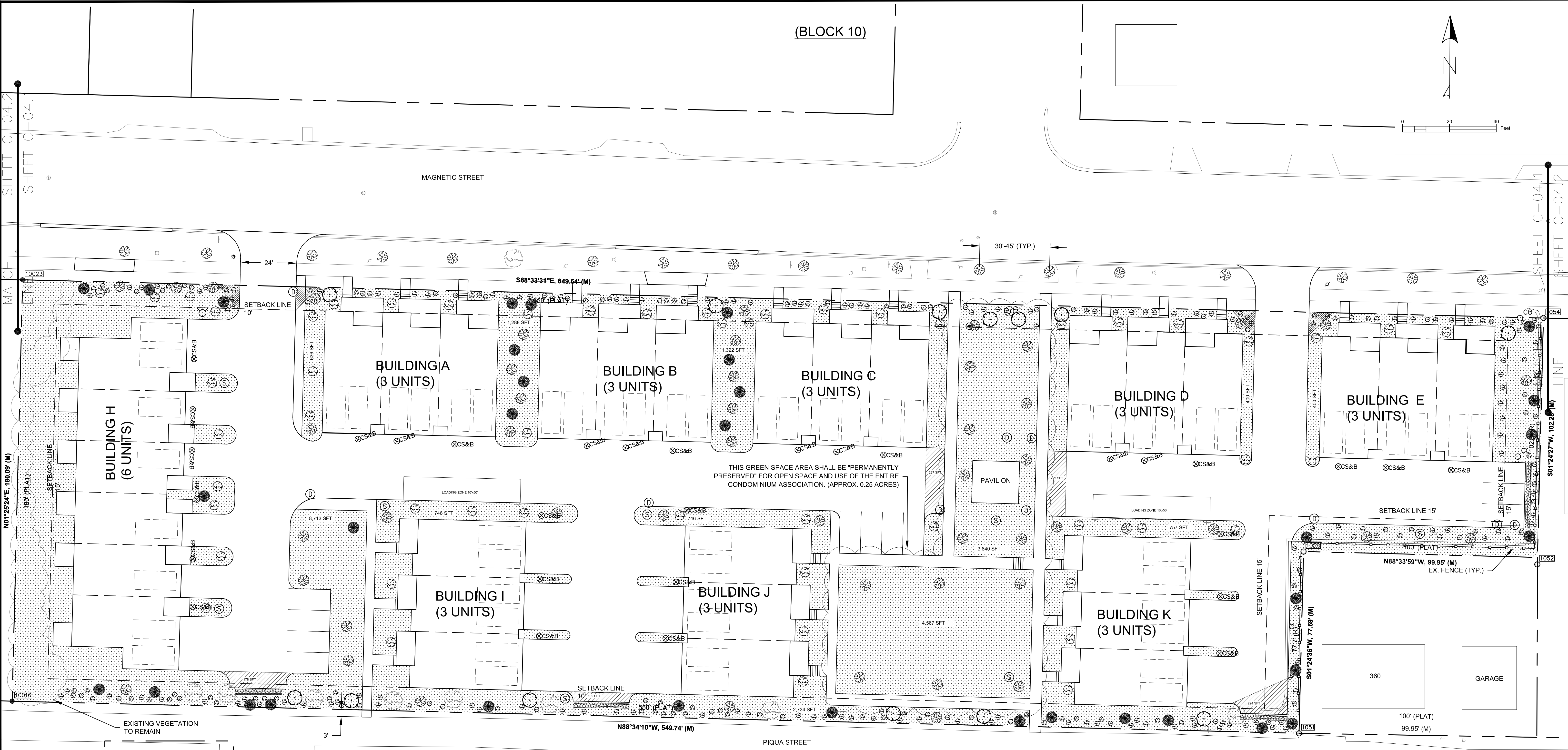
MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

ISSUE DATE	FOR	Designed By:	LBS
4/22/25	REVIEW	Checked By:	BMS
5/5/25	REVIEW	Drawn By:	LBS
		Approved By:	BMS
		PROJECT #	24042
		SHEET NO.	11
		DWG. NO.	C-03.2



GREENSPACE CALC'S REQUIRED (5%):
20,739 + 10,676 SFT X 0.05 = 1,571 SFT (360 SFT EACH MIN)

ACTUAL:
746 + 746 + 757 = 2,249 SFT

FRONTAGE LANDSCAPING REQUIREMENTS:
SOUTH: 549.74'
DECIDUOUS/EVERGREEN: 14
ORNAMENTAL: 5
SHRUBS: 110

NORTH: 602.64'
DECIDUOUS/EVERGREEN: 15
ORNAMENTAL: 6
SHRUBS: 121

LANDSCAPING TOTALS:
DECIDUOUS/EVERGREEN: 83
ORNAMENTAL: 13
SHRUBS: 328

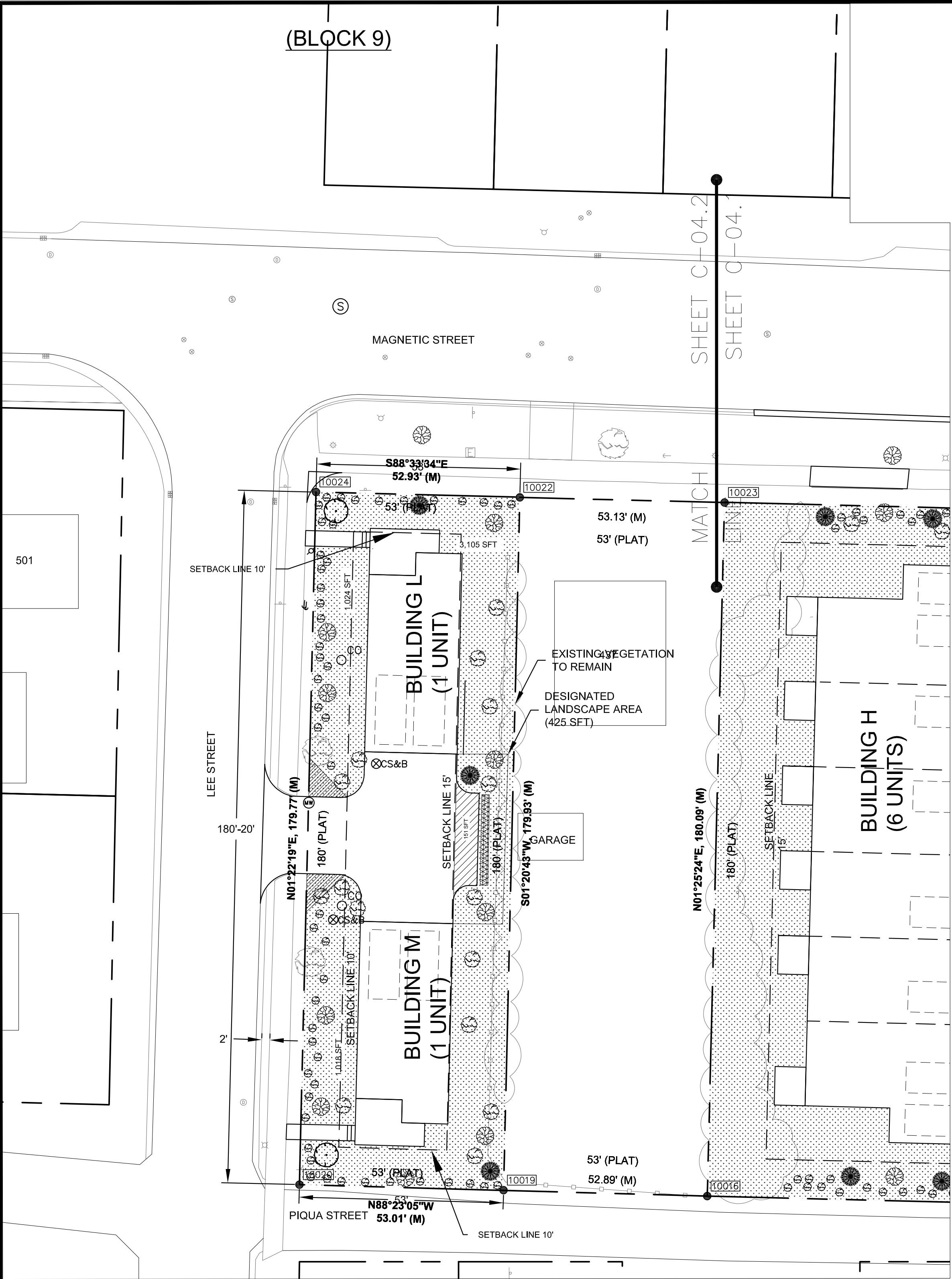
NOTE: ALL GREEN SPACE BUFFER YARDS AND LANDSCAPING WILL BE PERMANENTLY PRESERVED TO MAINTAIN BUFFERS BETWEEN ADJACENT PROPERTIES AND LAND USES. THE CONDOMINIUM ASSOCIATION WILL BE REQUIRED TO PROVIDE ANNUAL MAINTENANCE TO THESE AREAS AND RE-PLANT AS NECESSARY TO MAINTAIN BUFFER YARDS.

Recommended Plant Type and Size	Common Name
Evergreen Trees (8 feet minimum height)	Canadian Hemlock, Eastern Red Cedar, European Larch, Scotch Pine, White Pine, Black Hills Spruce, Colorado Green Spruce, Engelmann Spruce, Norway Spruce
Deciduous Trees (3-inch minimum caliper)	Sugar Maple varieties, Red Maple varieties, Amur Cork Tree, American Yellowwood, Bicolor Oak, Swamp White Oak, Little-Leaf Linden, Ohio Buckeye
Ornamental Trees (2-inch minimum caliper)	Dolgo Crabapple, Siberian Crabapple, Cockspur Hawthorn, Blackhaw Viburnum, Nannyberry Viburnum, Tulip Tree
Deciduous Shrubs (3 feet minimum height)	Arrowwood Viburnum, Wayfaring Tree, Nannyberry, European Cranberry, American Cranberry, American Cranberry, Redosier Dogwood, Siberian Dogwood, Fragrant Sumac, Staghorn Sumac, Bush Cinquefoil, Tatarian Honeysuckle, Winterberry, American Elder
Evergreen Shrubs (18 inches minimum height for low growing species and 30 inches minimum for all other species)	Common Juniper, Creeping Juniper, Bush Cinquefoil, Canada Yew, Amur Privet, Mugo Pine

PLANTING LEGEND

- 3' HIGH EVERGREEN HEDGE
- GREENSPACE (MULCH OR GRASS)
- DECIDUOUS TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL TREE
- CLEAR VISION AREA (10'X10' TYP. TREES SHALL NOT EXCEED 8' TALL. SHRUBS SHALL NOT EXCEED 30' TALL. ALL PLANTINGS SHALL BE GREATER THAN 3' FROM EDGE OF DRIVEWAY)

NOTE: STREET TREES PLANTED IN RIGHT OF WAY SHALL CONFORM TO MARQUETTE LDC 54.1003(A).



GREENSPACE CALC'S (BLOCK 9)
REQUIRED (5%):
1,812 SFT X 0.05 = 90.6 SFT
(360 SFT EACH MIN)

ACTUAL: 425 SFT

FRONTAGE LANDSCAPING
REQUIREMENTS:
NORTH AND SOUTH: 52.93' EA
DECIDUOUS/EVERGREEN: 1 EA
ORNAMENTAL: 1 EA
SHRUBS: 11 EA

WEST: 159.77'
DECIDUOUS/EVERGREEN: 4
ORNAMENTAL: 2
SHRUBS: 32

LANDSCAPING TOTALS:
DECIDUOUS/EVERGREEN: 13
ORNAMENTAL: 2
SHRUBS: 66

GREENSPACE CALC'S (BLOCK 11)
REQUIRED (5%):
4,781 SFT X 0.05 = 239 SFT
(360 SFT EACH MIN)

ACTUAL: 419 SFT

FRONTAGE LANDSCAPING
REQUIREMENTS:
NORTH: 155.41'
DECIDUOUS/EVERGREEN: 4
ORNAMENTAL: 2
SHRUBS: 31

EAST: 67.86'
DECIDUOUS/EVERGREEN: 2
ORNAMENTAL: 1
SHRUBS: 14

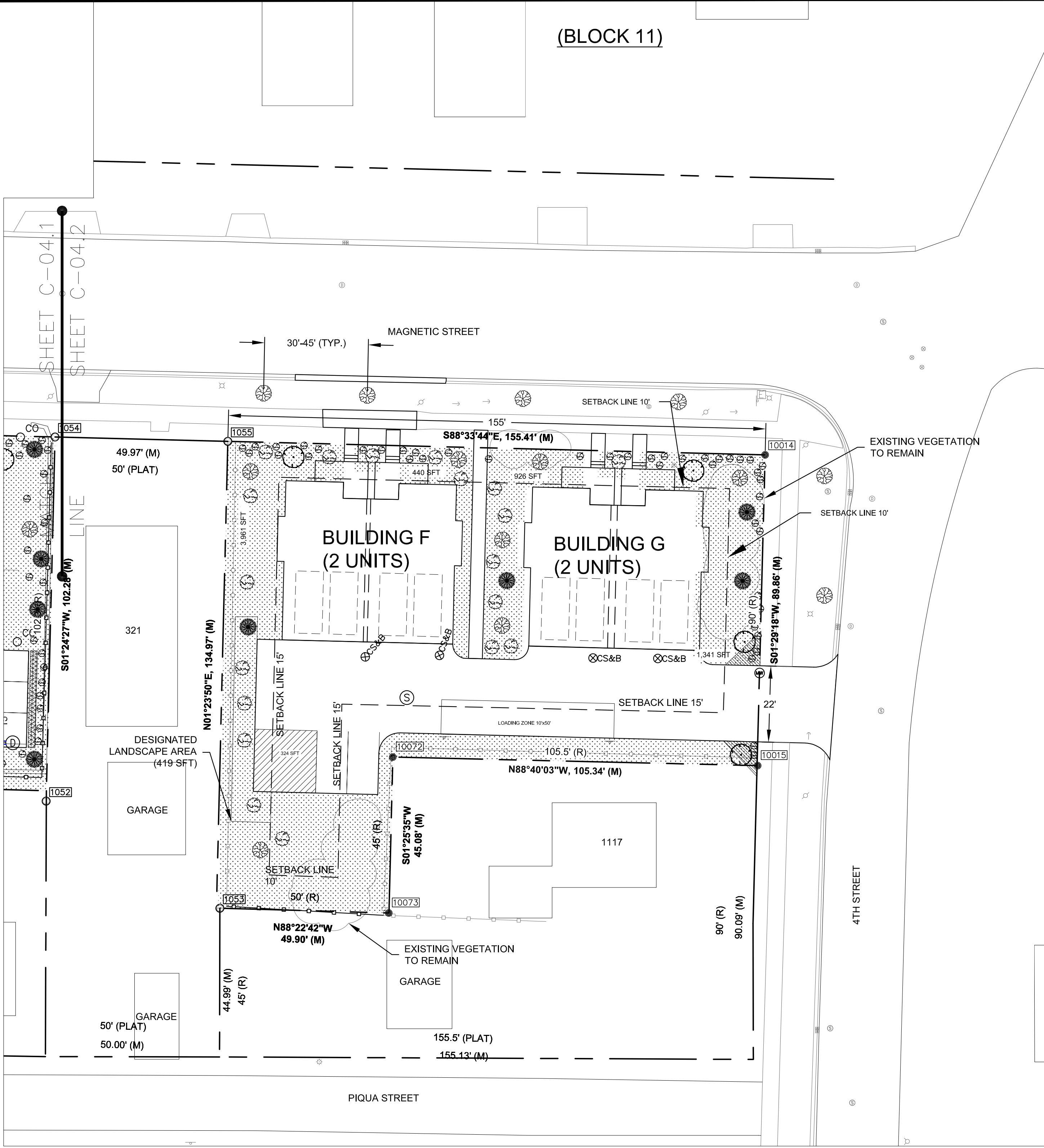
LANDSCAPING TOTALS:
DECIDUOUS/EVERGREEN: 11
ORNAMENTAL: 4
SHRUBS: 62

PLANTING LEGEND

- 3' HIGH EVERGREEN HEDGE
- GREENSPACE (MULCH OR GRASS)
- DECIDUOUS TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL TREE
- CLEAR VISION AREA (10'X10' TYP. TREES SHALL NOT EXCEED 8' TALL, SHRUBS SHALL NOT EXCEED 30" TALL, ALL PLANTINGS SHALL BE GREATER THAN 3' FROM EDGE OF DRIVEWAY)

NOTE: STREET TREES PLANTED IN RIGHT OF WAY SHALL CONFORM TO MARQUETTE LDC 54.1003(A).

ALL GREEN SPACE BUFFER YARDS AND LANDSCAPING WILL BE PERMANENTLY PRESERVED TO MAINTAIN BUFFERS BETWEEN ADJACENT PROPERTIES AND LAND USES. THE CONDOMINIUM ASSOCIATION WILL BE REQUIRED TO PROVIDE ANNUAL MAINTENANCE TO THESE AREAS AND RE-PLANT AS NECESSARY TO MAINTAIN BUFFER YARDS.



Recommended Plant Type and Size	Common Name
Evergreen Trees (8 feet minimum height)	Canadian Hemlock, Eastern Red Cedar, European Larch, Scotch Pine, White Pine, Black Hills Spruce, Colorado Green Spruce, Engelmann Spruce, Norway Spruce
Deciduous Trees (3-inch minimum caliper)	Sugar Maple varieties, Red Maple varieties, Amur Cork Tree, American Yellowwood, Bicolor Oak, Swamp White Oak, Little-Leaf Linden, Ohio Buckeye
Ornamental Trees (2-inch minimum caliper)	Dolgo Crabapple, Siberian Crabapple, Cockspur Hawthorn, Blackhaw Viburnum, Nannyberry Viburnum, Tulip Tree
Deciduous Shrubs (3 feet minimum height)	Arrowwood Viburnum, Wayfaring Tree, Nannyberry, European Cranberry, American Cranberry, American Cranberry, Redosier Dogwood, Siberian Dogwood, Fragrant Sumac, Staghorn Sumac, Bush Cinquefoil, Tatarian Honeysuckle, Winterberry, American Elder
Evergreen Shrubs (18 inches minimum height for low growing species and 30 inches minimum for all other species)	Common Juniper, Creeping Juniper, Bush Cinquefoil, Canada Yew, Amur Privet, Mugo Pine



PHASE 2 LANDSCAPING PLAN

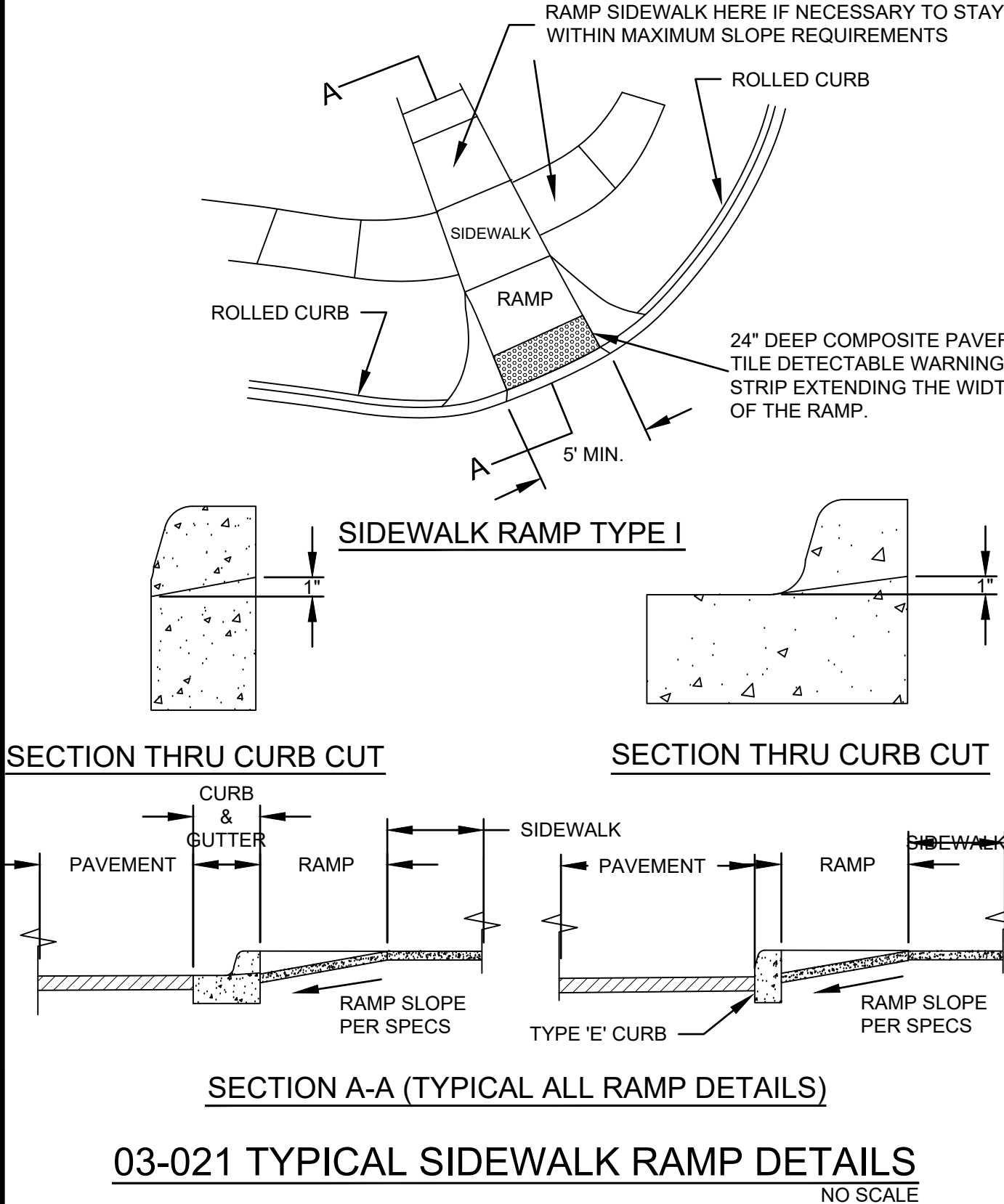
MARQUETTE GENERAL HOSPITAL SITE
RE-DEVELOPMENT



WICKWIRE, P.C.
715 Selden Road
Iron River, MI 49935
tel 906-265-9865
wickwiresolutions.com

Attention: 1" = 10' (Scale)
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 13
		DWG. NO. C-04.2



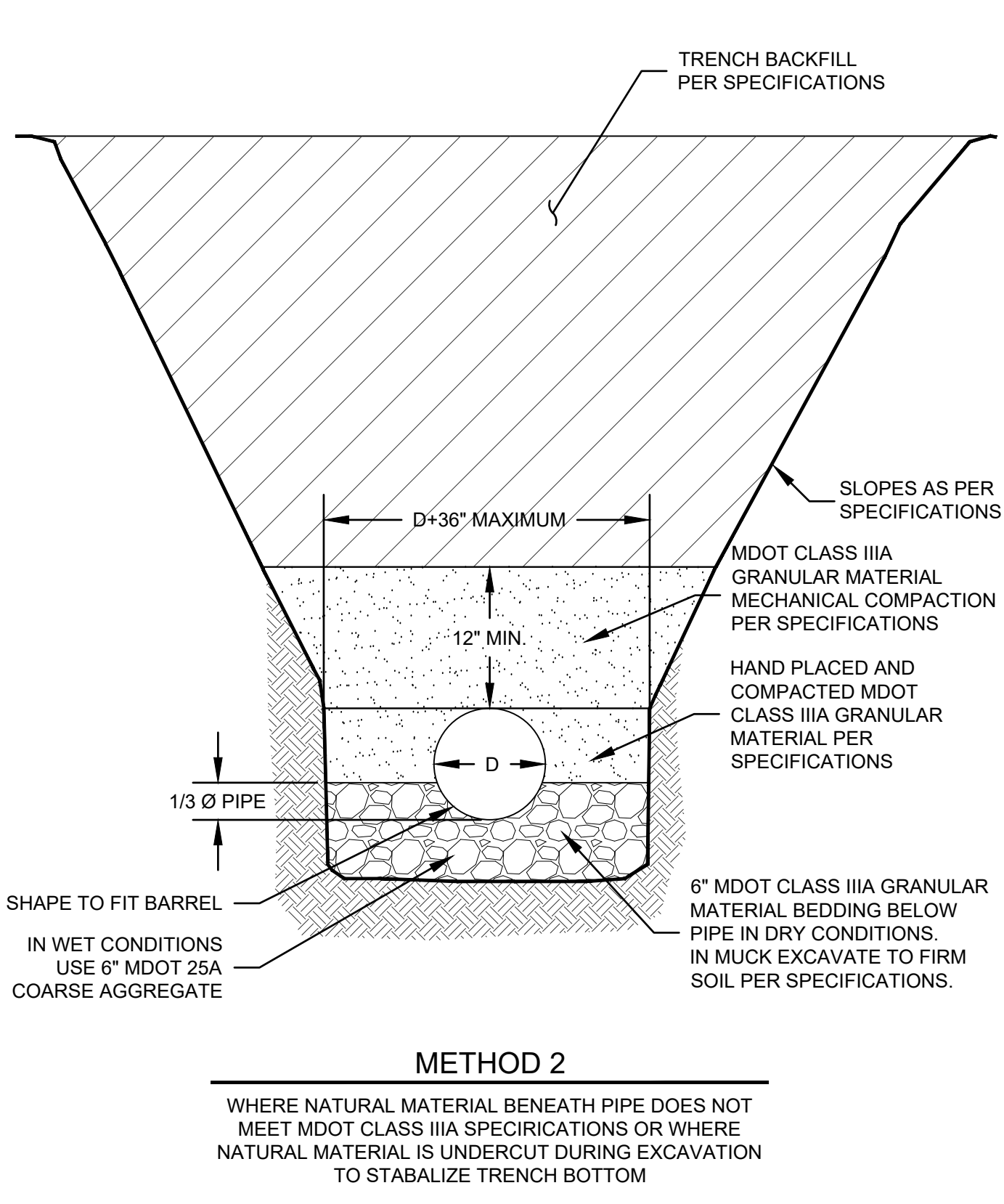
03-021 TYPICAL SIDEWALK RAMP DETAILS
NO SCALE

NOTES:

1. CONCRETE SIDEWALK RAMP SHALL BE SAWCUT TO FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE SIDEWALK RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-28-G, OR THE LATEST REVISION THEREOF.
3. ANY EXISTING CONCRETE SIDEWALK RAMP WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.

PARKING LOT RECONSTRUCTION REQUIREMENTS:

1. TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR PARKING LOT REPAIR OR CONSTRUCTION.
2. THE SLOPE OF THE PROPOSED CROSS SECTION CARRIES. SEE GRADING PLAN FOR DETAILS.



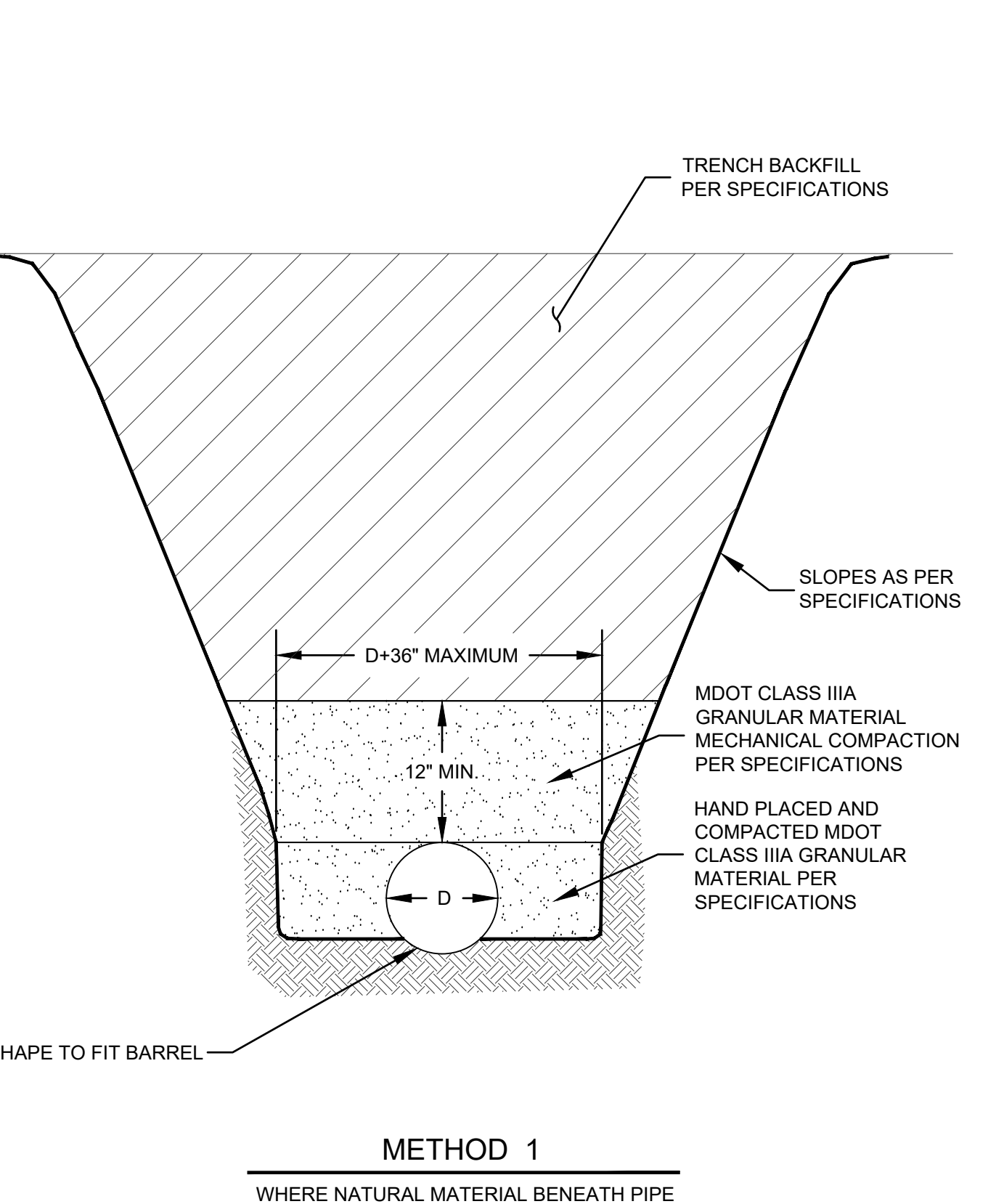
02-192 PIPE BEDDING DETAIL
NO SCALE

NOTES:

1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.
2. CONTRACTOR SHALL INSTALL NON-WOVEN 8 OZ/SYD GEOTEXTILE FABRIC ABOVE MDOT 25A STONE FOR ENTIRE TRENCH WIDTH AND LENGTH OF STONE BEDDING WHEREVER UTILIZED. GEOTEXTILE FABRIC JOINTS SHALL OVERLAP A MINIMUM OF 2.0 FEET.

NOTES:

1. WHEN OTHER THAN 7" (4" MIN. TO 9" MAX.) FACE EXPOSURE IS SPECIFIED ON PLANS. VARY TOTAL CURB HEIGHT AND BATTER ACCORDINGLY.
2. CURB MAY BE POURED MONOLITHICALLY WHEN ADJACENT TO CONCRETE SIDEWALK.



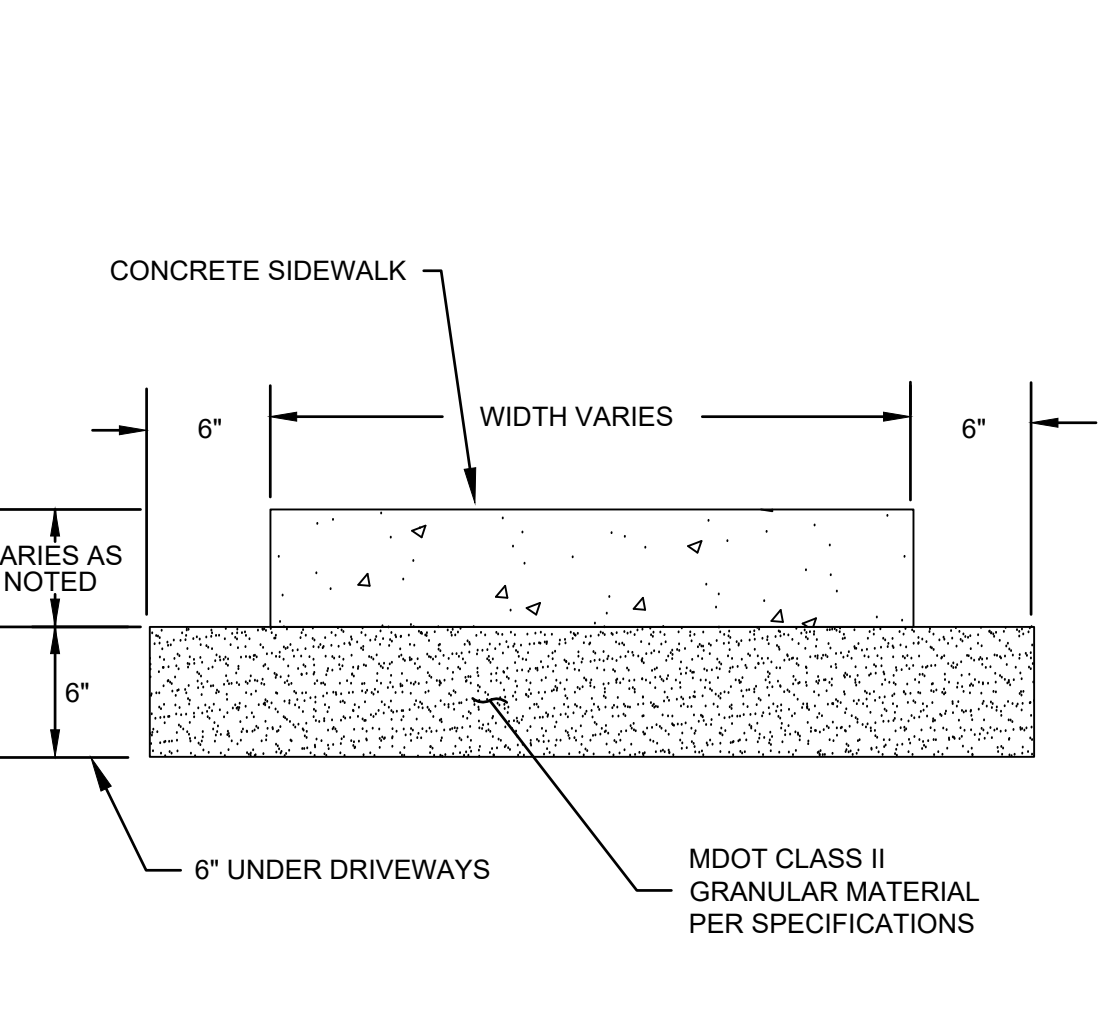
02-190 PIPE BEDDING DETAIL
NO SCALE

NOTES:

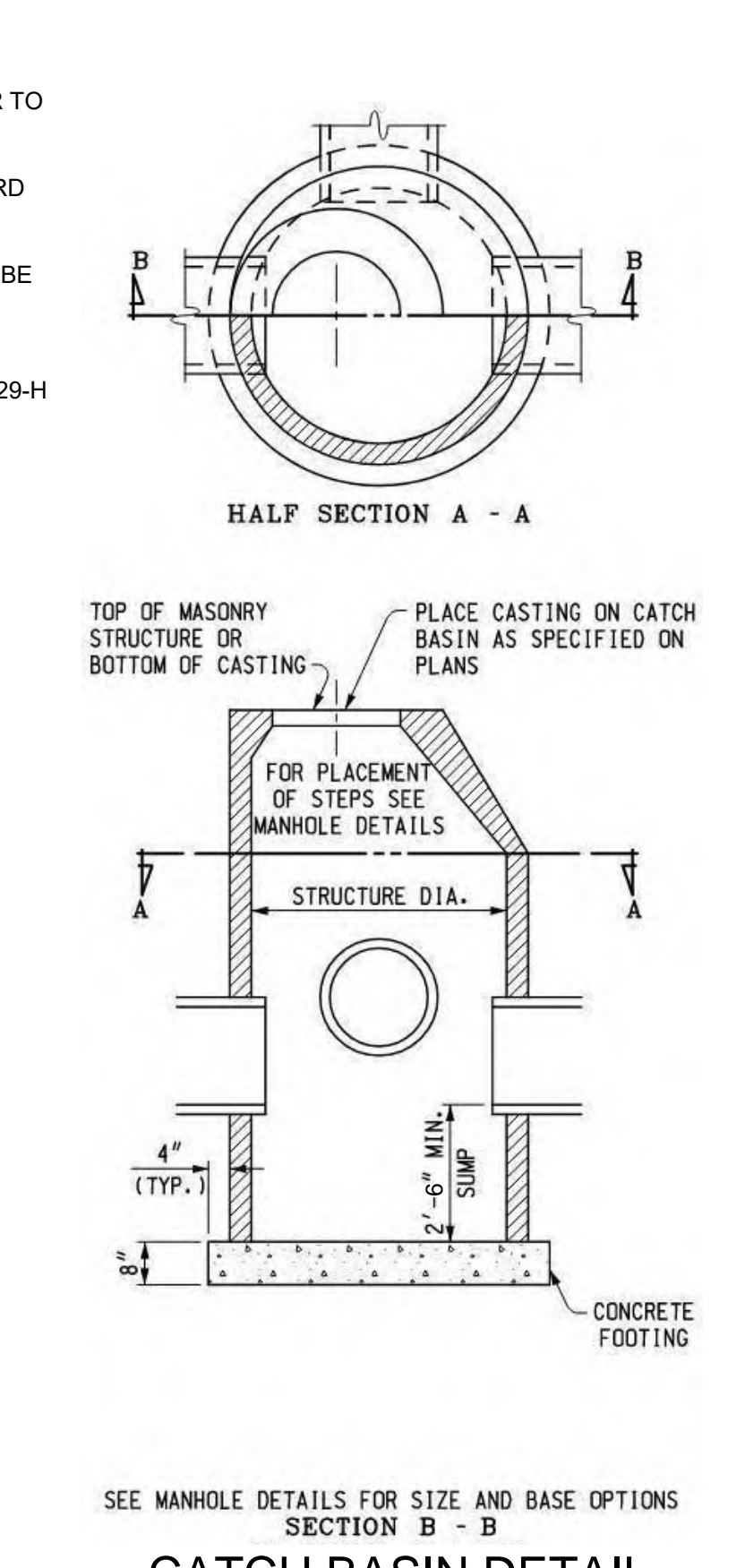
1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.

NOTES:

1. CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-J OR THE LATEST VERSION THEREOF.
3. ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
4. CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H
5. NO REINFORCEMENT SHALL BE USED IN CONCRETE SIDEWALK.
6. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE.



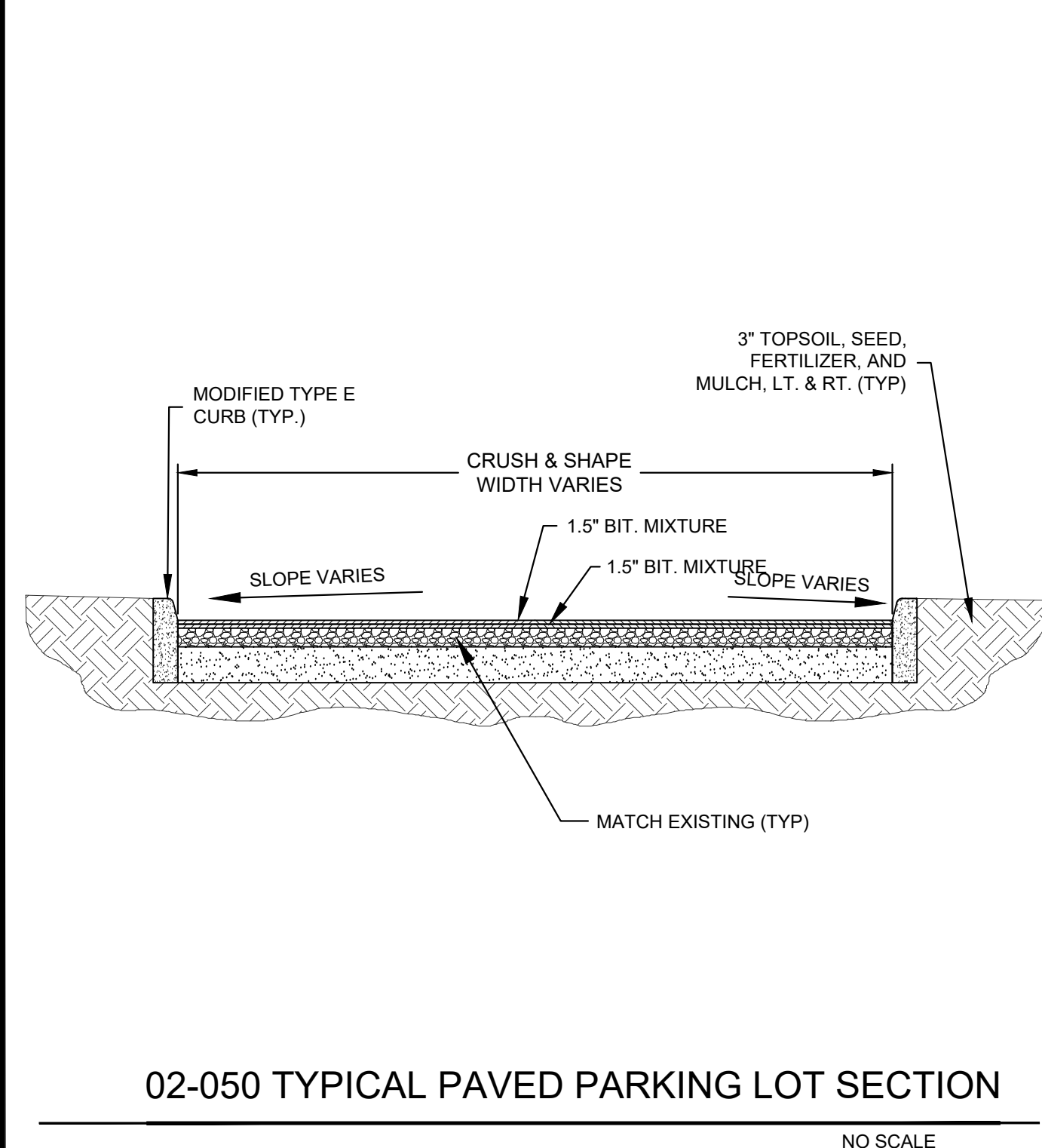
03-022 CONCRETE SIDEWALK
NO SCALE



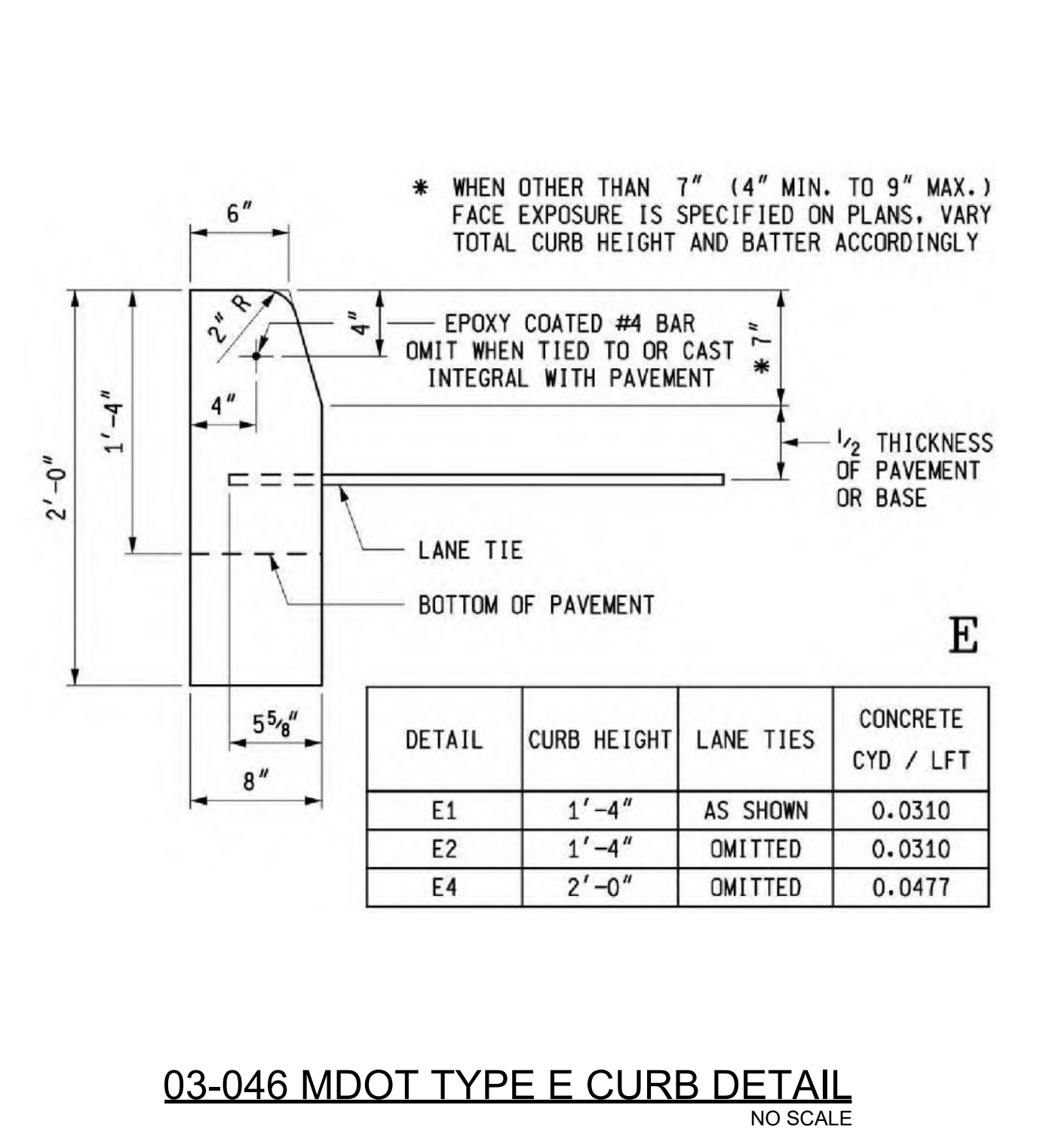
CATCH BASIN DETAIL

NOTES:

STRUCTURE COVER SHALL BE ROUND STORM CAST IRON.

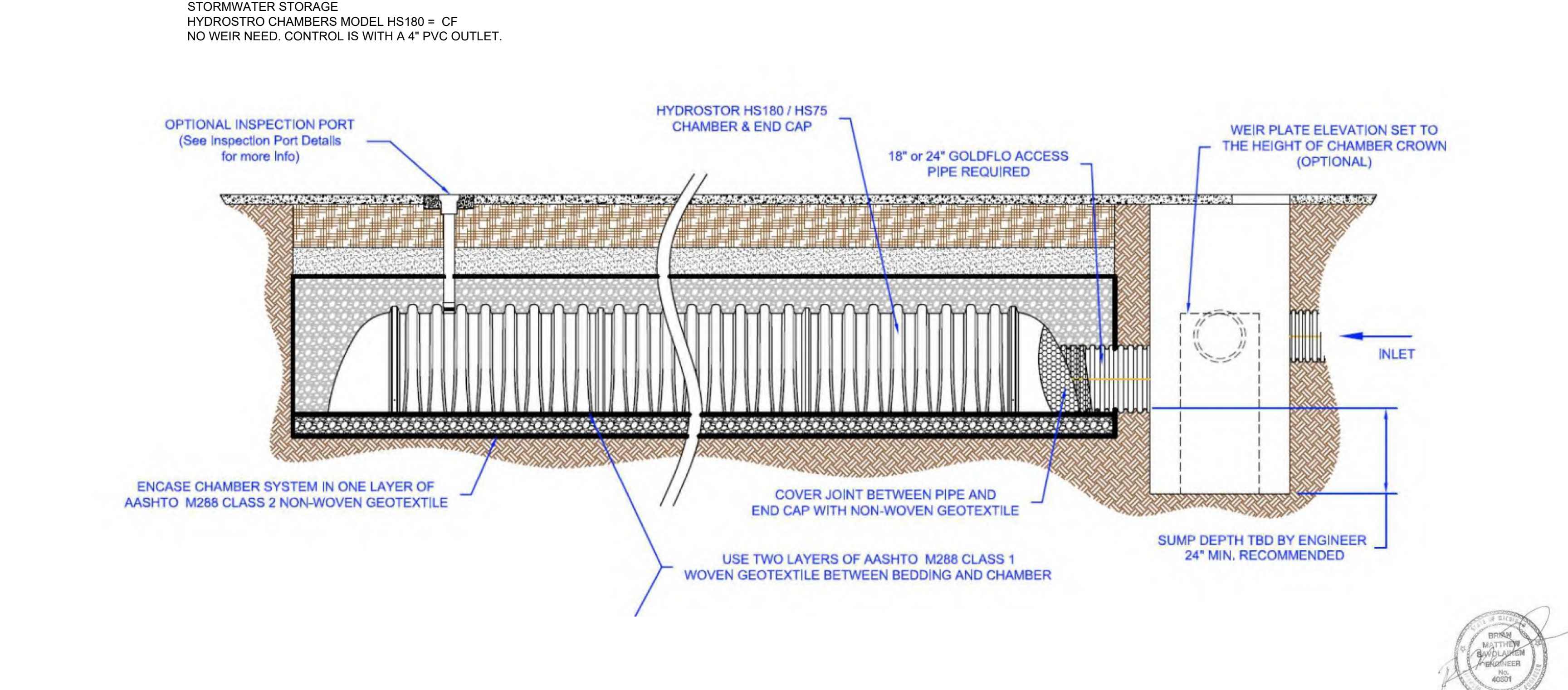


02-050 TYPICAL PAVED PARKING LOT SECTION
NO SCALE



03-046 MDOT TYPE E CURB DETAIL
NO SCALE

DETAIL	CURB HEIGHT	LANE TIES	CONCRETE CYD / LFT
E1	1'-4"	AS SHOWN	0.0310
E2	1'-4"	OMITTED	0.0310
E4	2'-0"	OMITTED	0.0477



02-050 TYPICAL PAVED PARKING LOT SECTION
NO SCALE

03-046 MDOT TYPE E CURB DETAIL
NO SCALE

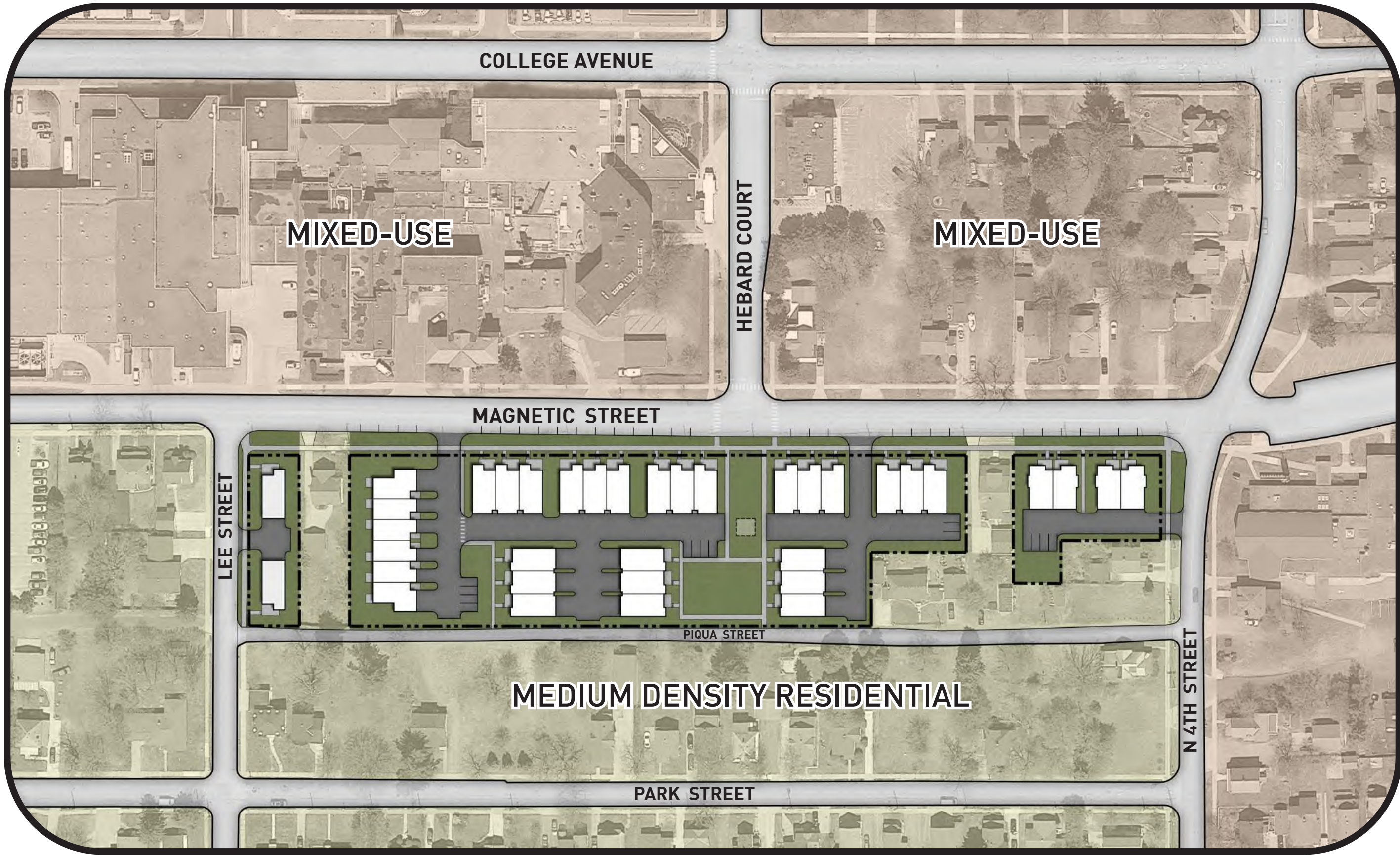
02-190 PIPE BEDDING DETAIL
NO SCALE

03-022 CONCRETE SIDEWALK
NO SCALE

CATCH BASIN DETAIL

NOTES:

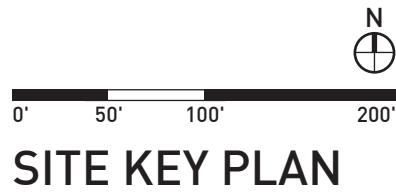
STRUCTURE COVER SHALL BE ROUND STORM CAST IRON.



UNIT BREAKDOWN					
UNIT TYPE	# of BEDROOMS	# of BATHS	UNIT FOOTPRINT (sf)	TOTAL UNIT AREA (gsf)	TOTAL UNITS
1	3	2.5	1170	1540	17
2	3	2.5	1120	1560	9
3	3	2.5	950	1510	6
4	2 / 3	2.5	1120	1520	4
					36

* Garage area not included in total unit area

PROJECT BREAKDOWN						
BUILDING	# of UNITS	UNIT TYPE	STORIES	BUILDING HEIGHT	BUILDING FOOTPRINT (gsf)	BUILDING AREA (gsf)
A	3	1	2	22'-8"	3600	6240
B	3	1	2	22'-8"	3600	6240
C	3	1	2	22'-8"	3600	6240
D	3	1	2	22'-8"	3600	6240
E	3	1	2	22'-8"	3600	6240
F	2	4	2	22'-8"	2250	4190
G	2	4	2	22'-8"	2250	4190
H	6	3	2	21'-4"	6170	11610
I	3	2	2	22'-8"	3370	6290
J	3	2	2	22'-8"	3370	6290
K	3	2	2	22'-8"	3370	6290
L	1	1	2	22'-8"	1180	2080
M	1	1	2	22'-8"	1180	2080
TOTAL	36	-	-	-	41140	74220

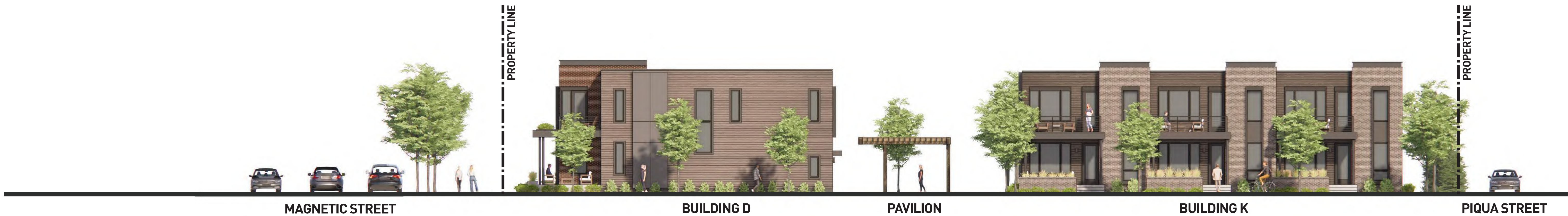


SITE KEY PLAN





N-S SITE SECTION 1



N-S SITE SECTION 2



E-W SITE SECTION 3

NOTE: Site sections intended to show building and site relationships, reference civil drawings for proposed grading

0' 4' 8' 16'

SITE SECTIONS

SHEET NO: **AS-102**

PRELIMINARY PUD 02 MAY 2025

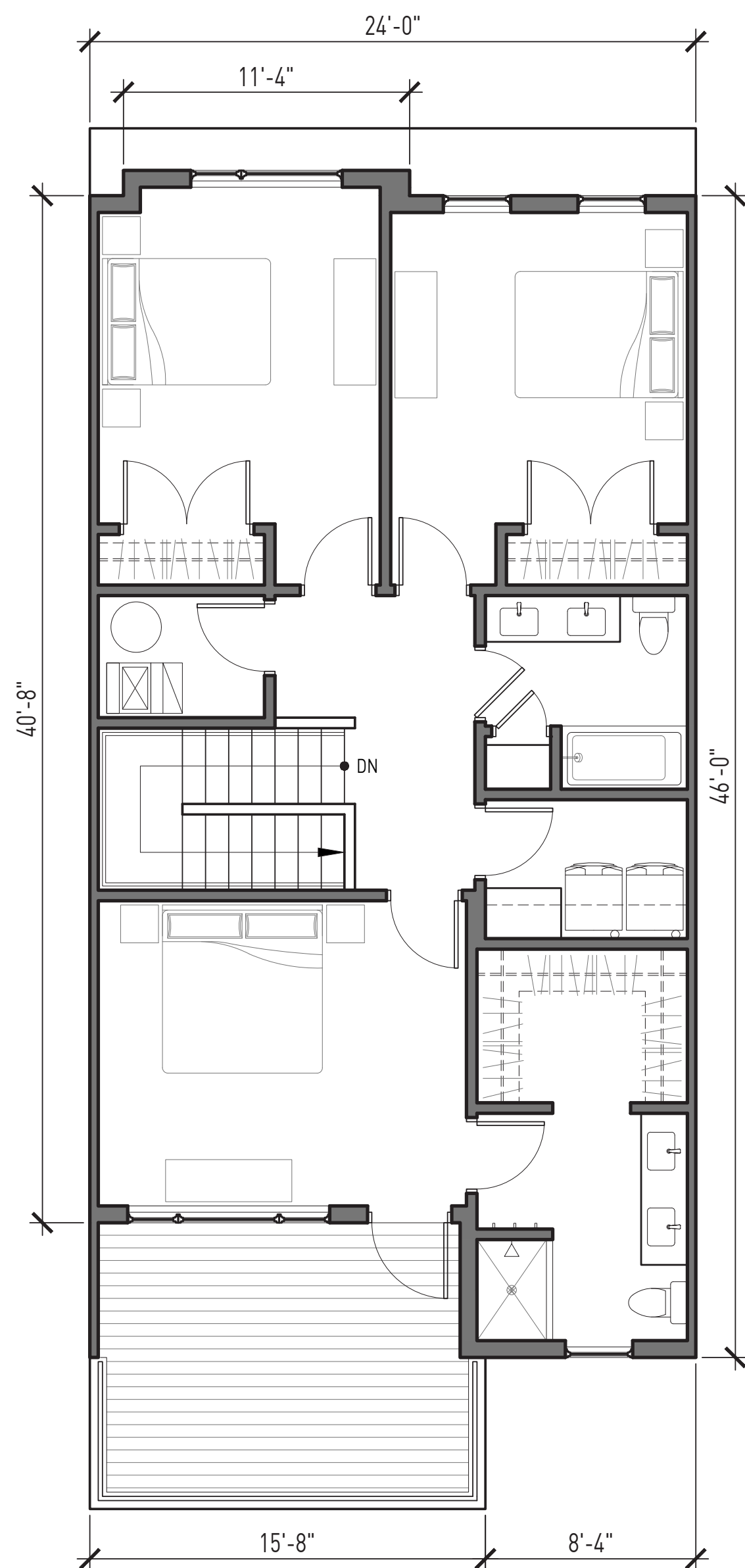
DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

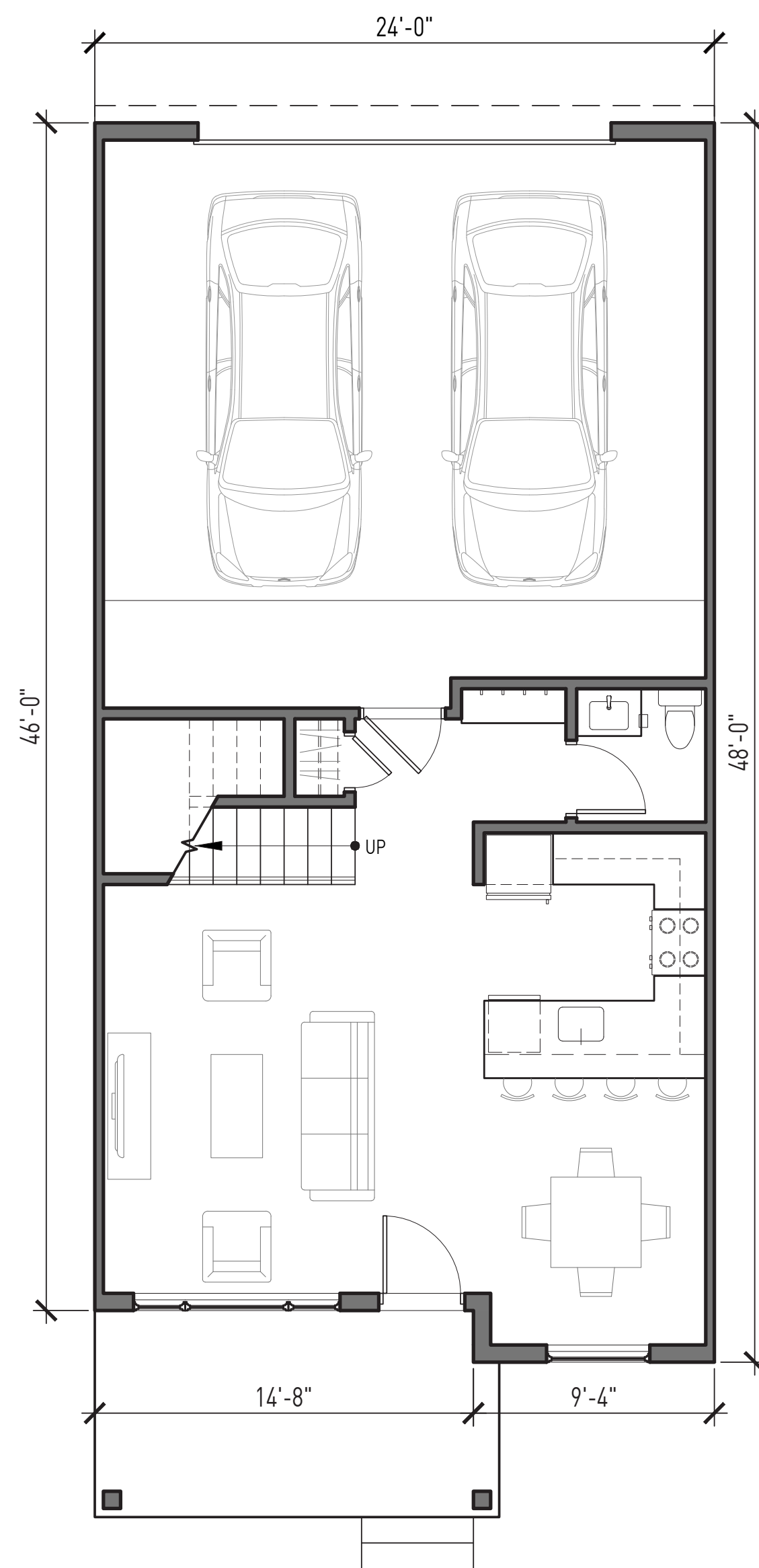
PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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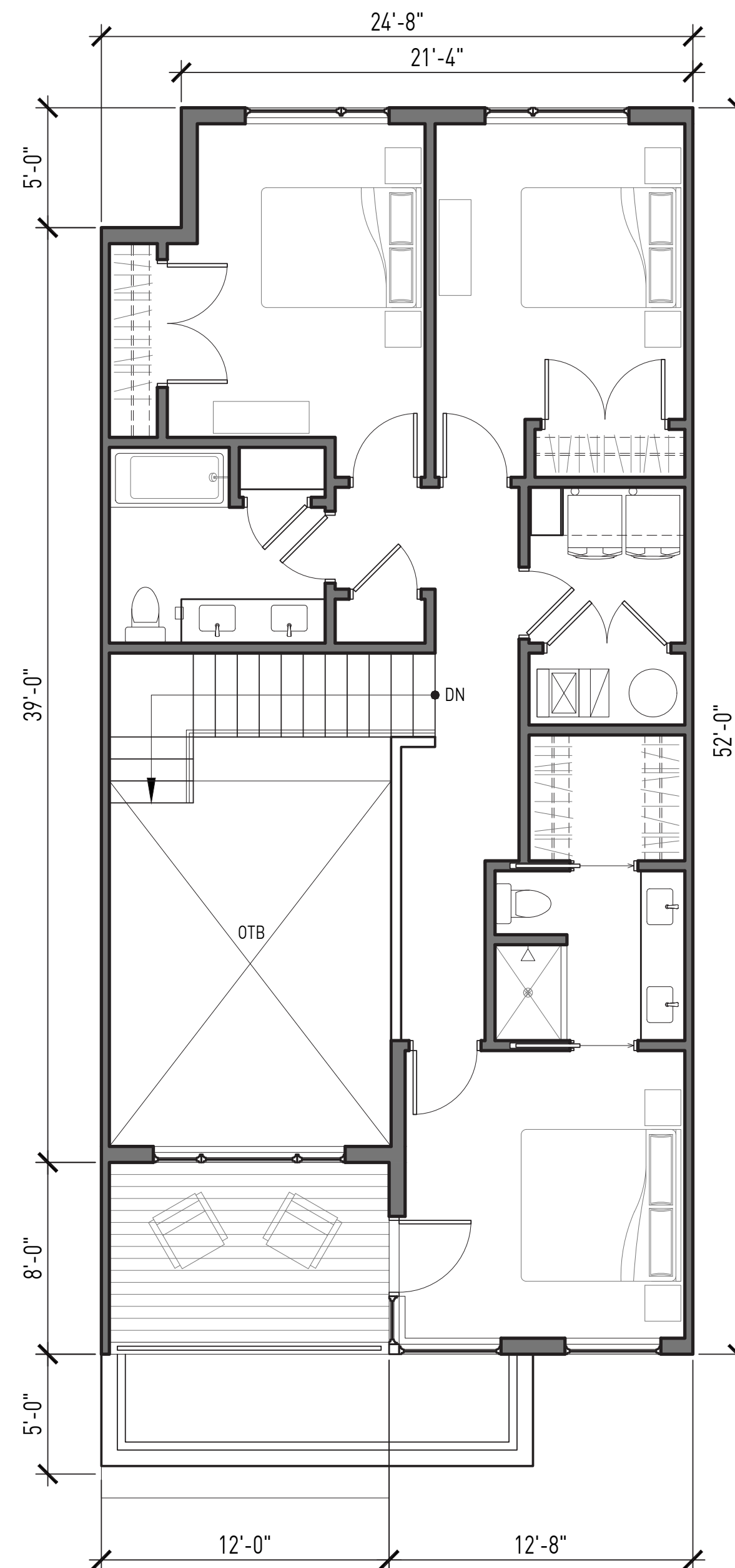
2ND FLOOR PLAN (970 GSF)



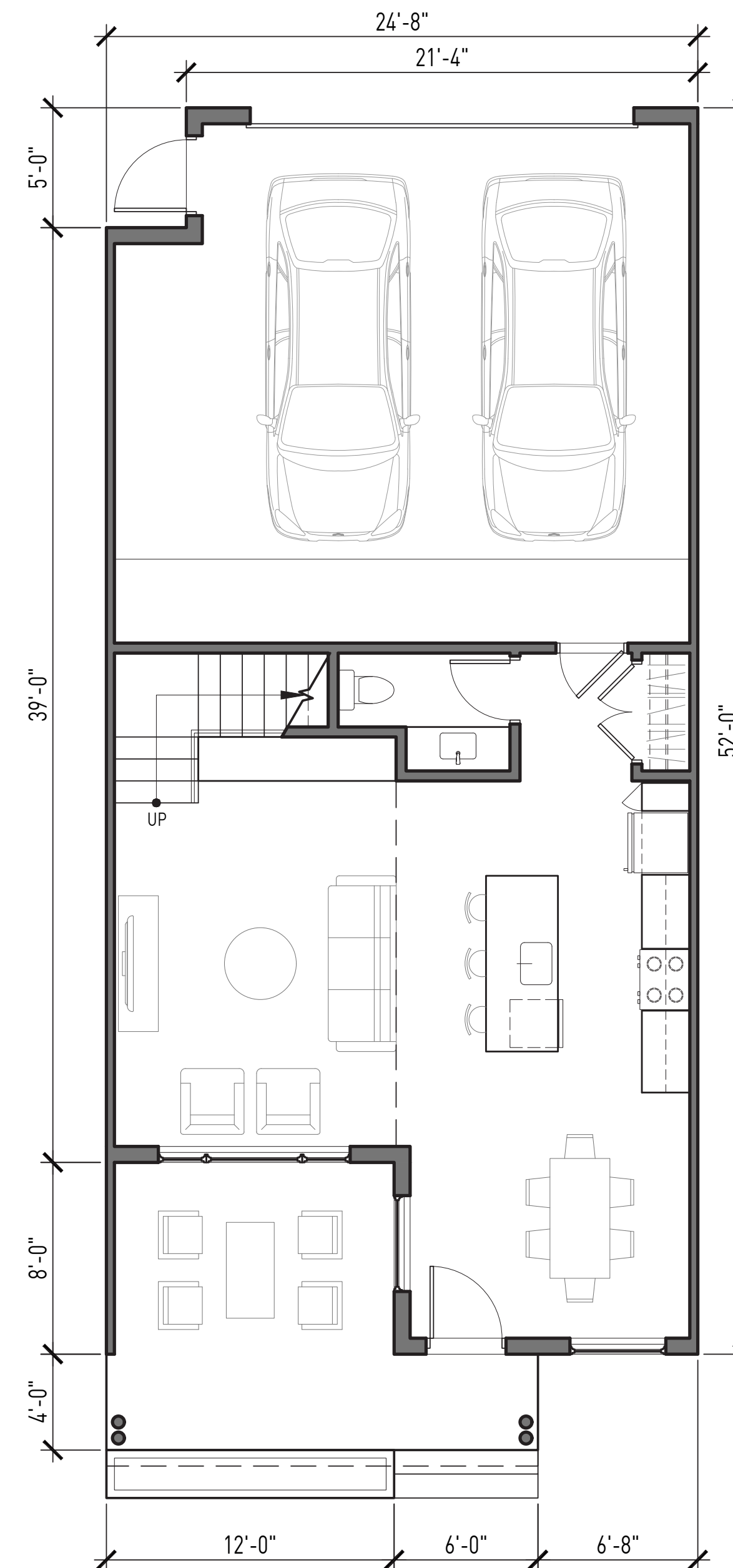
1ST FLOOR PLAN (590 GSF)

TOWNHOUSE - TYPE 2

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,560 GSF



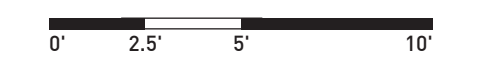
2ND FLOOR PLAN (905 GSF)



1ST FLOOR PLAN (635 GSF)

TOWNHOUSE - TYPE 1

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,540 GSF



UNIT FLOOR PLANS

SHEET NO: **A-101**

PRELIMINARY PUD 02 MAY 2025

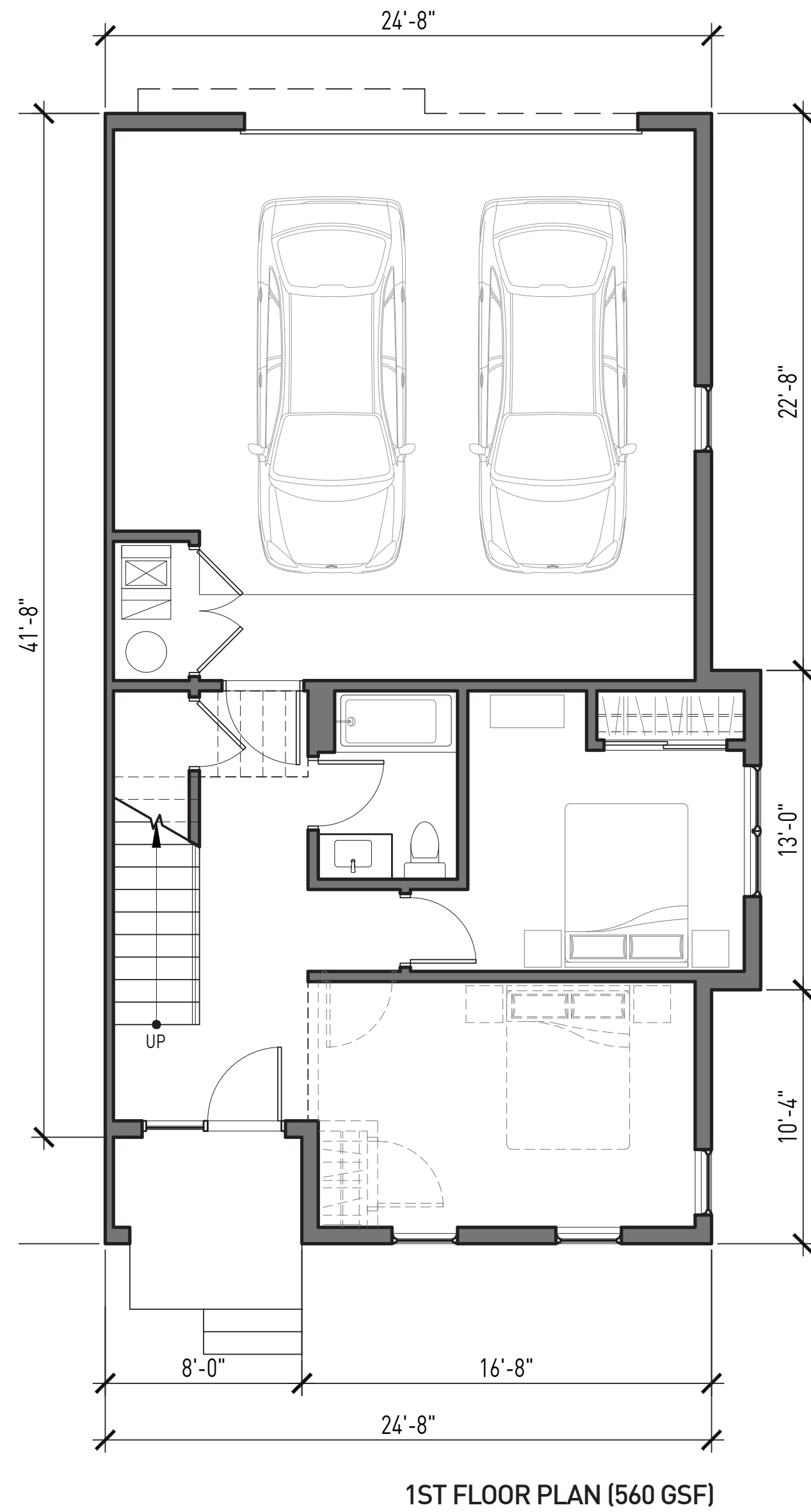
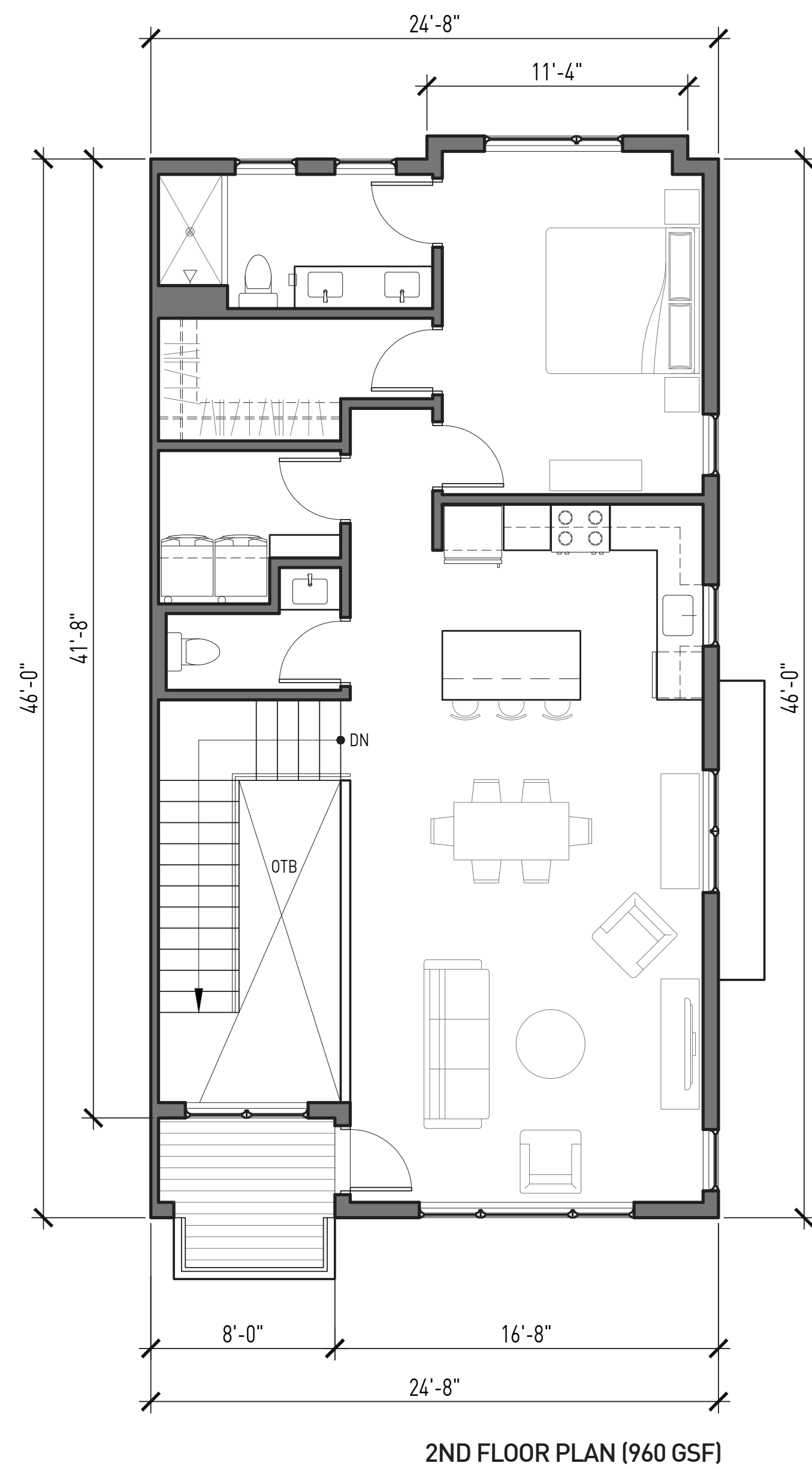
DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

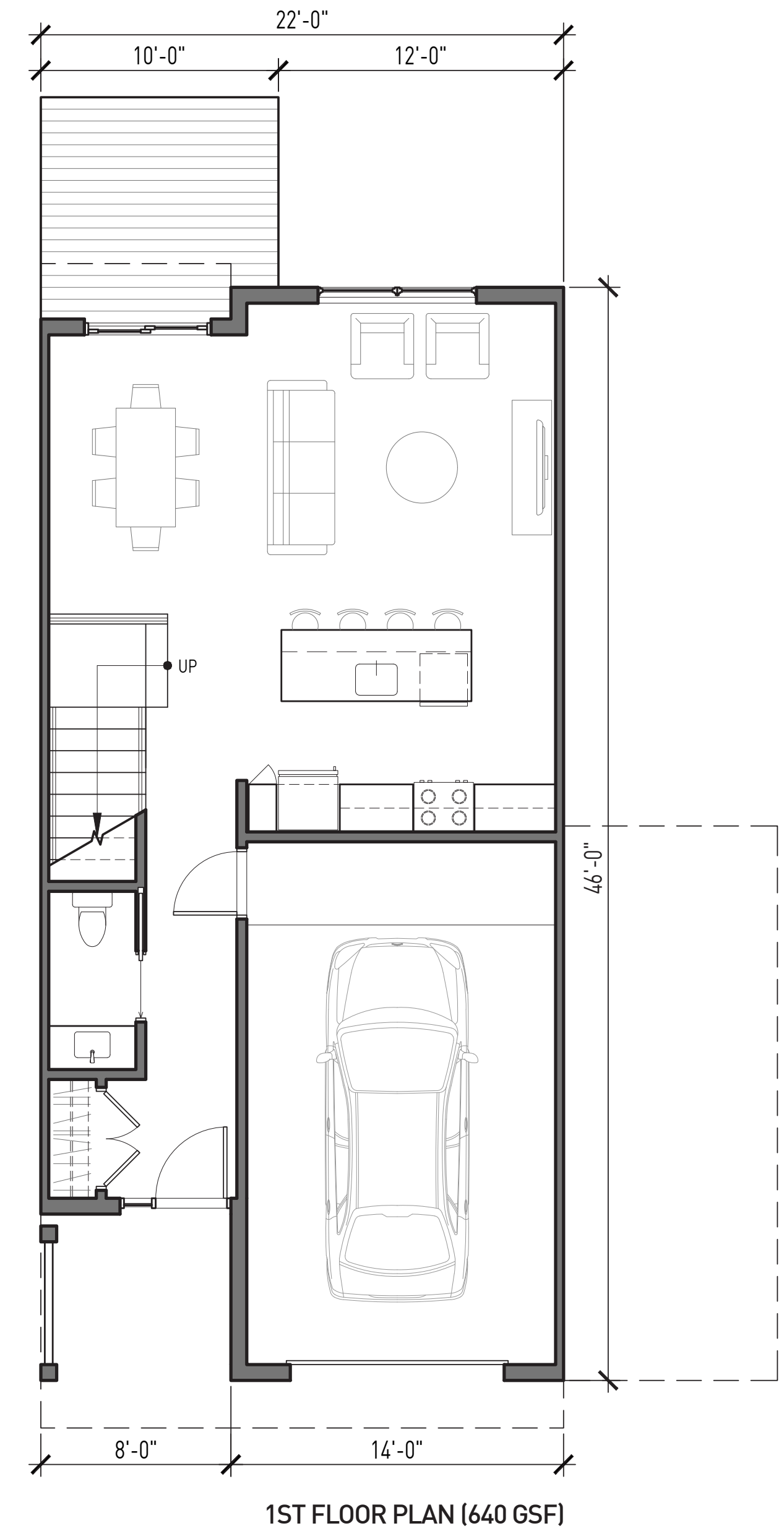
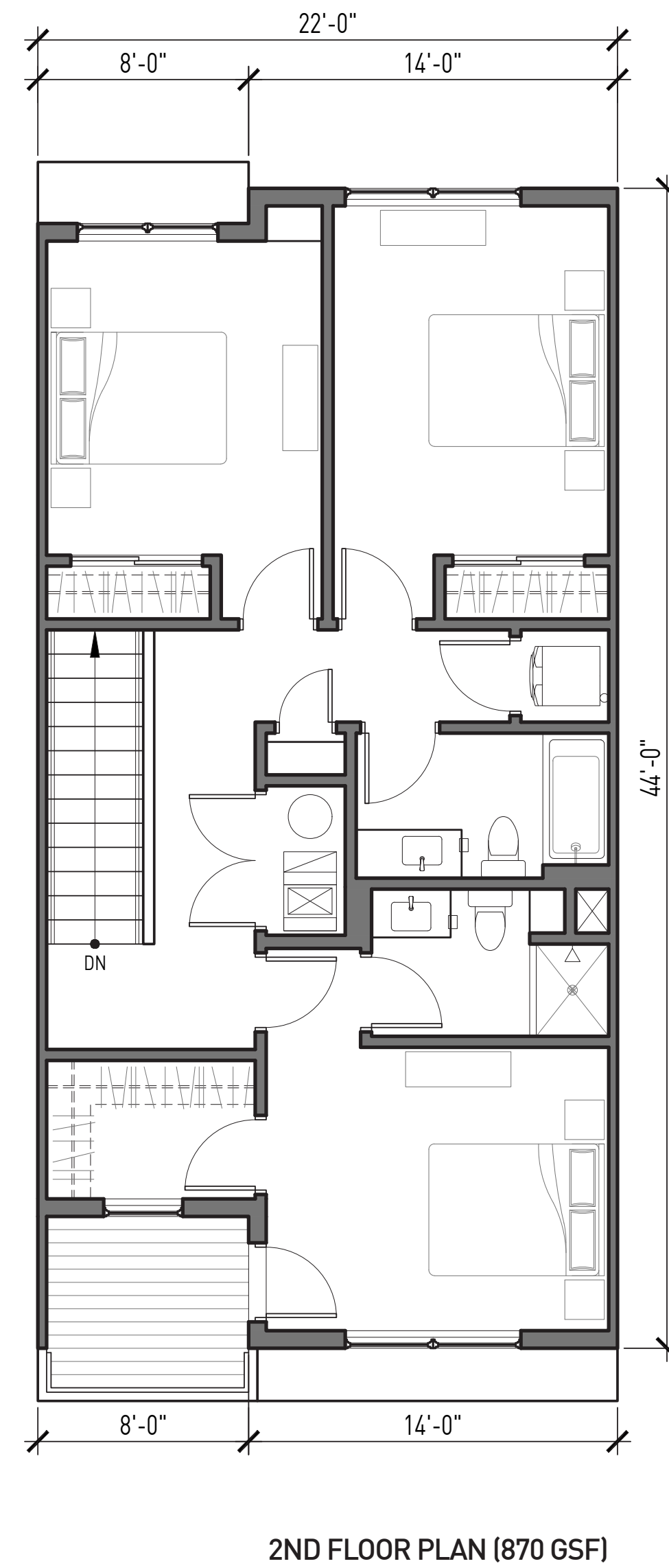
PROJECT NO: 20240907

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TOWNHOUSE - TYPE 4

- 2/3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,520 GSF



TOWNHOUSE - TYPE 3

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,510 GSF

0' 2.5' 5' 10'

UNIT FLOOR PLANS

SHEET NO: **A-102**

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

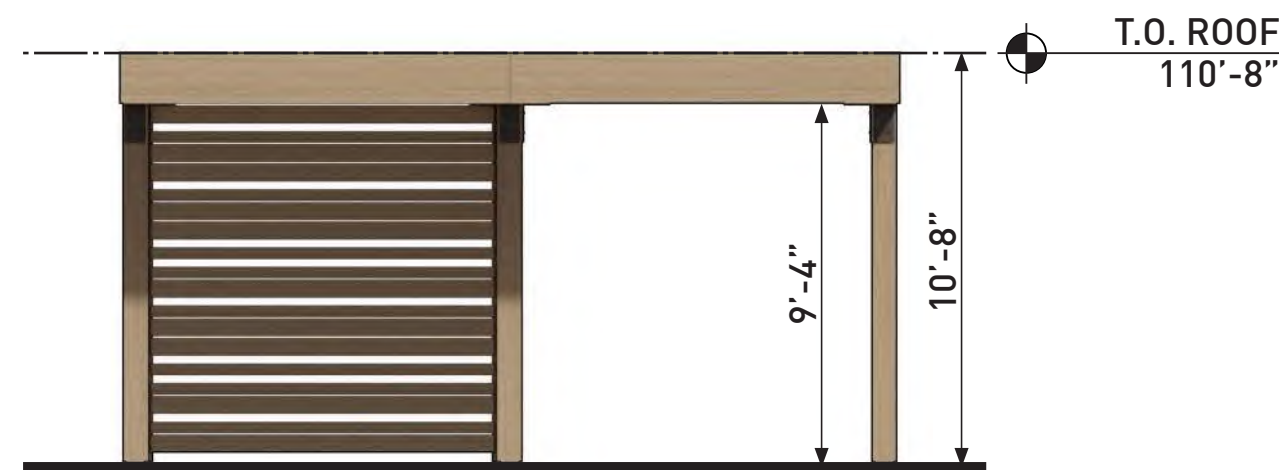
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BUILDING H - FRONT ELEVATION



PAVILION - PERSPECTIVE



PAVILION - FRONT ELEVATION



BUILDING I - FRONT ELEVATION
(J & K SIMILAR)



BUILDING F - FRONT ELEVATION
(BLDG G SIMILAR)



BUILDING A - FRONT ELEVATION
(B,C,D,E,L & M SIMILAR)

0' 2.5' 5' 10'

BUILDING ELEVATIONS

SHEET NO: A-501

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

NOTE: FINAL MATERIAL COLOR SELECTIONS TO BE DETERMINED

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- PRE-FINISHED METAL COPING
- MODULAR BRICK, RUNNING BOND
- TYPICAL, PRE-FINISHED LAP SIDING
- PRE-FINISHED METAL SHADOWBOX
- TYPICAL, RESIDENTIAL WINDOW SYSTEM
- GREEN ROOF PLANTER W/
METAL GUARDRAIL BEHIND
- WALL SCONCE LIGHT FIXTURE
- PRE-FINISHED METAL
COLUMNS & CANOPY
- CAST-IN-PLACE CONCRETE
PORCH AND PLANTER



CONCEPT RENDERINGS |
ARCHITECTURAL DETAILS

SHEET NO: A-501

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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PRE-FINISHED METAL GUARDRAIL

COMPOSITE WOOD
PORCH SOFFIT

MODULAR BRICK, RUNNING BOND

TYPICAL, RESIDENTIAL WINDOW SYSTEM

PRE-FINISHED METAL SHADOWBOX

TYPICAL, PRE-FINISHED LAP SIDING

PRE-FINISHED METAL
RESIDENTIAL GARAGE DOORS

PRE-FINISHED METAL
COLUMNS & CANOPY

MODULAR BRICK PLANTER &
CAST-IN-PLACE CONCRETE PORCH



CONCEPT RENDERINGS |
ARCHITECTURAL DETAILS

SHEET NO: **A-502**

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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LOTS 60 THRU 72, LOTS 97 THRU 120, LOTS 150 THRU 153 AND LOTS 160 THRU 163 OF THE COLLEGE HEIGHTS SUBDIVISION, LOTS 1 THRU 3, PART OF LOTS 4, 5, 7, 8 AND 9, LOTS 68 THRU 90, LOTS 92 THRU 99, ALL OF EXCLUDED LOTS "B" AND "C" AND PART OF EXCLUDED LOT "D" OF THE NORMAL ADDITION TO THE CITY OF MARQUETTE, PART OF VACATED LEE STREET, SECTION 14, T48N-R25W, CITY OF MARQUETTE, MARQUETTE COUNTY, MICHIGAN


SHEET 3 OF 7



SHEET 4 OF 7

SHEET 5 OF 7

GRAPHIC SCALE: 1 inch = 60 feet



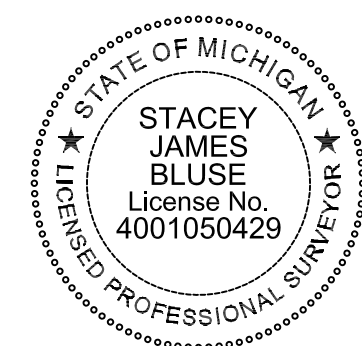
0 30 60 120 180

NOTES:
- SEE SCHEDULE OF SURVEY MONUMENTS ON SHEET 6 OF 7

TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC

BY: Stacy J. Bluse
Stacy J. Bluse, P.S. No. 4001050429

DATE: 10/18/2022



TRIMEDIA
ENVIRONMENTAL & ENGINEERING

INMCO FOUNDATION
PART OF THE COLLEGE HEIGHTS SUBDIVISION AND
THE NORMAL ADDITION TO THE CITY OF MARQUETTE

DATE	DESCRIPTION	ISSUED
10/18/22	SUBMITTAL - REVISED TITLE	
05/20/22	SUBMITTAL (per current title)	
12/15/21	DRAFT SUBMITTAL	

DESIGNED:
DRAWN: SJB
CHECKED: SDK
APPROVED: SDK

TRIMEDIA
JOB NUMBER:
2021-2790
SHEET TITLE:
ALTA/NSPS
Land Title
Survey
S-1

1 OF 7

[illegible]

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote

Schedule Public Hearing- Abatement of a Dangerous Structure - 308 S. Fifth Street

BACKGROUND:

Over the past several years the condition of an outbuilding located at 308 S. Fifth Street has significantly deteriorated, which required City staff to take enforcement action, in the manner allowed under City Code. Staff have attempted to resolve the issue with the owner which has led to issuing numerous warnings and citations. These citations went unpaid for several years, until the Marquette County District Court issued a show cause for nonpayment of the citations last summer.

City staff has continued to make efforts to get the owner to repair or remove the structure since then. The structure is located near the property line and is a danger not both the owner's home and the neighboring property.

Following a recent structural analysis, it was deemed a dangerous structure as outlined in City Code Section 22-20 - Dangerous Structures. During the structural analysis, it was determined that the structure was more dangerous than appeared from prior review of the exterior of the structure.

The owner was notified that the structure was condemned in January 2025, and to date has made no attempt to address the problems. Based on this, City staff determined the best course of action is the formal condemnation process including a recommendation to demolish the structure.

FISCAL EFFECT:

The estimated cost of abatement is \$10,000 with the cost being charged to the property owner with a lien placed on the property until paid.

RECOMMENDATION:

Schedule a public hearing to consider the abatement of a dangerous structure located at 308 S. Fifth Street for the June 30, 2025 Commission Meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

▢ Case History

Table of Contents

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Page 58.....	Enforcement Notes
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City of Marquette
Ordinance in Violation

Sec. 22-19. - Defined; prohibited.

Whatever annoys, injures or endangers the safety, health, comfort or repose of the public; offends public decency; interferes with, obstructs, or renders dangerous any street, highway, navigable lake or stream; or in any way renders the public insecure in life or property is hereby declared to be a public nuisance. A public nuisance shall include, but not be limited to, whatever is forbidden by any provision of this article. No person shall commit, create, or maintain any nuisance.

(Code 1999, § 26.01)

Sec. 22-20. - Dangerous structures; declared a public nuisance.

- (a) No person shall maintain any structure which is unsafe or which is a menace to the health, morals, or safety of the public. Every such structure shall be deemed a public nuisance and a dangerous structure.
- (b) As used in this section, the term "dangerous structure" means a building or structure that has one or more of the following defects or is in one or more of the following conditions:
 - (1) A door, aisle, passageway, stairway, or other means of exit does not conform to the approved fire code of the city.
 - (2) A portion of the building or structure is damaged by fire, wind, flood, deterioration, neglect, abandonment, vandalism, or other cause so that the structural strength or stability of the building or structure is appreciably less than it was before the damage and does not meet the minimum requirements of the state construction code and this Code.
 - (3) A part of the building or structure is likely to fall, become detached or dislodged, or collapse and injure persons or damage property.
 - (4) A portion of the building or structure has settled to an extent that walls or other structural portions of the building or structure have materially less resistance to wind than is required in the case of new construction by the state construction code.
 - (5) The building or structure, or a part of the building or structure, because of dilapidation, deterioration, decay, faulty construction, the removal or movement of some portion of the ground necessary for the support, or for other reason, is likely to partially or completely collapse, or some portion of the foundation or underpinning of the building or structure is likely to fall or give way.
 - (6) The building, structure, or a part of the building or structure is manifestly unsafe for the purpose for which it is used.
 - (7) The building or structure is damaged by fire, wind, or flood, is dilapidated or deteriorated and becomes an attractive nuisance to children who might play in the building or structure to their danger, becomes a harbor for vagrants, criminals, or immoral persons, or enables

persons to resort to the building or structure for committing a nuisance or an unlawful or immoral act.

- (8) A building or structure used or intended to be used for dwelling purposes, including the adjoining grounds, because of dilapidation, decay, damage, faulty construction or arrangement, or for other reason, is unsanitary or unfit for human habitation, is in a condition that the health officer determines is likely to cause sickness or disease, or is likely to injure the health, safety, or general welfare of people living in the dwelling.
- (9) A building or structure is vacant, dilapidated, and open at door or window, leaving the interior of the building exposed to the elements or accessible to entrance by trespassers.
- (10) A building or structure remains unoccupied for a period of 180 consecutive days or longer, and is not listed as being available for sale, lease, or rent with a real estate broker licensed under article 25 of the occupational code, Public Act No. 299 of 1980 (MCL 339.2501 et seq.). For purposes of this subsection, the term "building or structure" includes, but is not limited to, a commercial building or structure. This subsection does not apply to either of the following:
 - a. A building or structure if the owner or agent does both of the following:
 - 1. Notifies a local law enforcement agency that the building or structure will remain unoccupied for a period of 180 consecutive days. The notice shall be given to the local law enforcement agency by the owner or agent not more than 30 days after the building or structure becomes unoccupied.
 - 2. Maintains the exterior of the building or structure and adjoining grounds in accordance with the state construction code.
 - b. A secondary dwelling of the owner that is regularly unoccupied for a period of 180 days or longer each year, if the owner notifies a local law enforcement agency that the dwelling will remain unoccupied for a period of 180 consecutive days or more each year. An owner who has given the notice prescribed by this subsection (b)(10)b shall notify the law enforcement agency not more than 30 days after the dwelling no longer qualifies for this exception. As used in this subsection (b)(10)b, the term "secondary dwelling" means a dwelling, including, but not limited to, a vacation home, hunting cabin, or summer home, that is occupied by the owner or a member of the owner's family during part of a year.

(Code 1999, § 26.02)

Sec. 22-21. - Notice and hearing.

The city commission may, after notice to the owner and after holding a public hearing thereon, condemn any structure constituting a public nuisance by giving notice to the owner of the land upon which such structure is located, specifying in what respects said structure is a public nuisance and requiring said owner to alter, repair, tear down or remove same within such reasonable time, not exceeding 60 days, as may be

necessary to do or have done the work required by said notice. Said notice may also provide a reasonable time within which such work shall be commenced. The same procedure shall be followed, where applicable, in the elimination of any condition constituting a public nuisance where the alteration, repair or removal of any structure is not involved. In such cases, the notice shall specify what activity or condition constitutes the public nuisance and in what respect it is to be altered, modified or discontinued.

(Code 1999, § 26.03)

Sec. 22-22. - Abatement.

If, at the expiration of the time limit in any such notice, the owner has not complied with the requirements thereof, the city manager shall carry out the requirements of said notice. The cost of such abatement shall be charged against the premises and the owner thereof in accordance with the provisions of chapter 40, pertaining to special assessments.

(Code 1999, § 26.04)

Sec. 22-23. - Emergency abatement.

The city manager may abate any such public nuisance, if the public safety requires immediate action, without preliminary order of the commission. Thereafter, the cost of abating such nuisance shall be charged against the premises and the owner thereof in accordance with the provisions of chapter 40, pertaining to special assessments.

(Code 1999, § 26.05)

Photos







IPMC

SECTION 202 GENERAL DEFINITIONS

ANCHORED. Secured in a manner that provides positive connection.

APPROVED. Acceptable to the code official .

CODE OFFICIAL. The official who is charged with the administration and enforcement of this code, or any duly authorized representative.

DETERIORATION. To weaken, disintegrate, corrode, rust or decay and lose effectiveness

EXTERIOR PROPERTY. The open space on the premises and on adjoining property under the control of owners or operators of such premises.

INFESTATION. The presence, within or contiguous to, a structure or premises of insects, rodents, vermin or other pests.

STRUCTURE. That which is built or constructed.

SECTION 111

UNSAFE STRUCTURES AND EQUIPMENT

111.1 General Unsafe conditions. When a structure or equipment is found by the code official to be unsafe, or when a structure is found unfit for human occupancy, or is found unlawful, such structure shall be condemned pursuant to the provisions of this code.

111.1.1 Unsafe structures. An unsafe structure is one that is found to be dangerous to the life, health, property or safety of the public or the occupants of the structure by not providing minimum safeguards to protect or warn occupants in the event of fire, or because such structure contains unsafe equipment or is so damaged, decayed, dilapidated, structurally unsafe or of such faulty construction or unstable foundation, that partial or complete collapse is possible.

111.1.2 Unsafe equipment. Unsafe equipment includes any boiler, heating equipment, elevator, moving stairway, electrical wiring or device, flammable liquid containers or other equipment on the premises or within the structure that is in such disrepair or condition that such equipment is a hazard to life, health, property or safety of the public or occupants of the premises or structure.

111.1.3 Structure unfit for human occupancy. A structure is unfit for human occupancy whenever the code official finds that such structure is unsafe, unlawful or, because of the degree to which the structure is in disrepair or lacks maintenance, is insanitary, vermin or rat infested, contains filth and contamination, or lacks ventilation, illumination, sanitary or heating facilities or other essential equipment required by this code, or because the location of the structure constitutes a hazard to the occupants of the structure or to the public.

111.1.4 Unlawful structure. An unlawful structure is one found in whole or in part to be occupied by more persons than permitted under this code, or was erected, altered or occupied contrary to law.

111.1.5 Dangerous structure or premises. For the purpose of this code, any structure or premises that has any or all of the conditions or defects described as follows shall be considered to be dangerous:

1. Any door, aisle, passageway, stairway, exit or other means of egress that does not conform to the approved building or fire code of the jurisdiction as related to the requirements for existing buildings.
2. The walking surface of any aisle, passageway, stairway, exit or other means of egress is so warped, worn loose, torn or otherwise unsafe as to not provide safe and adequate means of egress.
3. Any portion of a building, structure or appurtenance that has been damaged by fire, earthquake, wind, flood, deterioration, neglect, abandonment, vandalism or by any other cause to such an extent that it is likely to partially or completely collapse, or to become detached or dislodged.
4. Any portion of a building, or any member, appurtenance or ornamentation on the exterior thereof that is not of sufficient strength or stability, or is not so anchored, attached or fastened in place so as to be capable of resisting natural or artificial loads of one and one-half the original designed value.

5. The building or structure, or part of the building or structure, because of dilapidation, deterioration, decay, faulty construction, the removal or movement of some portion of the ground necessary for the support, or for any other reason, is likely to partially or completely collapse, or some portion of the foundation or underpinning of the building or structure is likely to fail or give way.

6. The building or structure, or any portion thereof, is clearly unsafe for its use and occupancy.

7. The building or structure is neglected, damaged, dilapidated, unsecured or abandoned so as to become an attractive nuisance to children who might play in the building or structure to their danger, becomes a harbor for vagrants, criminals or immoral persons, or enables persons to resort to the building or structure for committing a nuisance or an unlawful act.

8. Any building or structure has been constructed, exists or is maintained in violation of any specific requirement or prohibition applicable to such building or structure provided by the approved building or fire code of the jurisdiction, or of any law or ordinance to such an extent as to present either a substantial risk of fire, building collapse or any other threat to life and safety.

9. A building or structure, used or intended to be used for dwelling purposes, because of inadequate maintenance, dilapidation, decay, damage, faulty construction or arrangement, inadequate light, ventilation, mechanical or plumbing system, or otherwise, is determined by the code official to be unsanitary, unfit for human habitation or in such a condition that is likely to cause sickness or disease.

10. Any building or structure, because of a lack of sufficient or proper fire-resistance-rated construction, fire protection systems, electrical system, fuel connections, mechanical system, plumbing system or other cause, is determined by the code official to be a threat to life or health.

11. Any portion of a building remains on a site after the demolition or destruction of the building or structure or whenever any building or structure is abandoned so as to constitute such building or portion thereof as an attractive nuisance or hazard to the public.

111.2 Closing of vacant structures. If the structure is vacant and unfit for human habitation and occupancy, and is not in danger of structural collapse, the code official is authorized to post a placard of condemnation on the premises and order the structure closed up so as not to be an attractive nuisance. Upon failure of the owner or owner's authorized agent to close up the premises within the time specified in the order, the code official shall cause the premises to be closed and secured through any available public agency or by contract or arrangement by private persons and the cost thereof shall be charged against the real estate upon which the structure is located and shall be a lien upon such real estate and shall be collected by any other legal resource.

111.2.1 Authority to disconnect service utilities. The code official shall have the authority to authorize disconnection of utility service to the building, structure or system regulated by this code and the referenced codes and standards set forth in Section 102.8 in case of emergency where necessary to eliminate an immediate hazard to life or property or where such utility connection has been made without approval. The code official shall notify the serving utility and, whenever possible, the owner or owner's authorized agent and occupant of the building, structure or service system of the decision to disconnect prior to taking such action. If not notified prior to

disconnection the owner, owner's authorized agent or occupant of the building structure or service system shall be notified in writing as soon as practical thereafter.

111.3 Record. The code official shall cause a report to be filed on an unsafe condition. The report shall state the occupancy of the structure and the nature of the unsafe condition.

111.4 Notice. Whenever the code official determines that there has been a violation of this code or has grounds to believe that a violation has occurred, notice shall be given in the manner prescribed in Sections 111.4.1 and 111.4.2 to the person responsible owner or the owner's authorized agent, for the violation as specified in this code. Notices for condemnation procedures shall comply with this section.

111.4.1 Form. Such notice prescribed in Section 111.4 shall be in accordance with all of the following:

1. Be in writing.
2. Include a description of the real estate sufficient for identification.
3. Include a statement of the violation or violations and why the notice is being issued.
4. Include a correction order allowing a reasonable time to make the repairs and improvements required to bring the dwelling unit or structure into compliance with the provisions of this code.
5. Inform the property owner or owner's authorized agent of the right to appeal.
6. Include a statement of the right to file a lien in accordance with Section 109.3.

111.4.2 Method of service. Such notice shall be deemed to be properly served if where a copy thereof is served in accordance with one of the following methods: delivered personally, or sent by certified or first-class mail addressed to the last known address.

1. A copy is delivered personally.
2. A copy is sent by certified or registered mail addressed to the owner at the last known address with the return receipt requested.
3. A copy is delivered in any other manner as prescribed by local law.

If the certified or registered letter is returned showing that the letter was not delivered, a copy thereof shall be posted in a conspicuous place in or about the structure affected by such notice. Service of such notice in the foregoing manner upon the owner's agent or upon the person responsible for the structure shall constitute service of notice upon the owner.

111.5 Unauthorized tampering. Signs, tags or seals posted or affixed by the code official shall not be mutilated, destroyed or tampered with, or removed without authorization from the code official.

111.6 Transfer of ownership. It shall be unlawful for the owner of any dwelling unit or structure who has received a compliance order or upon whom a notice of violation has been served to sell, transfer, mortgage, lease or otherwise dispose of such dwelling unit or structure to another until the provisions of the compliance order or notice of violation have been complied with, or until such

owner or the owner's authorized agent shall first furnish the grantee, transferee, mortgagee or lessee a true copy of any compliance order or notice of violation issued by the code official and shall furnish to the code official a signed and notarized statement from the grantee, transferee, mortgagee or lessee, acknowledging the receipt of such compliance order or notice of violation and fully accepting the responsibility without condition for making the corrections or repairs required by such compliance order or notice of violation.

111.7 Placarding. Upon failure of the owner, owner's authorized agent or person responsible to comply with the notice provisions within the time given, the code official shall post on the premises or on defective equipment a placard bearing the word "Condemned" and a statement of the penalties provided for occupying the premises, operating the equipment or removing the placard. Such notice shall be posted in a conspicuous place in or about the structure affected by such notice. If the notice pertains to equipment, it shall be placed on the condemned equipment.

111.7.1 Placard removal. The code official shall remove the condemnation placard whenever the defect or defects upon which the condemnation and placarding action were based have been eliminated. Any person who defaces or removes a condemnation placard without the approval of the code official shall be subject to the penalties provided by this code.

111.8 Prohibited occupancy. Any occupied structure condemned and placarded by the code official shall be vacated as ordered by the code official. Any person who shall occupy a placarded premises or shall operate placarded equipment, and any owner, or owner's authorized agent or person responsible for the premises who shall let anyone occupy a placarded premises or operate placarded equipment shall be liable for the penalties provided by this code.

111.9 Abatement methods. Restoration or abatement. The structure or equipment determined to be unsafe by the code official is permitted to be restored to a safe condition. The owner, owner's authorized agent, operator or occupant of a building structure, premises or equipment deemed unsafe by the code official shall abate or cause to be abated or corrected such unsafe conditions either by repair, rehabilitation, demolition or other approved corrective action. To the extent that repairs, alterations, or additions are made or a change of occupancy occurs during the restoration of the structure, such repairs, alterations, additions, or change of occupancy shall comply with the requirements of the International Existing Building Code.

SECTION 304 EXTERIOR STRUCTURE

304.1 General. The exterior of a structure shall be maintained in good repair, structurally sound and sanitary so as not to pose a threat to the public health, safety or welfare.

304.1.1 Unsafe conditions. The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the International Building Code or the International Existing Building Code as required for existing buildings:

1. The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.
2. The anchorage of the floor or roof to walls or columns, and of walls and columns to foundations is not capable of resisting all nominal loads or load effects.
3. Structures or components thereof that have reached their limit state.
4. Siding and masonry joints including joints between the building envelope and the perimeter of windows, doors and skylights are not maintained, weather resistant or water tight.
5. Structural members that have evidence of deterioration or that are not capable of safely supporting all nominal loads and load effects.
6. Foundation systems that are not firmly supported by footings, are not plumb and free from open cracks and breaks, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
7. Exterior walls that are not anchored to supporting and supported elements or are not plumb and free of holes, cracks or breaks and loose or rotting materials, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
8. Roofing or roofing components that have defects that admit rain, roof surfaces with inadequate drainage, or any portion of the roof framing that is not in good repair with signs of deterioration , fatigue or without proper anchorage and incapable of supporting all nominal loads and resisting all load effects.
9. Flooring and flooring components with defects that affect serviceability or flooring components that show signs of deterioration or fatigue, are not properly anchored or are incapable of supporting all nominal loads and resisting all load effects.
10. Veneer, cornices, belt courses, corbels, trim, wall facings and similar decorative features not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
11. Overhang extensions or projections including, but not limited to, trash chutes, canopies, marquees, signs, awnings, fire escapes, standpipes and exhaust ducts not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
12. Exterior stairs, decks, porches, balconies and all similar appurtenances attached thereto, including guard s and

handrails, are not structurally sound, not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.

13. Chimneys, cooling towers, smokestacks and similar appurtenances not structurally sound or not properly anchored, or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.

Exceptions:

1. Where substantiated otherwise by an approved method.
2. Demolition of unsafe conditions shall be permitted where approved by the code official .

SECTION 302 EXTERIOR PROPERTY AREAS

302.5 Rodent harborage. Structures and exterior property shall be kept free from rodent harborage and infestation. Where rodents are found, they shall be promptly exterminated by approved processes that will not be injurious to human health. After pest elimination, proper precautions shall be taken to eliminate rodent harborage and prevent reinfestation.

302.7 Accessory structures. Accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

304.2 Protective treatment. Exterior surfaces, including but not limited to, doors, door and window frames, cornices, porches, trim, balconies, decks and fences, shall be maintained in good condition. Exterior wood surfaces, other than decay-resistant woods, shall be protected from the elements and decay by painting or other protective covering or treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints, as well as those between the building envelope and the perimeter of windows, doors and skylights, shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion, and surfaces with rust or corrosion shall be stabilized and coated to inhibit future rust and corrosion. Oxidation stains shall be removed from exterior surfaces. Surfaces designed for stabilization by oxidation are exempt from this requirement.

304.4 Structural members. Structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads.

304.6 Exterior walls. Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

Notices of Violation

11/06/2020



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

The ordinance is designed to protect the public health and safety, protect property values, and ensure that Marquette presents a positive and aesthetically pleasing image to visitors and residents alike.

Please bring your property into compliance with the ordinance. Your cooperation in correcting this violation will be greatly appreciated. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage. Due to the extent of work, please contact me by **11/23/2020** to discuss your intent and schedule further inspections. **Failure to comply before this date will result in the issuance of a Municipal Civil Infraction Citation. This will be the only warning.**

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

07/26/2021



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **08/06/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# 8845

~~07/26/2021~~ 08/20/2021



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

09/06/2021 Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on ~~08/06/2021~~. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# ~~8845~~ 8859

1100 Wright Street, Marquette, MI 49855

www.marquettemi.gov

09/06/2021



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **09/21/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# 8864

~~09/06/2021~~

09/22/2021



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

10/11/21 Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on ~~09/24/2021~~. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (907) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# 880* 8871

1100 Wright Street, Marquette, MI 49855

www.marquettemi.gov

10/11/2021

MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855



Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **10/27/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# 8876

10/27/2021

MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855



Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at **308 S FIFTH ST** is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **11/12/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Technician
Community Development Department

Enclosure: VN# 8880

04/01/2024



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison,

I would like to first thank you for taking the time to speak with me about your property located at **308 S FIFTH ST**.

As I had mentioned when we spoke on March 28, 2024, while at your property at 529 N Fourth St, the International Property Maintenance Violation pertaining to your damaged garage located at 308 S Fifth St remains unresolved. Copies of all prior correspondence regarding this violation are enclosed. This includes documentation from the Marquette County District Court showing that all unpaid tickets have been converted to bench warrants for arrest. I suggest you contact them to discuss this.

Reinspection's will resume on a biweekly basis starting **04/15/2024**. If the project is not completed or you have not contacted me by this date to schedule a timeline for completion, Municipal Civil Infractions will resume being issued. If scheduling a timeline is the chosen option, strict deadlines will be upheld to ensure compliance to this ordinance. Also, any plans that may exceed this date must be detailed and with a receipt and acknowledgment of this specific plan from me. Failure to do so will result in ticketing at the \$500 tier, as this is where ticketing and enforcement was paused due to your lack of response to prior notices.

This letter constitutes notice and is intended to provide you with a fair and reasonable opportunity to correct apparent violations. Please contact me at erpaupore@marquettemi.gov or (906) 225-4021 to schedule a timeline for completion.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: Previous violation correspondence, district court documentation

CC: 529 N Fourth St, Apt #2

04/15/2024

MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855



Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison:

A recent survey of your property located at **308 S FIFTH ST** remains in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

***Section 10-40 of the City's Property Maintenance Code,
Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.***

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage. So far, no changes have been made since this violation was first identified on 10/15/2021.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **05/01/2024**. Failure to meet compliance on each inspection will result in additional citations being issued. As was previously stated to you in person and in the mail delivered by certified mail to your properties at 308 S Fifth St and 529 N Fourth St, as well as in an email delivered to cwmorrison1@gmail.com, this offense has reached the top tier of ticketing and all tickets issued will be at the \$500 level.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: VN# 10043

05/01/2024



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

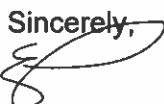
A recent inspection has shown that your property located at **308 S FIFTH ST** is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: *All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.*

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of **05/16/2024**. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,


Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: VN# 10052

~~05/01/2024~~ 05/15/2024



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent inspection has shown that your property located at **308 S FIFTH ST** is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: *All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.*

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of **05/29/2024**. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: VN# 10059

04/15/2024 06/04/2024



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent inspection has shown that your property located at **308 S FIFTH ST** remains in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: *All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.*

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including repairing the hole and siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of **06/18/2024**. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: VN#10071

07/03/2024



MORRISON, CHARLES W
308 S FIFTH ST
MARQUETTE MI 49855

Re: EN24-0137 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison:

Today, while near City Hall, I approached you at your property at 308 S Fifth Street to discuss the many outstanding Land Development Code and City Ordinance violations regarding this property. We discussed in length the requirements to bring these violations into compliance and avoid additional ticketing and set due dates for each of these violations to be resolved by. These were dates that you provided for me, and I agreed upon. Below is specific information on each violation, the requirements to meet compliance, the due date for each offense, and the penalty for non-compliance to the ordinances upon reinspection.

Your property located at **308 S FIFTH ST** in violation of the Marquette City Code of Ordinances, in particular Chapter 22 Environment, Article II Nuisances.

Section 22-33 Prohibited Accumulations states: *It shall be unlawful for any person to accumulate or permit the accumulation on any yard, alley, vacant lot or other spaces in the city of any lumber, boxes, barrels, bricks, stone, scrap metal, motor vehicle bodies or parts, or similar materials, or rubbish or any articles or junk, except as may be necessary and incidental to construction work or the normal course of a business or trade.*

To bring your property into compliance and avoid additional citations for this offense, you must remove or properly store all unlawful materials and items from the exterior of the buildings and yard, including bikes, propane fuel containers, tools, materials, lumber trash, **and all other items** throughout the yard and on the front porch. **This violation must be corrected by the agreed reinspection of Tuesday, July 9, 2024 at 10:00 AM.** Failure to do so will result in tickets continuing at the tier in which the last ticket was issued. Therefore, all tickets for this violation will be at the \$500 level.

Also discussed today was that the front stairs are actively being repaired structurally and require a Zoning Compliance Permit and likely, a Marquette County Building Codes permit. This is in violation of the City of Marquette Land Development Code, specifically Article 14, Section 54.1401 Zoning Permits and Zoning Compliance Review. Please see below for details.

Section 54.1401 Zoning Permits and Zoning Compliance Review
(A) Submission of Zoning Compliance Application Required. *No person shall commence to erect, alter, or repair any structure or to replace or enlarge any of*

the uses listed in Section 54.1401(B), without first obtaining Zoning Compliance and approval of plans. No use shall be carried on, nor construction undertaken, except as shown upon an approved Zoning Compliance application and plan. Plans shall be submitted to the Zoning Administrator or designated official.

I am providing you with a Zoning Compliance Permit application that must be completed and returned to our office by Tuesday, July 9, 2024, at 10:00 AM.

Failure to do so will result in a municipal civil infraction citation being issued. This is a new violation and will be ticketed at the \$50 level. To determine whether this will require if this requires a County Building Permit, you should contact the Marquette County Building Codes at 906-225-8180 or at their offices at 234 W Baraga Avenue. This letter will also be copied to their office as notice of the ongoing construction.

Also discussed in our conversation today was the violation of the Marquette City Code of Ordinances, Chapter 22 Environment, Article II Nuisances. See below for details.

Ordinance Section 22-34 – Storage of unlicensed vehicles: No person in charge or control of any property within the city, whether as owner, tenant, occupant, lessee or otherwise, shall allow any partially dismantled, non-operating, wrecked, or junked vehicle on any property within the city for a period in excess of one week; provided, however, that this article shall not apply to said motor vehicles which are stored in an enclosed building or vehicles on the premises of a business enterprise that stores or repairs such vehicles.

In order to bring your property into compliance and avoid a citation, you must properly license and make operable all vehicles located on your property, place any non-compliant vehicles in an enclosed building, or remove them from the property. Specifically, the gray Dodge truck. **Re-inspections will occur on the agreed upon date of Friday August 2, 2024 by 10:00 AM.** If the vehicle is to remain, proof of valid and current vehicle registration must be provided to our office by the inspection date. Failure to correct the violation before the reinspection date will result in a Municipal Civil Infraction being issued. This is a new violation and will be ticketed at the \$50 level.

Also discussed today was the outstanding violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

In order to bring your property into compliance and avoid additional citations, you must take the appropriate measures to ensure that the premises comply with the ordinance, **including repairing the large hole in the side of your garage.**

Given the extent of the damage we agreed to an **extended reinspection date of Friday, November 29, 2024, by 10:00 AM.** Failure to correct the violation before this date will result in additional municipal civil infractions being issued at the tier in which

the last ticket was issued. Therefore, all additional tickets for this violation will be at the \$500 level.

Also, many tickets have been issued for this offense since the case opened on October 15, 2020. Failure to pay for those tickets has resulted in them being forwarded to the Marquette County District Court. Per discussions with their office, many of these have been converted to bench warrants for arrest. I am providing with this letter a list of these outstanding tickets and their status with the Marquette County District Court. To resolve these, you should contact them at 906-225-8235 or at their offices at 234 W Baraga Avenue.

Municipal civil infractions are issued at rate of \$50 for the first, \$100 for the second, and \$500 for each additional failed reinspection and can be issued each day the violation exists.

If you have any questions, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: Zoning Compliance Permit application, Marquette County Courts violations status, aerial image of property for zoning permit

Initial Tickets

<input type="checkbox"/> Township		<input checked="" type="checkbox"/> City		<input type="checkbox"/> Village		<input type="checkbox"/> County	
OF MARQUETTE							
THE UNDERSIGNED		Month	Day	Year	At approximately	<input type="checkbox"/> A.M.	Date of Birth
SAYS THAT ON:		07	26	2021	14:00	<input checked="" type="checkbox"/> P.M.	Month 11 Day 30 Year 60
State	<input type="checkbox"/> Oper/Chauf. <input type="checkbox"/> CDL	Driver License Number				SSN (last 4 digits)	
Race	Sex	Height	Weight	Hair	Eyes	Occupation/Employer	
Name (First, Middle, Last) CHARLES WILLIAM MORRISON							
Street 306 S FIFTH ST							
City MARQUETTE		State MI		Zip Code 49855			
Vehicle Plate No.		Year	State	Vehicle Description (Year, Make, Color)			Veh. Type
THE PERSON NAMED ABOVE, in violation of § ORD-CH 10, ARTICLE 10-10							
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules 56C-302.7							
UPON 306 S FIFTH ST							
AT OR NEAR 306 S FIFTH ST							
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE							
COUNTY OF MARQUETTE DID THE FOLLOWING:							
<input type="checkbox"/> Nuisance Ordinance		<input type="checkbox"/> Building Code					
<input type="checkbox"/> Licenses Ordinance		<input type="checkbox"/> Plumbing Code					
<input checked="" type="checkbox"/> Zoning Ordinance		<input type="checkbox"/> Electrical Code					
<input type="checkbox"/> Sign, Lighting & Display Ordinance		<input type="checkbox"/> Mechanical Code					
<input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Other					
Describe: TPMC- FAILURE TO BRING GARAGE INTO GOOD REPAIR							
Person in Active Military Service <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No							
THIS VIOLATION IS A CIVIL INFRACTION and is your 1st violation.							
The fine for this violation is \$ 50.00 and must be paid at the violations bureau by 5:00 p.m. on 08/16/2021 unless you contact the violations bureau before this time.							
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.							
<p>WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.</p>							
<p>ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.</p> <p>ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.</p>							
Violations bureau address & phone number							
CITY OF MARQUETTE, MICHIGAN							
300 W. BARAGA AVE., MARQUETTE, MI 49855							
(906) 228-0475							
I personally served a copy of this notice upon the defendant.							
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.							
Complainant's Signature and receipt if applicable						Month	Day
ERIC PAROPE						07	26
Officer's Name (printed)						Year	
ERIC PAROPE						2021	
Officer's ID No.							
ORD 1							

☐ CIV.
☐ MIS.
☐ JUV.
NO
8845
MORRISON

<input type="checkbox"/> Township		<input checked="" type="checkbox"/> City		<input type="checkbox"/> Village		<input type="checkbox"/> County					
OF: MARQUETTE								of			
THE UNDERSIGNED		Month	Day	Year	At approximately		<input checked="" type="checkbox"/> A.M.	Date of Birth	Month	Day	Year
SAYS THAT ON:		06	06	2021	09:00		<input type="checkbox"/> P.M.		11	30	'66
State		<input type="checkbox"/> Oper/Chauff.		Driver License Number					SSN (last 4 digits)		
<input type="checkbox"/> CDL											
Race	Sex	Height	Weight	Hair	Eyes	Occupation/Employer					
Name (First, Middle, Last)											
CHARLES WILLIAM MORRISON											
Street											
308 S FIFTH ST											
City				State				Zip Code			
MARQUETTE				MI				49855			
Vehicle Plate No.		Year	State	Vehicle Description (Year, Make, Color)				Veh. Type			
THE PERSON NAMED ABOVE, in violation of § <u>ORD-CH 10, ART III SEC 8.0</u>											
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules <u>SEC 302.7</u>											
UPON											
AT OR NEAR <u>308 S FIFTH ST</u>											
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF <u>MARQUETTE</u>											
COUNTY OF <u>MARQUETTE</u> DID THE FOLLOWING											
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Building Code <input type="checkbox"/> Licenses Ordinance <input type="checkbox"/> Plumbing Code <input checked="" type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Electrical Code <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Animal & Fowl Ordinance <input type="checkbox"/> Other											
Describe:											
<u>IFMC- FAILURE TO BRING GARAGE INTO</u>											
<u>GOOD REPAIR</u>											
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No <u>NO</u>											
THIS VIOLATION IS A CIVIL INFRACTION and is your <u>2ND</u> violation.											
The fine for this violation is \$ <u>100.00</u> and must be paid at the violations bureau by 5:00 p.m. on <u>06/07/2021</u> unless you contact the violations bureau before this time.											
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.											
<p>WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.</p>											
<p>ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.</p> <p>ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.</p>											
Violations bureau address & phone number											
CITY OF MARQUETTE, MICHIGAN											
300 W. BARAGA AVE., MARQUETTE, MI 49855											
(906) 228-0475											
IMPORTANT: REMOVE FOR 2 COPIES BEFORE SIGNING NOTICE											
I personally served a copy of this notice upon the defendant.											
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.											
Complainant's Signature and receipt if applicable								Month	Date	Year	
								06	06	2021	
Officer's Name (printed)								Officer's ID No.			
ERIC PAUPORG								0602			

CIT. NO. 8852 MORRISON
 JUV. NO. 8852 MORRISON
 DATE

<input type="checkbox"/> JUV. Notice of Violation		Complaint no. 0240030	Offense Code
The People of: <input checked="" type="checkbox"/> the State of Michigan <input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County		Local Use/Arrest No.	
OF MARQUETTE			
THE UNDERSIGNED SAYS THAT ON:		Month 08 Day 20 Year 2021 At approximately 04:00 <input checked="" type="checkbox"/> A.M. <input type="checkbox"/> P.M. Date Month Day Year	SSN (last 4)
State <input type="checkbox"/> Operator/Chauff. <input type="checkbox"/> CDL		Driver License Number	
Race	Sex	Height	Weight
		Hair	Eyes
Occupation/Employer			
Name (First, Middle, Last) CHARLES WILLIAM MORRISON			
Street 300 S FIFTH ST			
City MARQUETTE		State MI	Zip Code 49855
Vehicle Plate No.	Year	State	Vehicle Description (Year, Make, Color)
THE PERSON NAMED ABOVE, in violation of § GAS - CH 10, ART III - SEC 10.1 <input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules			
UPON 300 S FIFTH ST			
AT OR NEAR 300 S FIFTH ST			
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE			
COUNTY OF MARQUETTE DID THE FOLLOW			
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> License Ordinance <input checked="" type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Building Code <input type="checkbox"/> Plumbing Code <input type="checkbox"/> Electrical Code <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Other	
Description: FIRE - FAILURE TO BRING GARAGE DAMAGE INTO GOOD REPAIR			
Person in Active Military Service <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No THIS VIOLATION IS A CIVIL INFRACTION and is your 3rd violation. The fine for this violation is \$500.00 and must be paid at the violations bureau by 5:00 p.m. on 09/01/2021 unless you contact the violations bureau before this time. SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.			
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation or 3) deny responsibility.			
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.			
Violations bureau address & phone number			
CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475			
I personally served a copy of this notice upon the defendant. I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.			
Complainant's Signature and receipt if applicable		Month 08 Day 20 Year 2021	Officer's AID No. 0001
Officer's Name (printed) ERIC P. PAPPAS			
Agency ORI MI-15255900	Agency Name CITY OF MARQUETTE		
UC-02 (rev 5/06) VIOLATION BUREAU COPY			

CIVIL NO. 8859 MORRISON

<input type="checkbox"/> Township		<input checked="" type="checkbox"/> City		<input type="checkbox"/> Village		<input type="checkbox"/> County	
OF: MARQUETTE							
THE UNDERSIGNED SAYS THAT ON:		Month 09	Day 07	Year 21	At approximately 09:00	<input checked="" type="checkbox"/> A.M. <input type="checkbox"/> P.M.	Date Month Day Year 11 30 '60
State <input type="checkbox"/> Oper/Chauff. <input type="checkbox"/> CDL		Driver License Number				SSN (last 4 digits)	
Race	Sex	Height	Weight	Hair	Eyes	Occupation/Employer	
Name (First, Middle, Last) CHARLES WILLIAM MORRISON							
Street 308 S FIFTH ST							
City MARQUETTE		State MI		Zip Code 49855			
Vehicle Plate No.		Year	State	Vehicle Description (Year, Make, Color)			Veh. Type
THE PERSON NAMED ABOVE, in violation of § OLD - CH 10 MT III, SEC 10-40							
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules SEC 306.7							
UPON							
AT OR NEAR 308 S FIFTH ST							
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE							
COUNTY OF MARQUETTE DID THE FOLLOWING							
<input type="checkbox"/> Nuisance Ordinance		<input type="checkbox"/> Building Code					
<input type="checkbox"/> Licensees Ordinance		<input type="checkbox"/> Plumbing Code					
<input checked="" type="checkbox"/> Zoning Ordinance		<input type="checkbox"/> Electrical Code					
<input type="checkbox"/> Sign, Lighting & Display Ordinance		<input type="checkbox"/> Mechanical Code					
<input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Other					
Describe: IPMC - FAILURE TO BRING GARAGE INTO							
GOOD REPAIR							
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No 9TH							
THIS VIOLATION IS A CIVIL INFRACTION and is your 9TH violation.							
The fine for this violation is \$500.00 and must be paid at the violations bureau by 5:00 p.m. on 09/11/21 unless you contact the violations bureau before this time.							
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.							
<p>WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation or 3) deny responsibility.</p>							
<p>ADMIT RESPONSIBILITY If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.</p> <p>ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.</p>							
Violations bureau address & phone number							
CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475							
I PERSONALLY REMOVE TOP'S COPIES BEFORE SIGNING NOTICE							
I personally served a copy of this notice upon the defendant.							
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.							
Complainant's Signature and receipt if applicable						Month 09	Date 07
Officer's Name (printed) ERIC PARRIS						Officer's ID No. 0601	

DCL. ☒ MIS. ☐ JUV. ☐
 Ticket No. **8864**
 Name **MORRISON**
 Case No.

<input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County			
OF: MARQUETTE			
THE UNDERSIGNED SAYS THAT ON:		Month 09 Day 22 Year 2021	At approximately <input type="checkbox"/> A.M. <input type="checkbox"/> P.M. Date of Birth Month 11 Day 30 Year 1960
State <input type="checkbox"/> Oper/Chauff. <input type="checkbox"/> CDL	Driver License Number		SSN (last 4 digits)
Race	Sex	Height	Weight
		Hair	Eyes
Occupation/Employer			
Name (First, Middle, Last) CHARLES WILLIAM NORRISON			
Street 308 S FIFTH ST			
City MARQUETTE	State MI	Zip Code 49801	
Vehicle Plate No.	Year	State	Vehicle Description (Year, Make, Color)
			Veh. Type
THE PERSON NAMED ABOVE, in violation of 2020 CH 10, ART 11 - SEC 10.10, SEC 10.11			
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules			
UPON			
AT OR NEAR 308 S FIFTH ST			
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE			
COUNTY OF MARQUETTE DID THE FOLLOWING			
<input type="checkbox"/> Nuisance Ordinance	<input type="checkbox"/> Building Code		
<input type="checkbox"/> Licenses Ordinance	<input type="checkbox"/> Plumbing Code		
<input checked="" type="checkbox"/> Zoning Ordinance	<input type="checkbox"/> Electrical Code		
<input type="checkbox"/> Sign, Lighting & Display Ordinance	<input type="checkbox"/> Mechanical Code		
<input type="checkbox"/> Animal & Fowl Ordinance	<input type="checkbox"/> Other		
Describe IPAC-FAILURE TO BRING GARAGE INTO GOOD REPAIR			
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No			
THIS VIOLATION IS A CIVIL INFRACTION and is your 5TH violation.			
The fine for this violation is \$ 300.00 and must be paid at the violations bureau by 5:00 p.m. on 10/09/2021 unless you contact the violations bureau before this time.			
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.			
<p>WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.</p>			
<p>ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.</p> <p>ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.</p>			
Violations bureau address & phone number			
CITY OF MARQUETTE, MICHIGAN			
300 W. BARAGA AVE., MARQUETTE, MI 49855			
(906) 228-0475			
IMPORTANT: REMOVE TOP 2 COPIES BEFORE SIGNING NOTICE.			
I personally served a copy of this notice upon the defendant.			
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.			
Complainant's Signature and receipt if applicable		Month 09 Day 22 Year 2021	
Officer's Name (printed) Eric P. Moore		Officer's ID No. ORD 1	

☐ CIV. I.
☐ MIS.
☐ JUV.
No.
8871
NORRISON

<input checked="" type="checkbox"/> C.I. <input type="checkbox"/> MIS <input type="checkbox"/> JUV.		State of Michigan Municipal Civil Infraction Notice of Violation		Ticket No. 8876 Dept. No. MVB	
				Complaint No. 0240030 Local Use/Arrest No.	
The People of: <input checked="" type="checkbox"/> the State of Michigan <input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County					
OF MARQUETTE					
THE UNDERSIGNED SAYS THAT ON		Month 10 Day 11 Year 2011	At approximately 09:00 <input type="checkbox"/> A.M. <input type="checkbox"/> P.M.	Date Month 11 Day 30 Year 60	
State <input type="checkbox"/> Oper/Chauff <input type="checkbox"/> CDL		Driver License Number		SSN (last 4 digits)	
Race	Sex	Height	Weight	Hair	Eyes
Occupation/Employer					
Name (First, Middle, Last) CHARLES WILLIAM MORRISON					
Street 308 S FIFTH ST					
City MARQUETTE		State MI		Zip Code 49801	
Vehicle Plate No.		Year	State	Vehicle Description (Year, Make, Color)	
THE PERSON NAMED ABOVE, in violation of § 000-CH 10, ART III SEC 10-40 <input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules SEC 20-4					
UPON 308 S FIFTH ST					
AT OR NEAR 308 S FIFTH ST					
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE COUNTY OF MARQUETTE					
DID THE FOLLOWING <input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Building Code <input type="checkbox"/> Licenses Ordinance <input type="checkbox"/> Plumbing Code <input type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Electrical Code <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Animal & Fowl Ordinance <input type="checkbox"/> Other					
Describe: TRUCK - FAILURE TO BRING GARAGE #210 GOOD REPAIR					
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No THIS VIOLATION IS A CIVIL INFRACTION and is your _____ violation. The fine for this violation is \$ _____ and must be paid at the violations bureau by 5:00 p.m. on _____ unless you contact the violations bureau before this time. SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.					
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.					
<div style="border: 1px solid black; padding: 5px;"> ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. </div>					
Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475					

C.I.
 MIS
 JUV.
No
 Ticket No.
8876
 Name
MORRISON

<input checked="" type="checkbox"/> C.I. <input type="checkbox"/> MIS <input type="checkbox"/> JUV.	State of Michigan Municipal Civil Infraction Notice of Violation	Ticket No. 8880	Dept. No. M
		Complaint No. 0240030	Offense Code
The People of: <input checked="" type="checkbox"/> the State of Michigan <input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County		Local Use/Arrest No.	
OF MARQUETTE			
THE UNDERSIGNED Month 10 Day 27 Year 21		At approximately <input checked="" type="checkbox"/> A.M. <input type="checkbox"/> P.M. 09:00	
SAYS THAT ON:		Date of Birth 11 30	
State <input type="checkbox"/> Oper/Chauff <input type="checkbox"/> CDL		Driver License Number	
Race		Sex Height Weight Hair Eyes Occupation/Employer	
Name (First, Middle, Last) CHARLES LEWIS MORRISON			
Street 300 S FIFTH ST			
City MARQUETTE		State MI Zip 49806	
Vehicle Plate No.		Year State Vehicle Description (Year, Make, Color) Veh	
THE PERSON NAMED ABOVE, in violation of § ORD-CH MARQUETTE SEC 10-1			
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rules			
UPON 300 S FIFTH ST			
AT OR NEAR 300 S FIFTH ST			
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE			
COUNTY OF MARQUETTE DID THE FOLLOW:			
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Licenses Ordinance <input checked="" type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Building Code <input type="checkbox"/> Plumbing Code <input type="checkbox"/> Electrical Code <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Other	
Describe: IFRC-FAILURE TO BRING GARAGE INTO GOOD REPAIR			
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No			
THIS VIOLATION IS A CIVIL INFRACTION and is your 7TH violation.			
The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 11/27/2021 unless you contact the violations bureau before this time.			
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS			
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.			
<div style="border: 1px solid black; padding: 5px;"> ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. </div>			
Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475			
IMPORTANT: PLEASE PRINT 2 COPIES BEFORE SIGNING NOTICE			
I personally served a copy of this notice upon the defendant.			
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.			
Complaintant's Signature and receipt if applicable		Month 10 Date 27 Year 2021	
Officer's Name (printed) ERIC PAPAGE		Officer's ID No. 001	
Agency ORI MI5255900		Agency Name CITY OF MARQUETTE	
UC-02 (rev. 5/06) VIOLATION BUREAU COPY			

THE UNDERSIGNED SAYS THAT ON		Month	Day	Year	Time	AM	PM	Birth	Month	Day	Year
		04	15	2024	8:30			11	30	1960	
State	Oper./Chauf. CDL	Driver License Number									
Race	Sex	Height	Weight	Hair	Eyes	Occupation/Employer					
Name (First Middle Last) CHARLES WILLIAM MORRISON											
Street 308 S FIFTH ST											
City MARQUETTE		State MI		Zip Code 49805							
E-mail Address						Cellular Phone					
Vehicle Plate No		Year	State	Vehicle Description (Year, Make, Color)				Veh. Type			
THE PERSON NAMED ABOVE, in violation of § 207.7, MICH. AUT. PL. SEC. 10-40											
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rule											
UPON											
AT OR NEAR 308 S FIFTH ST											
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE											
COUNTY OF MARQUETTE DID THE FOLLOWING											
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Building Code <input type="checkbox"/> Licenses Ordinance <input type="checkbox"/> Plumbing Code <input checked="" type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Electrical Code <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Animal & Fowl Ordinance <input type="checkbox"/> Other											
Describe FPM - FAILURE TO BRING GARAGE INTO GOOD REPAIR											
VIN											
Person in Active Military Service <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No											
THIS VIOLATION IS A CIVIL INFRACTION and is your 8th violation											
The fine for this violation is \$ 500.00 and must be paid at the violations bureau											
by 5:00 p.m. on 05/01/2024 unless you contact the violations bureau before this time											
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS											
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are a legal to be responsible for a civil infraction. You must either: 1) admit responsibility 2) admit responsibility with explanation, or 3) deny responsibility. If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.											
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.											
Violations bureau address & phone number											
CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475											
I personally served a copy of this notice upon the defendant											
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.											
Complainant's Signature and receipt if applicable											
Officer's Name (printed) ERIC PAULSON											
Officer's ID No ORD 1											
Agency ORI MI-5255900											
Agency Name CITY OF MARQUETTE											
JC 02, Rev 3/21 VIOLATIONS BUREAU COPY											

Ticket No
 10043
 Name
 MORRISON

Case No

DCI. State of Michigan
☐ MIS. Municipal Civil Infraction
☐ JUV. Notice of Violation

Ticket No. 10052 Dept No
Complaint No. 0240036
Local Use/Arrest No

The People of ☒ the State of Michigan
☐ Township ☒ City ☐ Village ☐ County

OF MARQUETTE

THE UNDERSIGNED Month Day Year At approximately 9:00 AM Date Month Day Year
SAYS THAT ON: 05 01 24 9:00 PM Birth 11 30 66
State ☐ Oper./Chauff. Driver License Number
☐ CDL

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)

CHARLES WILLIAM MORRISON

Street

308 S FIFTH ST

City

MARQUETTE

State

MI

Zip Code

49855

E-mail Address

Cellular Phone

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § 080 10-40, IPMC 302.7

☒ Local Ordinance ☐ State Law ☐ Administrative Rule

UPON

AT OR NEAR 308 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE

DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe: IPMC - FAILURE TO BRING GARAGE INTO REPAIR

VIN

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your 9th violation

The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 05/16/2024 unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation, or 3) deny responsibility.

If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

I personally served a copy of this notice upon the defendant.
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month Day Year
05 01 2024

Officer's Name (printed)

ERIC PAULRE

Officer's ID No.

0801

Agency ORI

MI- 5255900

Agency Name

CITY OF MARQUETTE

UC-02, Rev. 3/21

VIOLATIONS BUREAU COPY

DCI. MIS. 10052 MORRISON

Case No.

<input checked="" type="checkbox"/> C.I. <input type="checkbox"/> MIS. <input type="checkbox"/> JUV.		State of Michigan Municipal Civil Infraction Notice of Violation		Ticket No. 10059	Dept. No.
				Complaint No. 024030	Offense Code
The People of <input checked="" type="checkbox"/> the State of Michigan <input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County				Local Use/Arrest No.	
OF MARQUETTE					
THE UNDERSIGNED		Month 05	Day 15	Year '24	At approximately 09:00 <input checked="" type="checkbox"/> A.M. <input type="checkbox"/> P.M.
SAYS THAT ON		Date Month 11 of Day 30			
State <input type="checkbox"/> Oper./Chauff. <input type="checkbox"/> Driver <input type="checkbox"/> License Number <input type="checkbox"/> CDL					
Race	Sex	Height	Weight	Hair	Eyes
Occupation/Employer					
Name (First, Middle, Last)					
CHARLES WILLIAM MORRISON					
Street					
206 S FIFTH ST					
City	State			Zip Code	
MARQUETTE	MI			49801	
E-mail Address					
Cellular Phone					
Vehicle Plate No.		Year	State	Vehicle Description (Year, Make, Color)	
THE PERSON NAMED ABOVE in violation of ORD 10-40, IMPC-2023					
<input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rule					
UPON					
206 S 5TH					
AT OR NEAR					
W THIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE					
COUNTY OF MARQUETTE DID THE FOLLOW					
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Licenses Ordinance <input checked="" type="checkbox"/> Zoning Ordinance <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Building Code <input type="checkbox"/> Plumbing Code <input type="checkbox"/> Electrical Code <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Other			
Describe IMPC - FAILURE TO BRING GARAGE INTO REPAIR					
VIN					
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No					
THIS VIOLATION IS A CIVIL INFRACTION and is your 10TH violation.					
The fine for this violation is \$ 500. and must be paid at the violations bureau by 5:00 p.m. on 05/15/24 unless you contact the violations bureau before this time.					
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.					
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation, or 3) deny responsibility. If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.					
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.					
Violations bureau address & phone number					
CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475					
I personally served a copy of this notice upon the defendant. I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.					
Certification's Signature and receipt if applicable				Month 05	Day 15
Officer's Name (printed) ERIC PAPURE				Officer's ID No. ORD 1	Year 2024
Agency ORI MI-5255900		Agency Name CITY OF MARQUETTE			
UC-02, Rev. 3/21					

VIOLATIONS BUREAU COPY

State of Michigan		Ticket No. 10071	Dept. No.
Municipal Civil Infraction		Complaint No. 0240030	Offense Code
Notice of Violation		Local Use/Arrest No.	
The People of <input checked="" type="checkbox"/> the State of Michigan <input type="checkbox"/> Township <input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> County			
OF MARQUETTE			
THE UNDERSIGNED SAYS THAT ON State <input type="checkbox"/> Oper/Chauff <input type="checkbox"/> Driver License Number <input type="checkbox"/> CDL		Month 06 Day 04 Year '24 At approximately 9:00 A.M. Date of Birth 11 '90	
Race	Sex	Height	Weight
		Far	Eyes
Occupation/Employer			
Name (First Middle Last) CHARLES WILLIAM MURRISON			
Street 300 S 5TH ST			
City MARQUETTE		State MI	Zip Code 49855
E-mail Address		Cellular Phone	
Vehicle Plate No.	Year	State	Vehicle Description (Year, Make, Color)
THE PERSON NAMED ABOVE, in violation of § 900.10-40, IPMC 302.7 <input checked="" type="checkbox"/> Local Ordinance <input type="checkbox"/> State Law <input type="checkbox"/> Administrative Rule			
UPON 300 S 5TH ST			
AT OR NEAR MARQUETTE			
WITHIN <input checked="" type="checkbox"/> CITY <input type="checkbox"/> VILLAGE <input type="checkbox"/> TOWNSHIP OF MARQUETTE COUNTY OF MARQUETTE DID THE FOLLOW:			
<input type="checkbox"/> Nuisance Ordinance <input type="checkbox"/> Licenses Ordinance <input checked="" type="checkbox"/> Opening Ordinance <input type="checkbox"/> Sign, Lighting & Display Ordinance <input type="checkbox"/> Animal & Fowl Ordinance		<input type="checkbox"/> Building Code <input type="checkbox"/> Plumbing Code <input type="checkbox"/> Electrical Code <input type="checkbox"/> Mechanical Code <input type="checkbox"/> Other	
Describe IPMC - FAILURE TO SPRING GARAGE TWO GOOD REPAIR			
VIN:			
Person in Active Military Service <input type="checkbox"/> Yes <input type="checkbox"/> No THIS VIOLATION IS A CIVIL INFRACTION and is your 1st violation. The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 06/10/24 unless you contact the violations bureau before this time. SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS			
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility, 2) admit responsibility with explanation; or 3) deny responsibility. If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.			
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.			
Violations bureau address & phone number			
CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475			
I personally served a copy of this notice upon the defendant. I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.			
Complainant's Signature and receipt if applicable		Month 06	Day 04
		Year '24	
Officer's Name (Printed) ERIC PARME		Officer's ID No. 0001	
Agency ORI MI-5255900	Agency Name CITY OF MARQUETTE		
UC-02, Rev. 3/21			

VIOLATIONS BUREAU COPY

Civil Infraction Citations
(forwarded to District Court for non-payment)

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE

THE UNDERSIGNED Month 07 Day 26 Year 2021 At approximately 14:00 ☐ A.M. ☒ P.M. Date of Birth Month 11 Day 30 Year '60

SAYS THAT ON: State ☐ Oper/Chauff. ☐ CDL Driver License Number _____ SSN (last 4 digits) _____

Race _____ Sex _____ Height _____ Weight _____ Hair _____ Eyes _____ Occupation/Employer _____

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. _____ Year _____ State _____ Vehicle Description (Year, Make, Color) _____ Veh. Type _____

THE PERSON NAMED ABOVE, in violation of § OLD CH 10, ART III, SEC 10-10
☒ Local Ordinance ☐ State Law ☐ Administrative Rules SEC 302.7

UPON 308 S FIFTH ST

AT OR NEAR 308 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code 1665
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other _____

Describe: IPMC- FAILURE TO BRING GARAGE INTO GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your 1st violation.

The fine for this violation is \$ 50.00 and must be paid at the violations bureau by 5:00 p.m. on 08/16/2021 unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
 300 W. BARAGA AVE., MARQUETTE, MI 49855
 (906) 228-0475

IMPORTANT: REMOVE TOP 2 COPIES BEFORE SIGNING NOTICE.

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable _____ Month 07 Day 26 Year 2021

Officer's Name (printed) ERIC PAUZE Officer's ID No. 0201

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE

THE UNDERSIGNED Month 08 Day 25 Year 2021 At approximately 09:00 ☐ A.M. ☒ P.M. Date of Birth Month 11 Day 30 Year '60

SAYS THAT ON: State ☐ Oper/Chauff. ☐ CDL Driver License Number _____ SSN (last 4 digits) _____

Race _____ Sex _____ Height _____ Weight _____ Hair _____ Eyes _____ Occupation/Employer _____

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. _____ Year _____ State _____ Vehicle Description (Year, Make, Color) _____ Veh. Type _____

THE PERSON NAMED ABOVE, in violation of § OLD CH 10, ART III, SEC 10-10
☒ Local Ordinance ☐ State Law ☐ Administrative Rule SEC 302.7

UPON 308 S FIFTH ST

AT OR NEAR 308 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other _____

Describe: IPMC- FAILURE TO BRING GARAGE INTO GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your 1st violation.

The fine for this violation is \$ 50.00 and must be paid at the violations bureau by 5:00 p.m. on 09/16/2021 unless you contact the violations bureau before this time.

Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before _____

☐ Hearing Date (if applicable) on _____ ☐ Contact Court

A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number

234 W. BARAGA AVE., MARQUETTE, MI 49855
 (906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable _____ Month 08 Day 25 Year 2021

Officer's Name (printed) ERIC PAUZE Officer's ID No. 0201

☐ Township ☒ City ☐ Village ☐ County

OF: **MARQUETTE** of

THE UNDERSIGNED **Month 08 Day 06 Year 2021** At approximately **09:00** ☒ A.M. ☐ P.M. Date of Birth **11 Day 30 Year 66**

SAYS THAT ON: State ☐ Oper/Chauff. Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) **CHARLES WILLIAM MORRISON**

Street **308 S FIFTH ST**

City **MARQUETTE** State **MI** Zip Code **49855**

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of **OLD CH 10, ART III SEC 10.40**

☒ Local Ordinance ☐ State Law ☐ Administrative Rules **SEC 302.7**

UPON **308 S FIFTH ST**

AT OR NEAR **308 S FIFTH ST**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe: **IPMC- FAILURE TO BRING GARAGE INTO GOOD REPAIR**

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **2ND** violation.

The fine for this violation is \$ **100.00** and must be paid at the violations bureau by 5:00 p.m. on **06/01/2021** unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable Month **08** Day **06** Year **2021**

Officer's Name (printed) **ERIC PAUPORE** Officer's ID No. **002**

☐ Township ☒ City ☐ Village ☐ County

OF: **MARQUETTE** of

THE UNDERSIGNED **Month 08 Day 23 Year 2021** At approximately **10:00** ☒ A.M. ☐ P.M. Date of Birth **11 Day 30 Year 66**

SAYS THAT ON: State ☐ Oper/Chauff. Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) **CHARLES WILLIAM MORRISON**

Street **308 S FIFTH ST**

City **MARQUETTE** State **MI** Zip Code **49855**

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of **OLD CH 10, ART III SEC 10.40**

☒ Local Ordinance ☐ State Law ☐ Administrative Rule **SEC 302.7**

UPON **308 S FIFTH ST**

AT OR NEAR **308 S FIFTH ST**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe: **IPMC- FAILURE TO BRING GARAGE INTO GOOD REPAIR**

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **2ND** violation.

The fine for this violation is \$ **100.00** and must be paid at the violations bureau by 5:00 p.m. on **06/01/2021** unless you contact the violations bureau before this time.

Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS

☐ Appearance Date on or before

☐ Hearing Date (if applicable) on ☐ Contact Court

A formal hearing may be requested by either party.

In the **96th DISTRICT** Court of **MARQUETTE**

Violations bureau address & phone number

234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable Month **08** Day **23** Year **2021**

Officer's Name (printed) **ERIC PAUPORE** Officer's ID No. **001**

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE of

THE UNDERSIGNED SAYS THAT ON: Month 09 Day 20 Year 2021 At approximately 04:00 ☒ A.M. ☐ P.M. Date of Birth Month 11 Day 20 Year 60

State ☐ Oper/Chauff. ☐ CDL Driver License Number SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 300 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of ORD - CH 10, ART III - SEC 10.10
☒ Local Ordinance ☐ State Law ☐ Administrative Rules
UPON 300 S FIFTH ST

AT OR NEAR 300 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING
☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe F.I.C. - FAILURE TO BRING GARAGE
DAMAGE INTO GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No
THIS VIOLATION IS A CIVIL INFRACTION and is your 1st violation.
The fine for this violation is \$80.00 and must be paid at the violations bureau by 5:00 p.m. on 09/20/2021 unless you contact the violations bureau before this time
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

IMPORTANT: RETURN TOP 2 COPIES BEFORE SIGNING NOTICE
I personally served a copy of this notice upon the defendant.
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.
Complainant's Signature and receipt if applicable
Month 09 Day 20 Year 2021
Officer's Name (printed) ERIC PAUPRE Officer's ID No. 0001

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE of

THE UNDERSIGNED SAYS THAT ON: Month 09 Day 22 Year 2021 At approximately 12:00 ☐ A.M. ☒ P.M. Date of Birth Month 11 Day 20 Year 60

State ☐ Oper/Chauff. ☐ CDL Driver License Number SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 300 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of ORD - CH 10, ART III - SEC 10.10
☒ Local Ordinance ☐ State Law ☐ Administrative Rules
UPON 300 S FIFTH ST

AT OR NEAR 300 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING
☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe F.I.C. - FAILURE TO BRING GARAGE
INTO GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No
THIS VIOLATION IS A CIVIL INFRACTION and is your 3rd violation.
The fine for this violation is \$80.00 and must be paid at the violations bureau by 5:00 p.m. on 10/08/2021 unless you contact the violations bureau before this time.
Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer the citation
SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS

☐ Appearance Date on or before
☐ Hearing Date (if applicable) on ☐ Contact Court
A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.
Complainant's Signature and receipt if applicable
Month 09 Day 22 Year 2021
Officer's Name (printed) ERIC PAUPRE Officer's ID No. 0001

☐ Township ☒ City ☐ Village ☐ County

OF MARQUETTE

THE UNDERSIGNED SAYS THAT ON: Month 09 Day 07 Year 21 At approximately 2:00 ☒ A.M. ☐ P.M. Date of Birth Month 11 Day 30 Year 60

State ☐ Oper/Chauff. ☐ CDL Driver License Number SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § ORD-CH 10 ART III, SEC 10-40
☒ Local Ordinance ☐ State Law ☐ Administrative Rule
UPON SEC 302-7

AT OR NEAR 308 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

<input type="checkbox"/> Nuisance Ordinance	<input type="checkbox"/> Building Code
<input type="checkbox"/> Licenses Ordinance	<input type="checkbox"/> Plumbing Code
<input checked="" type="checkbox"/> Zoning Ordinance	<input type="checkbox"/> Electrical Code
<input type="checkbox"/> Sign, Lighting & Display Ordinance	<input type="checkbox"/> Mechanical Code
<input type="checkbox"/> Animal & Fowl Ordinance	<input type="checkbox"/> Other

Describe: IPAC- FAILURE TO BRING GARAGE INTO
GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your 4TH violation.

The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 09/21/21 unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

IMPORTANT: REMOVE TOP 2 COPIES BEFORE SIGNING NOTICE.

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Officer's Name (printed) ERIC PAULRE

Officer's ID No. 0901

☐ Township ☒ City ☐ Village ☐ County

OF MARQUETTE

THE UNDERSIGNED SAYS THAT ON: Month 09 Day 22 Year 2021 At approximately 12:00 ☐ A.M. ☒ P.M. Date of Birth Month 11 Day 30 Year 60

State ☐ Oper/Chauff. ☐ CDL Driver License Number SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § ORD-CH 10 ART III, SEC 10-40, 302-7
☒ Local Ordinance ☐ State Law ☐ Administrative Rule
UPON

AT OR NEAR 308 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

<input type="checkbox"/> Nuisance Ordinance	<input type="checkbox"/> Building Code
<input type="checkbox"/> Licenses Ordinance	<input type="checkbox"/> Plumbing Code
<input checked="" type="checkbox"/> Zoning Ordinance	<input type="checkbox"/> Electrical Code
<input type="checkbox"/> Sign, Lighting & Display Ordinance	<input type="checkbox"/> Mechanical Code
<input type="checkbox"/> Animal & Fowl Ordinance	<input type="checkbox"/> Other

Describe: IPAC-FAILURE TO BRING GARAGE INTO
GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your _____ violation.

The fine for this violation is \$ _____ and must be paid at the violations bureau by 5:00 p.m. on _____ unless you contact the violations bureau before this time.

Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before _____

☐ Hearing Date (if applicable) on _____ ☐ Contact Court

A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number

234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Officer's Name (printed) ERIC PAULRE

Officer's ID No. 0901

☐ JUV. **Civil Infraction Citation** 6240030 Complaint No. 6240030 Offense Code

The People of ☐ the State of Michigan
☐ Township ☒ City ☐ Village ☐ County
 Local Use/Arrest No.

OF **MARQUETTE**

THE UNDERSIGNED 10 Month 14 Day 2021 Year At approximately 12:00 ☐ A.M. ☒ P.M. Date 11 Month 30 Day 2021 Year
 SAYS THAT ON:

State ☐ Oper/Chauff. ☐ CDL Driver License Number _____ SSN (last 4 digits) _____

Race _____ Sex _____ Height _____ Weight _____ Hair _____ Eyes _____ Occupation/Employer _____

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. _____ Year _____ State _____ Vehicle Description (Year, Make, Color) _____ Veh. Type _____

THE PERSON NAMED ABOVE, in violation of § 200.40, ACT 11 - SEC 10.10, SEC 30
☒ Local Ordinance ☐ State Law ☐ Administrative Rule
 UPON 308 S FIFTH ST
 AT OR NEAR 308 S FIFTH ST
 WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE
 COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other _____

Describe: IPAC-FAILURE TO BRING GARAGE INTO
GOOD REPAIR

Person in Active Military Service ☐ Yes ☐ No
 THIS VIOLATION IS A CIVIL INFRACTION and is your 5TH violation.
 The fine for this violation is \$ _____ and must be paid at the violations bureau
 by 5:00 p.m. on 10/29/2021 unless you contact the violations bureau before this time.
 Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the
 fine specified above or failed to contact the violations bureau on the date and time specified above.
 Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before _____
☐ Hearing Date (if applicable) on _____ ☐ Contact Court
 A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last
 known address and filed a copy of this complaint with the court.
 I declare under the penalties of perjury that the statements above are true to the best
 of my information, knowledge, and belief.
 Complainant's Signature and receipt if applicable _____ Month _____ Date _____ Year _____

☐ JUV. **Notice of Violation** 0240030 Complaint No. 0240030 Offense Code

The People of ☒ the State of Michigan
☐ Township ☒ City ☐ Village ☐ County
 Local Use/Arrest No.

OF: **MARQUETTE**

THE UNDERSIGNED 09 Month 22 Day 2021 Year At approximately ☐ A.M. ☐ P.M. Date 11 Month 30 Day 2021 Year
 SAYS THAT ON:

State ☐ Oper/Chauff. ☐ CDL Driver License Number _____ SSN (last 4 digits) _____

Race _____ Sex _____ Height _____ Weight _____ Hair _____ Eyes _____ Occupation/Employer _____

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 308 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. _____ Year _____ State _____ Vehicle Description (Year, Make, Color) _____ Veh. Type _____

THE PERSON NAMED ABOVE, in violation of § 200.40, ACT 11 - SEC 10.10, SEC 30
☒ Local Ordinance ☐ State Law ☐ Administrative Rules
 UPON 308 S FIFTH ST
 AT OR NEAR 308 S FIFTH ST
 WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE
 COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other _____

Describe: IPAC-FAILURE TO BRING GARAGE INTO
GOOD REPAIR

Person in Active Military Service ☐ Yes ☐ No
 THIS VIOLATION IS A CIVIL INFRACTION and is your 5TH violation.
 The fine for this violation is \$ 500.00 and must be paid at the violations bureau
 by 5:00 p.m. on 10/29/2021 unless you contact the violations bureau before this time.
 SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations
 bureau on the date and time specified above, a civil infraction citation will be issued.
 You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility,
 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so
 by appearing in person or by mailing your fine along with this notice to the violations bureau.
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to
 admit responsibility with explanation or deny responsibility and have a hearing, you must contact
 the violations bureau on or before the date specified above. A citation will be issued and filed
 with the court where you have the right to an informal hearing before a magistrate or judge or to
 appear in court for a formal hearing before a judge.

Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

IMPORTANT: REMOVE TOP 2 COPIES BEFORE SIGNING NOTICE
 I personally served a copy of this notice upon the defendant.
 I declare under the penalties of perjury that the statements above are true to the best
 of my information, knowledge, and belief.
 Complainant's Signature and receipt if applicable _____ Month 09 Date 22 Year 2021

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE

THE UNDERSIGNED SAYS THAT ON: Month 10 Day 11 Year 2021 At approximately 09:00 A.M. Date of Birth 11 30 60 P.M.

State ☐ Oper/Chauff. Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 208 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § OLD-CH 10, MCL 207.10-207.17

☒ Local Ordinance ☐ State Law ☐ Administrative Rules

UPON 208 S FIFTH ST

AT OR NEAR 208 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☐ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe: IPMC - FAILURE TO BRNG GARAGE 7N10
GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your violation.

The fine for this violation is \$ 500 and must be paid at the violations bureau by 5:00 p.m. on unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

IMPORTANT: RETURN TO MY COMES BEFORE SIGNING NOTICE

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month 10 Day 11 Year 2021

Officer's Name (printed) ERIC PAULORE

Officer's ID No. 000 1

☐ Township ☒ City ☐ Village ☐ County

OF: MARQUETTE

THE UNDERSIGNED SAYS THAT ON: Month 11 Day 10 Year 2021 At approximately 12:00 A.M. Date of Birth 11 30 60 P.M.

State ☐ Oper/Chauff. Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last) CHARLES WILLIAM MORRISON

Street 208 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § OLD-CH 10, MCL 207.10-207.17

☒ Local Ordinance ☐ State Law ☐ Administrative Rules

UPON 208 S FIFTH ST

AT OR NEAR 208 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☐ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe: IPMC - FAILURE TO BRNG GARAGE 7N10
GOOD REPAIR

Person in Active Military Service ☐ Yes ☒ No

THIS VIOLATION IS A CIVIL INFRACTION and is your violation.

The fine for this violation is \$ 500 and must be paid at the violations bureau by 5:00 p.m. on 11/10/2021 unless you contact the violations bureau before this time.

Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before

☐ Hearing Date (if applicable) on ☐ Contact Court

A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number

234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month 11 Day 10 Year 2021

Officer's Name (printed) ERIC PAULORE

Officer's ID No. 000 1

☐ Township ☒ City ☐ Village ☐ County
OF MARQUETTE
THE UNDERSIGNED Month 10 Day 27 Year 21 At approximately 09:00 ☒ A.M. ☐ P.M. Date 11 Month 11 Day 30 Year 20
SAYS THAT ON:
State ☐ Oper/Chauf. ☐ Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)

CHARLES WILSON MORRISON

Street 300 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § ORD-CH 10, ACT III SEC 10-10

☒ Local Ordinance ☐ State Law ☐ Administrative Rules SEC 30.7

UPON

AT OR NEAR 300 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

- | | |
|---|--|
| <input type="checkbox"/> Nuisance Ordinance | <input type="checkbox"/> Building Code |
| <input type="checkbox"/> Licenses Ordinance | <input type="checkbox"/> Plumbing Code |
| <input checked="" type="checkbox"/> Zoning Ordinance | <input type="checkbox"/> Electrical Code <u>16</u> |
| <input type="checkbox"/> Sign, Lighting & Display Ordinance | <input type="checkbox"/> Mechanical Code |
| <input type="checkbox"/> Animal & Fowl Ordinance | <input type="checkbox"/> Other |

Describe:

FFRC - FAILURE TO BRING GARAGE INTO GOOD

REPAIR

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your FFRC violation.

The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 11/12/2021 unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility;

2) admit responsibility with explanation; or 3) deny responsibility.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau. **ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY:** If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number

CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-0475

IMPORTANT: REMOVE TOP 2 COPIES BEFORE SIGNING NOTICE

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month 10 Date 27 Year 2021

Officer's Name (printed) ERIC PARURE

Officer's ID No. 0001

☐ Township ☒ City ☐ Village ☐ County
OF MARQUETTE
THE UNDERSIGNED Month 12 Day 06 Year 2021 At approximately 09:00 ☐ A.M. ☐ P.M. Date 11 Month 11 Day 30 Year 20
SAYS THAT ON:
State ☐ Oper/Chauf. ☐ Driver License Number ☐ CDL SSN (last 4 digits)

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)

CHARLES WILSON MORRISON

Street 300 S FIFTH ST

City MARQUETTE State MI Zip Code 49855

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § ORD-CH 10, ACT III SEC 10-10

☒ Local Ordinance ☐ State Law ☐ Administrative Rule SEC 30.7

UPON

AT OR NEAR 300 S FIFTH ST

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF MARQUETTE

COUNTY OF MARQUETTE DID THE FOLLOWING

- | | |
|---|--|
| <input type="checkbox"/> Nuisance Ordinance | <input type="checkbox"/> Building Code |
| <input type="checkbox"/> Licenses Ordinance | <input type="checkbox"/> Plumbing Code |
| <input checked="" type="checkbox"/> Zoning Ordinance | <input type="checkbox"/> Electrical Code |
| <input type="checkbox"/> Sign, Lighting & Display Ordinance | <input type="checkbox"/> Mechanical Code |
| <input type="checkbox"/> Animal & Fowl Ordinance | <input type="checkbox"/> Other |

Describe:

FFRC - FAILURE TO BRING GARAGE INTO GOOD

REPAIR

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your FFRC violation.

The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 11/12/2021 unless you contact the violations bureau before this time.

Note: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before

☐ Hearing Date (if applicable) on ☐ Contact Court

A formal hearing may be requested by either party.

In the 96th DISTRICT Court of MARQUETTE

Violations bureau address & phone number

234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month 12 Date 06 Year 2021

Officer's Name (printed) ERIC PARURE

Officer's ID No. 0001

State of Michigan
Municipal Civil Infraction
Notice of Violation

Complaint No. **0240030**
 Local Use/Arrest No.

The People of ☒ the State of Michigan
☐ Township ☐ City ☐ Village ☐ County

OF **MARQUETTE**

THE UNDERSIGNED SAYS THAT ON **04** **15** **24** At approximately **8:30** **A.M.** Date Month Day Year
☐ P.M. of Birth 11 30 60

State ☐ Oper./Chauff. Driver License Number
☐ CDL

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)
CHARLES WILLIAM MORRISON

Street
308 S FIFTH ST

City **MARQUETTE** State **MI** Zip Code **49855**

E-mail Address Cellular Phone

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of **ORD CH 10, ART III, SEC 10-40**
☒ Local Ordinance ☐ State Law ☐ Administrative Rule **306.7**

UPON **308 S FIFTH ST**

AT OR NEAR **308 S FIFTH ST**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe **IPMC - FAILURE TO BRING GARAGE INTO GOOD REPAIR**

VIN

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **8TH** violation.

The fine for this violation is \$ **500.00** and must be paid at the violations bureau by 5:00 p.m. on **05/01/2024** unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation, or 3) deny responsibility.

If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

personally served a copy of this notice upon the defendant.
 declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month **04** Day **15** Year **2024**

Officer's Name (printed)
ERIC PAUPORE

Officer's ID No.
ORD 1

Agency ORI
MI-5255900

Agency Name
CITY OF MARQUETTE

VIOLETIONS BUREAU COPY

State of Michigan
Uniform Municipal
Civil Infraction Citation

Complaint No. **0240030**
 Local Use/Arrest No.

The People of ☐ the State of Michigan
☒ Township ☒ City ☐ Village ☐ County

OF **MARQUETTE**

THE UNDERSIGNED SAYS THAT ON **05** **06** **24** At approximately **08:00** **A.M.** Date Month Day Year
☐ P.M. of Birth 11 30 60

State ☐ Oper./Chauff. Driver License Number
☐ CDL

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)
CHARLES WILLIAM MORRISON

Street
308 S FIFTH ST

City **MARQUETTE** State **MI** Zip Code **49855**

E-mail Address Cellular Phone

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE in violation of \$ **ORD 10-40, IPMC 306.7**
☒ Local Ordinance ☐ State Law ☐ Administrative Rule

UPON **308 S FIFTH ST**

AT OR NEAR **308 S FIFTH ST**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe **IPMC - FAILURE TO BRING GARAGE INTO REPAIR**

VIN

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **8TH** violation.

The fine for this violation is \$ **500.00** and must be paid at the violations bureau by 5:00 p.m. on **05/01/2024** unless you contact the violations bureau before this time.

NOTE: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT: You are required to appear as follows to answer this citation.

SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.

☐ Appearance Date on or before
☐ Hearing Date (if applicable) on ☐ Contact Court

A formal hearing may be requested by either party.

In the **96th DISTRICT** Court of **MARQUETTE**

Court address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month **05** Day **06** Year **2024**

Officer's Name (printed)
ERIC PAUPORE

Officer's ID No.
ORD 1

Agency ORI
MI-5255900

Agency Name
CITY OF MARQUETTE

COURT COPY

AC.I. State of Michigan Uniform Municipal Civil Infraction Citation
Complaint No. 0240030
Local Use/Arrest No.
The People of the State of Michigan Township City Village County
OF MARQUETTE
THE UNDERSIGNED SAYS THAT ON Month Day Year At approximately A.M. Date of Birth Month Day Year
State Oper./Chauff. Driver License Number
Race Sex Height Weight Hair Eyes Occupation/Employer
Name (First Middle Last) CHARLES WILLIAM MORRISON
Street 308 S 5TH ST
City MARQUETTE State MI Zip Code 49855
E-mail Address Cellular Phone
Vehicle Plate No. Year State Vehicle Description Year Make Color Veh Type
THE PERSON NAMED ABOVE in violation of § ORD 10-40, IPAC 302.7
Local Ordinance State Law Administrative Rule
UPON AT OR NEAR 308 S 5TH ST
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE
COUNTY OF MARQUETTE DID THE FOLLOWING
Nuisance Ordinance Building Code
Licenses Ordinance Plumbing Code
Zoning Ordinance Electrical Code
Sign, Lighting & Display Ordinance Mechanical Code
Animal & Fowl Ordinance Other
Describe IPMC - FAILURE TO BRING GARAGE INTO GOOD REPAIR
VIN
Person in Active Military Service Yes No
THIS VIOLATION IS A CIVIL INFRACTION and is your 9TH violation
The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 06/06/24 unless you contact the violations bureau before this time
NOTE This is a copy of the Notice of Violation served on the defendant.
I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.
TO THE DEFENDANT: You are required to appear as follows to answer this citation
SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS
Appearance Date on or before
Hearing Date (if applicable) on Contact Court
A formal hearing may be requested by either party.
In the 96th DISTRICT Court of MARQUETTE
Court address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235
I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and a copy of this complaint with the court.
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.
Complainant's Signature and receipt if applicable
Officer's Name (printed) ERIC PAURE
Agency ORI MI-5255900 Agency Name CITY OF MARQUETTE
UC-03 (rev. 3/21)

COURT COPY

AC.I. State of Michigan Municipal Civil Infraction Notice of Violation
Ticket No. 10052
Complaint No. 0240036
Local Use/Arrest No.
The People of the State of Michigan Township City Village County
OF MARQUETTE
THE UNDERSIGNED SAYS THAT ON Month Day Year At approximately A.M. Date of Birth Month Day Year
State Oper./Chauff. Driver License Number
Race Sex Height Weight Hair Eyes Occupation/Employer
Name (First Middle Last) CHARLES WILLIAM MORRISON
Street 308 S FIFTH ST
City MARQUETTE State MI Zip Code 49855
E-mail Address Cellular Phone
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh Type
THE PERSON NAMED ABOVE, in violation of § ORD 10-40, IPAC 302.7
Local Ordinance State Law Administrative Rule
UPON AT OR NEAR 308 S FIFTH ST
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE
COUNTY OF MARQUETTE DID THE FOLLOWING
Nuisance Ordinance Building Code
Licenses Ordinance Plumbing Code
Zoning Ordinance Electrical Code
Sign, Lighting & Display Ordinance Mechanical Code
Animal & Fowl Ordinance Other
Describe IPMC - FAILURE TO BRING GARAGE INTO REPAIR
VIN
Person in Active Military Service Yes No
THIS VIOLATION IS A CIVIL INFRACTION and is your 9TH violation
The fine for this violation is \$ 500.00 and must be paid at the violations bureau by 5:00 p.m. on 05/16/24 unless you contact the violations bureau before this time.
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.
WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility, 2) admit responsibility with explanation; or 3) deny responsibility.
If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.
Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475
I personally served a copy of this notice upon the defendant.
I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.
Complainant's Signature and receipt if applicable
Officer's Name (printed) ERIC PAURE
Agency ORI MI-5255900 Agency Name CITY OF MARQUETTE
UC-02, Rev. 3/21

VIOLATIONS BUREAU COPY

CIC 10049

Dept No _____

Complaint No. **0240030**

Offense Code _____

Local Use/Arrest No. _____

The People of ☐ the State of Michigan
☐ Township ☒ City ☐ Village ☐ County

OF **MARQUETTE**

THE UNDERSIGNED Month Day Year At approximately ☐ A.M. ☒ P.M. Date Month Day Year
 SAYS THAT ON **06 05 24 12:00** of Birth **11 30 '60**

State ☐ Oper./Chauff. Driver License Number
☐ CDL

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)
CHARLES WILLIAM MORRISON

Street
306 S FIFTH ST

City **MARQUETTE** State **MI** Zip Code **49805**

E-mail Address _____ Cellular Phone _____

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. Type

THE PERSON NAMED ABOVE, in violation of § **ORD 10-40, IPMC - 802.7**
☒ Local Ordinance ☐ State Law ☐ Administrative Rule
 UPON

AT OR NEAR **306 S FIFTH**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe **IPMC - FAILURE TO BRING GARAGE INTO REPAIR**

VIN _____

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **10TH** violation.

The fine for this violation is \$ **500** and must be paid at the violations bureau by 5:00 p.m. on **06/12/24** unless you contact the violations bureau before this time.

NOTE: This is a copy of the Notice of Violation served on the defendant.

I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issued.

TO THE DEFENDANT, You are required to appear as follows to answer this citation
 SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS

☐ Appearance Date on or before _____
☐ Hearing Date (if applicable) on _____ ☐ Contact Court

A formal hearing may be requested by either party.

In the **96th DISTRICT** Court of **MARQUETTE**

Court address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235

I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month Day Year
06 05 24

Officer's Name (printed)
ERIC PAPORE

Officer's ID No.
ORD 1

Agency ORI
MI-5255900

Agency Name
CITY OF MARQUETTE

UC-03 (rev. 3/21)

COURT COPY

CIC 10049

Dept No _____

Complaint No. **0240030**

Offense Code _____

Local Use/Arrest No. _____

The People of ☐ the State of Michigan
☐ Township ☒ City ☐ Village ☐ County

OF **MARQUETTE**

THE UNDERSIGNED Month Day Year At approximately ☐ A.M. ☒ P.M. Date Month Day Year
 SAYS THAT ON **05 15 24 09:00** of Birth **11 30**

State ☐ Oper./Chauff. Driver License Number
☐ CDL

Race Sex Height Weight Hair Eyes Occupation/Employer

Name (First, Middle, Last)
CHARLES WILLIAM MORRISON

Street
306 S FIFTH ST

City **MARQUETTE** State **MI** Zip Code **49805**

E-mail Address _____ Cellular Phone _____

Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh

THE PERSON NAMED ABOVE, in violation of § **ORD 10-40, IPMC - 802.7**
☒ Local Ordinance ☐ State Law ☐ Administrative Rule
 UPON

AT OR NEAR **306 S 5TH**

WITHIN ☒ CITY ☐ VILLAGE ☐ TOWNSHIP OF **MARQUETTE**

COUNTY OF **MARQUETTE** DID THE FOLLOWING

☐ Nuisance Ordinance ☐ Building Code
☐ Licenses Ordinance ☐ Plumbing Code
☒ Zoning Ordinance ☐ Electrical Code
☐ Sign, Lighting & Display Ordinance ☐ Mechanical Code
☐ Animal & Fowl Ordinance ☐ Other

Describe **IPMC - FAILURE TO BRING GARAGE INTO REPAIR**

VIN _____

Person in Active Military Service ☐ Yes ☐ No

THIS VIOLATION IS A CIVIL INFRACTION and is your **10TH** violation.

The fine for this violation is \$ **500** and must be paid at the violations bureau by 5:00 p.m. on **05/12/24** unless you contact the violations bureau before this time.

SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.

WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either 1) admit responsibility, 2) admit responsibility with explanation, or 3) deny responsibility.

If you are not able to pay due to financial hardship, contact the court immediately to request a payment alternative.

ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.

ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge.

Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475

I personally served a copy of this notice upon the defendant.

I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.

Complainant's Signature and receipt if applicable

Month Day Year
05 15 24

Officer's Name (printed)
ERIC PAPORE

Officer's ID No.
ORD 1

Agency ORI
MI-5255900

Agency Name
CITY OF MARQUETTE

UC-02, Rev. 3/21

VIOLATIONS BUREAU COPY

CIC 10053 State of Michigan
Municipal Civil Infraction Citation
Complaint No. 0240030
Local Use/Arrest No.
The People of the State of Michigan
Township City Village County
OF MARQUETTE
THE UNDERSIGNED
SAYS THAT ON: 06 26 24 At approximately 9:00 AM Date Month Day Year
State Oper/Chauff Driver License Number
Race Sex Height Weight Hair Eyes Occupation/Employer
Name (First, Middle, Last)
CHARLES WILLIAM MORRISON
Street
308 S 5TH ST
City MARQUETTE State MI Zip Code 49855
E-mail Address Cellular Phone
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh Type
THE PERSON NAMED ABOVE, in violation of \$ ORD 10-40, IPMC 302.7
Local Ordinance State Law Administrative Rule
UPON 308 S 5TH
AT OR NEAR
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE
COUNTY OF MARQUETTE DID THE FOLLOWING
Nuisance Ordinance Building Code
Licenses Ordinance Plumbing Code
Zoning Ordinance Electrical Code
Sign, Lighting & Display Ordinance Mechanical Code
Animal & Fowl Ordinance Other
Describe IPMC - FAILURE TO BRING GARAGE INTO REPAIR
VIN
Person in Active Military Service Yes No
THIS VIOLATION IS A CIVIL INFRACTION and is your 11th violation.
The fine for this violation is \$ 500 and must be paid at the violations bureau
by 5:00 p.m. on 06/10/2024 unless you contact the violations bureau before this time.
NOTE This is a copy of the Notice of Violation served on the defendant.
I state that the above notice of violation was served on the defendant. The defendant failed
to pay the fine specified above or failed to contact the violations bureau on the date and time
specified above. Therefore, this civil infraction citation is being issued.
TO THE DEFENDANT: You are required to appear as follows to answer this citation
SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS
Appearance Date on or before
Hearing Date (if applicable) on Contact Court
A formal hearing may be requested by either party.
In the 96th DISTRICT Court of MARQUETTE
Court address & phone number
234 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235
I served a copy of this complaint upon the defendant by first class mail at the defendant's last
known address and filed a copy of this complaint with the court.
I declare under the penalties of perjury that the statements above are true to the best
of my information, knowledge, and belief.
Complainant's Signature and receipt if applicable Month Day Year
06 26 2024
Officer's Name (printed) ERIC PAULRE
Officer's ID No. ORD 1
Agency ORI MI-5255900 Agency Name CITY OF MARQUETTE
UC-03 (rev 3/21)

COURT COPY

CIC 10053 State of Michigan
Municipal Civil Infraction
Notice of Violation
Complaint No. 0240030
Local Use/Arrest No.
The People of the State of Michigan
Township City Village County
OF MARQUETTE
THE UNDERSIGNED
SAYS THAT ON: 06 26 24 At approximately 9:00 AM Date Month Day Year
State Oper/Chauff Driver License Number
Race Sex Height Weight Hair Eyes Occupation/Employer
Name (First, Middle, Last)
CHARLES WILLIAM MORRISON
Street
308 S 5TH ST
City MARQUETTE State MI Zip Code 49855
E-mail Address Cellular Phone
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh Type
THE PERSON NAMED ABOVE, in violation of \$ ORD 10-40, IPMC 302.7
Local Ordinance State Law Administrative Rule
UPON 308 S 5TH
AT OR NEAR
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE
COUNTY OF MARQUETTE DID THE FOLLOWING
Nuisance Ordinance Building Code
Licenses Ordinance Plumbing Code
Zoning Ordinance Electrical Code
Sign, Lighting & Display Ordinance Mechanical Code
Animal & Fowl Ordinance Other
Describe IPMC - FAILURE TO BRING GARAGE INTO REPAIR
VIN
Person in Active Military Service Yes No
THIS VIOLATION IS A CIVIL INFRACTION and is your 11th violation.
The fine for this violation is \$ 500 and must be paid at the violations bureau
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or judge or to appear in court for a formal hearing before a judge.
Violations bureau address & phone number
CITY OF MARQUETTE, MICHIGAN
300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 228-0475
I personally served a copy of this notice upon the defendant.
I declare under the penalties of perjury that the statements above are true to the best of
my information, knowledge, and belief.
Complainant's Signature and receipt if applicable Month Day Year
06 26 2024
Officer's Name (printed) ERIC PAULRE
Officer's ID No. ORD 1
Agency ORI MI-5255900 Agency Name CITY OF MARQUETTE
UC-02, Rev. 3/21

VIOLATIONS BUREAU COPY

Enforcement Notes

EN20-0327

07/23/2020 - Called PO. No answer. Vmail left notifying of failed reinspection and return call request. EP.

charlie morrison <cwmorrison1@gmail.com>

Mon 11/23/2020 7:31 AM

Eric Paupore-

RE: EN20-0327 for 308 S Fifth st
(PIN 0240030)

Due to the recent Covid-19 restrictions from Michigan Governor Whitmer, it appears most everyone is home until December 8th, due to the amount of work involved, I would request an extension to complete my work until July 23rd 2021.

Cordially

Charles Morrison
cwmorrison1@gmail.com
Sent from my iPhone

11/24/2020 - Per Request of Property Owner, Extension given until 07/23/2021

05/24/2021 – Opened EN21-0144 per complaint. Notes in BS&A:
Originally came in as complaint. Complainant wanted to remain anonymous. Called the next day and recanted complaint. This complaint not actively enforced at this time. Multiple other ongoing violations with this property

08/06/2021 - Failed to meet deadline. 2nd VN issued with same letter on 07/26. Updated reinspection date on letter to 08-20. EP

08/20/2021 - Failed to meet deadline. 3rd VN issued with same letter on 07/26. Updated reinspection date on letter to 09-06. EP

09/21/2021 - attempted to call Mr. Morrison. No Answer. No voicemail setup. 906-361-2787 (found in old vio) EP

08/20/2021 - 308S 5th/529 N 4th - Violations

Eric Paupore

Fri 8/20/2021 12:52 PM

Mr. Morrison,

Today was the third bi-weekly reinspection for your properties located at 308 S Fifth St and 529 N Fourth St. Bi-weekly reinspection's resumed on July 23 per your requested extension back on 11/23/2020.

Today's failed reinspection will result in \$500 tickets for each property's respective violations. Municipal Civil Infraction Notice of Violation #'s 8859 and 8860 have been deposited in today's outgoing mail. From today's date forward, failure to contact our office for violation resolution, failed reinspection's, or work/demolition without securing a Zoning Compliance Permit will result in \$500 tickets for each offense on the preset bi-weekly schedule.

Additionally, It appears as if 529 N Fourth has undergone partial demolition of the area under code violation. This work requires a Zoning Compliance Permit for demolition and the need for such was relayed in each failed reinspection letter addressed to you since 07/26/2021.

Please contact our office to discuss your plans for compliance on each of these open code violations.

Eric Paupore

City of Marquette

Community Development

Planning/Zoning Technician

906-225-4021

11/18/2021 - Per District Court - first 3 CIC's unresolved and notice of show cause has been issued. Remaining still unpaid but not show caused yet. Enforcement paused pending court action. Reinspection set for post-show cause on 12/15 EP

Tracy LaJoie <tlajoie@mqtco.org>

Fri 12/17/2021 9:59 AM

So there was only one hearing on 12/15/21. It was for 5222.

5222 = He didn't show up so I issued a bench warrant that is on Judge's desk for signature.

5427 = \$648 balance owed. Next step will be a show cause hearing most likely in January

5428 = \$648 balance owed. Next step will be a show cause hearing most likely in January

5218 = \$96 balance owed. This just got closed because there are not enough jail eligible fines to bench warrant him.

Pam has transferred offices so please let me know if you need anything further.

Tracy LaJoie
Clerk of the Court
tlajoie@mqtco.org
(906) 225-8242
>>> Pamela Waterman 12/16/2021 4:32 PM >>>

Pamela Waterman
Case Specialist
Friend of the Court
234 W Baraga Ave
Marquette, MI 49855
(906) 225-8270
(906) 225-8274 FAX

>>> Eric Paupore <erpaupore@marquettemi.gov> 12/16/2021 3:40 PM >>>
Hi Pamela,

I believe there was a hearing this week for a few of the CIC's issued to Charles Morrison. I believe the associated tickets are CIC#'s 5218, 5222, 5427, and 5428. Could you please let me know what the outcome was?

Eric Paupore
City of Marquette
Community Development
Planning/Zoning Technician
906-225-4021

Kaitlin Halvorson <KHalvorson@mqtco.org>

Eric Paupore

Good morning, Eric,

5218 - The case was closed due to not enough jail eligible fines to bench warrant.

5222 - Bench Warrant was issued for \$156

5427 - Bench Warrant was issued for \$648

5428 - Bench Warrant was issued for \$648

5438 - Bench Warrant was issued for \$648

5445 - Bench Warrant was issued for \$648

I was unable to find a citation with a matching CIC for 5433. I did find three others for Mr. Morrison that have bench warrants. They are:

8871 - Bench Warrant was issued for \$648

5429 - Bench Warrant was issued for \$612

5221 - Bench Warrant was issued for \$120

Thank you

Kaitlin Halvorson
District Court Clerk
khalvorson@mqtco.org
906-225-8235

>>> Eric Paupore <erpaupore@marquettemi.gov> 12/5/2022 8:54 AM >>>

Good morning, Kaitlin,

I'm doing some case follow-up and was wondering if you could let me know what the status/resolution was on your end for tickets that I had issued for Charles Morrison of 308 S Fifth St in the City of Marquette. Many tickets were issued with non-payment resulting in them being forwarded to the courts and my last notes showed that there was a large outstanding balance and a bench warrant issued.

The CIC 3's are: 5218, 5222, 5427, 5428, 5433, 5438, 5445.

These were all issued in 2021.

Eric Paupore
City of Marquette
Community Development
Planning/Zoning Technician
906-225-4021

04/02/2024 - Met with Charlie at his home at 529 N Fourth St with FD regarding required inspection and pending tenant eviction + outstanding code violations at this residence. Informed him of outstanding violation at 308 S Fifth and outstanding bench warrants. Told him to expect copies of all notices. Notices sent by certified mail to 308 S Fifth St, 529 N Fifth St, and emailed copies to cwmorrison1@gmail.com. Joe Baker - 906-250-0040

**District Court Actions
(Non-payments, Bench Warrants, Resolutions)**

MARQUETTE

DEFENDANT HISTORY

DATE: 11/25/24

PAGE: 1

NAME: MORRISON/CHARLES

CASE#	OFFENSE		CNT	----DISPOSITION----			FINES	JAIL	PROB
	DATE	CHARGE		DATE	DESCRIPTION				
M081506ON	80408	PROPERTY	1	100108	DEFAULT JGMT	96.00			
M091285ON	72209	NOXIOUS WEED	1	90809	DEFAULT JGMT	108.00		C	
M091286ON	72209	NOXIOUS WEED	1	90809	DEFAULT JGMT	108.00		C	
M091984ON	101309	PROPERTY	1	120809	DEFAULT JGMT	636.00		C	
M091985ON	101309	PROPERTY	1	120809	DEFAULT JGMT	96.00		C	
M100060ON	120809	PROPERTY	1	12710	DEFAULT JGMT	80.00		C	
M010596CM	41801	BLDG CODE VL	1	52301	DEFAULT JGMT	120.00		C	
M051851ON	112905	PROH ACCUMUL	1	13006	FOUND RESP.	150.00		C	
M060340ON	51104	ZONING CODE	1	31706	DEFAULT JGMT	156.00		C	
M060341ON	120305	PROH ACCUMUL	1	31706	DEFAULT JGMT	96.00		C	
M060342ON	120305	PROH ACCUMUL	1	31706	DEFAULT JGMT	96.00		C	
M060658ON	22206	PROH ACCUMUL	1	52206	DEFAULT JGMT	96.00		C	
M060659ON	21706	INOP MTR VEH	1	52206	DEFAULT JGMT	96.00		C	
M060660ON	11606	HOUSEHOLD	1	52206	DEFAULT JGMT	156.00		C	
M060661ON	11606	PROH ACCUMUL	1	52206	DEFAULT JGMT	156.00		C	
M060849ON	30706	PROH ACCUMUL	1	61506	DEFAULT JGMT	96.00		C	
M081697ON	91508	PROPERTY	1	102708	DEFAULT JGMT	176.60		C	
M155002ON	93015	EXTERIOR STR	1	111215	DEFAULT JGMT	60.00		C	
M155003ON	93015	NUISANCE	1	111215	DEFAULT JGMT	96.00		C	
M155926ON	112515	PROPERTY	1	10416	DEFAULT JGMT	156.00		C	
M163562ON	63016	PROPERTY	1	80816	DEFAULT JGMT	276.00		C	
M164730ON	90616	PROPERTY	1	101716	DEFAULT JGMT	636.00		C	
M165733ON	111016	PROPERTY	1	122116	DEFAULT JGMT	96.00		C	
M165914ON	112816	PROPERTY	1	11717	DEFAULT JGMT	636.00		C	
170689ON	11217	PROH ACCUMUL	1	22117	DEFAULT JGMT	80.00		C	
172165ON	41917	EXTERIOR STR	1	82018	DISMISSED			C	
234776ON	100923	RENTAL CODE	1	112023	DEFAULT JGMT	228.00		C	
240226ON	112823	RENTAL CODE	1	20524	DEFAULT JGMT	348.00		C	
241054ON	20624	RENTAL CODE	1	40124	DEFAULT JGMT	1248.00		C	
M060911ON	22006	PROPERTY	1	61906	DEFAULT JGMT	96.00		C	
19558605	110195	NO PROOF INS	1	120895	DISMISSED			C	
19766460A	113097	STOP SIGN	1	10798	DEFAULT JGMT	80.00		C	
19766460B	113097	FL DSPLY LIC	1	121097	DSP GLTY PL			C	
207074397	31907	NO REG TRLR	1	32607	JDGMNT RNDRD			C	
212654ON	82521	PROPERTY	1	91421	DEFAULT JGMT	96.00		C	
212655ON	82321	PROPERTY	1	91421	DEFAULT JGMT	156.00		C	
212657ON	82521	EXTERIOR STR	1	91521	DEFAULT JGMT	120.00		C	
212962ON	92221	PROPERTY	1	101321	DEFAULT JGMT	648.00		C	
212963ON	92221	EXTERIOR STR	1	101321	DEFAULT JGMT	612.00		C	
212964ON	92221	PROPERTY	1	101321	DEFAULT JGMT	648.00		W	
213212ON	92221	PROPERTY	1	110321	DEFAULT JGMT	648.00		C	
213536ON	111021	PROPERTY	1	120821	DEFAULT JGMT	648.00		C	
213693ON	120621	PROPERTY	1	10322	DEFAULT JGMT	648.00		C	
233596ON	81123	INOP MTR VEH	1	90523	DEFAULT JGMT	108.00		C	
241055ON	31124	RENTAL CODE	1	40124	DEFAULT JGMT	1248.00		C	
241056ON	31124	RENTAL CODE	1	40124	DEFAULT JGMT	648.00		C	
241741ON	50624	PROPERTY	1	52224	DEFAULT JGMT	648.00		C	
241904ON	52124	PROPERTY	1	61024	DEFAULT JGMT	648.00		C	
242163ON	60524	PROPERTY	1	62424	DEFAULT JGMT	876.00		C	
242164ON	60524	PROH ACCUMUL	1	62424	DEFAULT JGMT	108.00		C	
242352ON	62624	PROH ACCUMUL	1	71524	DEFAULT JGMT	168.00		C	
242353ON	62624	PROPERTY	1	71524	DEFAULT JGMT	648.00		C	

MARQUETTE
DATE: 11/25/24
NAME: MORRISON/CHARLES

DEFENDANT HISTORY

PAGE: 2

CASE#	OFFENSE		-----DISPOSITION-----				FINES	JAIL	PROB
	DATE	CHARGE	CNT	DATE	DESCRIPTION				
243274ON	82724	INOP MTR VEH	1	91624	DEFAULT JGMT	108.00			D
243449ON	91124	INOP MTR VEH	1	100124	DEFAULT JGMT	140.00			D
243607ON	92024	INOP/UNLIC	1	101624	DEFAULT JGMT	540.00			D
243819ON	102124	INOP MTR VEH	1	111224	DEFAULT JGMT	90.00			D
243951ON	110524	INOP MTR VEH	1	112524	DEFAULT JGMT	540.00			D
244134ON	111924	INOP MTR VEH	1			510.00			N
20434948	10704	SPEEDING 5	1	21104	DEFAULT JGMT	105.00			C

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 2129620N D01 ON
X-REFERENCE #: 5427
STATUS: CLSD 11/01/24

JUDGE OF RECORD:

JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:

TCN:

SID:

ENTRY DATE: 09/23/21

OFFENSE DATE: 09/22/21 1200 PM

ARREST DATE:

VPN:

CDL:

PAPER PLATE:

DOB: ##### SEX: M RACE: W DLN: #####
VEH YR: VEH MAKE: VIN:

OFFICER: PAUPORE, ERIC

PROSECUTOR:

VICTIM/DESC: FAIL TO REPAIR GARAGE DAMAGE

DEPT: CITY OF MARQUETTE

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8

PROPERTY MAINTENANCE CODE

ORD#301.8

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 10/13/21

SENTENCING DATE: 10/13/21

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
09/22/21		
01	ORIGINAL CHARGE	
09/23/21	PROPERTY	JAS
	FILING DATE	
01	DUE DATE	JAS
09/24/21		JAS
	MISCELLANEOUS ACTION	
	SUPPLEMENTAL SENTENCING	FM
	3RD VIOLATION	FM
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	FM
	ORDINANCE FINE & COSTS	FM
10/13/21		
01	DEFAULT JUDGMENT GENERATED	
	PROPERTY	
	PENALTY ADDED-ORDINANCE	
11/10/21	PROPERTY	\$30.00
01	14 DAY NOTICE GENERATED	
12/08/21		
01	20% LATE PENALTY	\$108.00

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
12/20/21		
01	MISCELLANEOUS ACTION PROPERTY	JAS
	SCHEDULED FOR SHOWCAUSE HEARING	JAS
	011222 1000A KANGAS, ROGER W.,	JAS
	ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG	JAS
	PROPERTY	JAS
	YOU ARE ORDERED TO SHOW CAUSE WHY YOU	JAS
	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF	JAS
	COURT	JAS
	DEFENDANT HAS FAILED TO:	JAS
	DEFENDANT FAILED TO PAY/CSW FINES AND COSTS	JAS
	DUE OF \$648. PAYMENT MUST	JAS
	BE MADE BY CASH, MONEY ORDER, CREDIT/DEBIT	JAS
	CARD. PAYMENT CAN BE MADE	JAS
	ONLINE AT E.COURTS.MICHIGAN.GOV	JAS
01/13/22		
01	BENCH WARRANT ISSUED PROPERTY	JAS
	CONTEMPT/FAIL TO APPEAR	JAS
	DEFENDANT FAILED TO APPEAR 1/12/22 FOR SHOW	JAS
	CAUSE OR PAY/CSW. BALANCE DUE IS	JAS
	\$648 **3018** CONTEMPT OF COURT. MARQUETTE	JAS
	COUNTY PICK UP	JAS
	BW TO JUDGE FOR SIGNATURE	JAS
01/31/22		
	BW TO MCSD	JAS
02/14/22		
01	14 DAY NOTICE GENERATED PROPERTY	
10/31/24		
01	MONETARY TRANSACTION PROPERTY	JLV
	PAYMENT	JLV
	CASH TENDERED	JLV
		\$648.00 D189267
11/01/24		
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	BENCH WARRANT RETURNED	JLV
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	CASE CLOSED	JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 212655ON D01 ON
X-REFERENCE #: 5222
STATUS: CLSD 11/01/24

JUDGE OF RECORD:

JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:

TCN:

SID:

ENTRY DATE: 08/26/21

OFFENSE DATE: 08/23/21 1000 AM

ARREST DATE:

VPN:

CDL:

PAPER PLATE:

DOB: ##### SEX: RACE:

VEH YR: VEH MAKE:

VEHICLE TYPE:

DLN: #####

VIN:

OFFICER: PAUPORE, ERIC

PROSECUTOR:

VICTIM/DESC: GARAGE NEEDS REPAIR-2ND

DEPT: CITY OF MARQUETTE

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8

PROPERTY MAINTENANCE CODE

ORD#301.8

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 09/14/21

SENTENCING DATE: 09/14/21

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
90.00	56.00	10.00	0.00	0.00	0.00	156.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
08/23/21		
01	ORIGINAL CHARGE	JAS
08/26/21		
	FILING DATE	JAS
01	DUE DATE	JAS
	MISCELLANEOUS ACTION	JLH
	SUPPLEMENTAL SENTENCING	JLH
	ASSESSING FINES	JLH
	2ND OFFENSE	JLH
	ORDINANCE FINE & COSTS	JLH
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	JLH
09/14/21		
01	DEFAULT JUDGMENT GENERATED	
	PENALTY ADDED-ORDINANCE	
10/12/21		
01	14 DAY NOTICE GENERATED	
11/09/21		
01	20% LATE PENALTY	

PAGE 2

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:51

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 213693ON D01 ON
X-REFERENCE #: 1215445
STATUS: CLSD 11/01/24

JUDGE OF RECORD:

JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH STREET
MARQUETTE MI 49855

CTN:

TCN:

SID:

ENTRY DATE: 12/09/21

OFFENSE DATE: 12/06/21 900 AM

ARREST DATE:

VPN:

VEHICLE TYPE:

DLN: #####

CDL:

VIN:

PAPER PLATE:

DOB: ##### SEX: M RACE: W

VEH YR: VEH MAKE:

OFFICER: PAUPORE, ERIC

PROSECUTOR:

VICTIM/DESC: FAIL TO REPAIR GARAGE

DEPT: CITY OF MARQUETTE

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8

ORD#301.8

PROPERTY MAINTENANCE CODE

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 01/03/22

SENTENCING DATE: 01/03/22

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

12/06/21

01 ORIGINAL CHARGE

PROPERTY

PMM

12/09/21

FILING DATE

120921

PMM

01 DUE DATE

122921

PMM

FILE TO MAG FOR REVIEW.

PMM

12/13/21

MISCELLANEOUS ACTION

ALL COUNTS

FM

SUPPLEMENTAL SENTENCING

\$510.00

FM

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

FM

ORDINANCE FINE & COSTS

\$500.00

FM

01/03/22

01 DEFAULT JUDGMENT GENERATED

PROPERTY

PENALTY ADDED-ORDINANCE

PROPERTY

\$30.00

01/31/22

01 14 DAY NOTICE GENERATED

PROPERTY

02/28/22

01 20% LATE PENALTY

PROPERTY

\$108.00

PAGE 2

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 240226ON D01 ON X-REFERENCE #: 5597 STATUS: CLSD 11/01/24
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JUDGE OF RECORD:

JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/W
308 S FIFTH ST
MARQUETTE

MI 49855

CTN:

TCN:

SID:

ENTRY DATE: 01/18/24

OFFENSE DATE: 11/28/23

ARREST DATE:

VPN:

VEHICLE TYPE:

DLN: #####

CDL:

DOB: #####

SEX:

RACE:

VEH YR:

VEH MAKE:

VIN:

PAPER PLATE:

OFFICER: GARDNER/BEN

PROSECUTOR:

DEPT: CITY OF MARQUETTE

VICTIM/DESC: FAIL TO CMPLT CMPLNC INSP FIR

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 42.04

ORD#42.04

RENTAL CODE VIO-CITY OF MARQUETTE

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 02/05/24

SENTENCING DATE: 02/05/24

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
250.00	88.00	10.00	0.00	0.00	0.00	348.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
11/28/23		
01	ORIGINAL CHARGE	
01/18/24	RENTAL CODE	TMG
	FILING DATE	
01	DUE DATE	TMG
	FILE TO MAG TO ASSIGN F&C.	TMG
	MISCELLANEOUS ACTION	JLH
	SUPPLEMENTAL SENTENCING	JLH
	FAILURE TO COMPLETE COMPLIANCE INSPECTION	JLH
	2ND VIOLATION	JLH
	ORDINANCE FINE & COSTS	JLH
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	JLH
02/05/24		
01	DEFAULT JUDGMENT GENERATED	
	RENTAL CODE	
	PENALTY ADDED-ORDINANCE	
03/04/24	RENTAL CODE	\$30.00
01	14 DAY NOTICE GENERATED	
04/01/24		
01	20% LATE PENALTY	\$58.00

NAME: MORRISON/CHARLES/W

CASE NO: 2402260N

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES			INITIALS
04/12/24				
01	MISCELLANEOUS ACTION	RENTAL CODE		TMG
	SCHEDULED FOR SHOWCAUSE HEARING			TMG
	051524 1000A KANGAS, ROGER W.,	P-40816		TMG
	ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG			TMG
	RENTAL CODE			TMG
	YOU ARE ORDERED TO SHOW CAUSE WHY YOU			TMG
	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF			TMG
	COURT			TMG
	DEFENDANT HAS FAILED TO:			TMG
	DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO			TMG
	PAY/CSW IN THE AMOUNT OF			TMG
	\$348 **42.04**. PAYMENT MUST BE BY CASH,			TMG
	MONEY ORDER OR CREDIT/			TMG
	DEBIT CARD. PAYMENT CAN BE MADE ONLINE @ E.			TMG
	COURTS.MICHIGAN.GOV IF YOUR			TMG
	DRIVER LICENSE IS SUSPENDED, IT WILL REMAIN			TMG
	SO UNTIL PAID IN FULL.			TMG
05/03/24				
	REMOVED FROM DOCKET	051524-1000A KANGAS, ROGER W.,	P-40816	TLM
	SCHEDULED FOR SHOWCAUSE HEARING			TLM
	052924-1000A KANGAS, ROGER W.,	P-40816		TLM
01	NOTICE TO APPEAR GENERATED			TLM
	RENTAL CODE			TLM
05/30/24				
01	BENCH WARRANT ISSUED	RENTAL CODE		KMH
	CONTEMPT/FAIL TO APPEAR			KMH
	DEFENDANT FAILED TO APPEAR FOR 5/29/24 SHOW			KMH
	CAUSE HEARING OR PAY/CSW. BALANCE			KMH
	DUE IS \$348 **42.04** CONTEMPT OF COURT.			KMH
	MARQUETTE COUNTY PICK UP.			KMH
	\$348 CASH BOND			KMH
	BW TO JUDGE FOR SIGNATURE			KMH
06/03/24				
01	BW TO MCSO 6/4/24			TMG
07/01/24				
01	14 DAY NOTICE GENERATED	RENTAL CODE		
10/31/24				
01	MONETARY TRANSACTION	RENTAL CODE		JLV
	PAYMENT		\$348.00 D189265	JLV
	CASH TENDERED			JLV
11/01/24				
	MISCELLANEOUS ACTION	ALL COUNTS		JLV
	BENCH WARRANT RETURNED			JLV
	MISCELLANEOUS ACTION	ALL COUNTS		JLV
	CASE CLOSED			JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:42

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 241054ON D01 ON X-REFERENCE #: 5599 STATUS: CLSD 11/01/24
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CITY OF MARQUETTE v MORRISON/CHARLES/W 308 S FIFTH ST MARQUETTE MI 49855	<div style="text-align: right;">JUDGE OF RECORD:</div> <div style="text-align: right;">JUDGE:</div> <div style="text-align: right; margin-top: 20px;"> CTN: TCN: SID: ENTRY DATE: 03/15/24 OFFENSE DATE: 02/06/24 ARREST DATE: VPN: CDL: PAPER PLATE: </div> <div style="margin-top: 20px;"> VEHICLE TYPE: DLN: ##### VIN: </div>
--	---

DOB: ##### SEX: RACE: VEH YR: VEH MAKE:	DEPT: CITY OF MARQUETTE VENUE: CITY OF MARQUETTE	
--	---	--

OFFICER: GARDNER/BEN PROSECUTOR: VICTIM/DESC: 1ST VIOLATION	
---	--

CNT: 01 C/M/F: C 42.04 RENTAL CODE VIO-CITY OF MARQUETTE ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 04/01/24	ORD#42.04 PLEA DATE: DISPOSITION DATE: 04/01/24
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FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
1000.00	238.00	10.00	0.00	0.00	0.00	1248.00	0.00

JAIL SENTENCE: VEH IMMOB START DATE:	PROBATION: NUMBER OF DAYS: VEH FORFEITURE:
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DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
02/06/24		
01	ORIGINAL CHARGE RENTAL CODE	TMG
03/15/24		
	FILING DATE 031524	TMG
01	DUE DATE 032724	TMG
	OVERCAPACITY OF UNCERTIFIED RENTAL UNITS	TMG
	FILE TO MAG TO ASSIGN F&C	TMG
	MISCELLANEOUS ACTION ALL COUNTS	JLH
	SUPPLEMENTAL SENTENCING \$1,010.00	JLH
	ASSESSING FINES AND COSTS	JLH
	1ST VIOLATION	JLH
	ORDINANCE FINE & COSTS \$1,000.00	JLH
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION \$10.00	JLH
04/01/24		
01	DEFAULT JUDGMENT GENERATED	
	PENALTY ADDED-ORDINANCE RENTAL CODE \$30.00	
04/29/24		
01	14 DAY NOTICE GENERATED RENTAL CODE	

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
05/28/24		
01 20% LATE PENALTY	RENTAL CODE	
06/12/24	\$208.00	
01 MISCELLANEOUS ACTION	RENTAL CODE	TMG
SCHEDULED FOR SHOWCAUSE HEARING		TMG
071724 1000A WEBER, KARL A.,	P-55335	TMG
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		TMG
RENTAL CODE		TMG
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TMG
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TMG
COURT		TMG
DEFENDANT HAS FAILED TO:		TMG
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TMG
PAY/CSW IN THE AMOUNT OF		TMG
\$1248 **42.04**. PAYMENT MUST BE W/ CASH,		TMG
MONEY ORDER OR DEBIT/		TMG
CREDIT CARD. PAYMENT CAN BE MADE ONLINE @		TMG
E.COURTS.MICHIGAN.GOV. IF		TMG
YOUR DRIVER LICENSE IS SUSPENDED IT WILL		TMG
REMAIN SO UNTIL PAID IN FULL.		TMG
06/27/24		
MISCELLANEOUS ACTION	ALL COUNTS	TMG
REMOVED FROM DOCKET	071724 1000A WEBER, KARL A.,	TMG
SCHEDULED FOR SHOWCAUSE HEARING	P-55335	TMG
	071724 1000A KANGAS, ROGER W.,	TMG
	P-40816	TMG
07/19/24		
01 BENCH WARRANT ISSUED	RENTAL CODE	TMG
CONTEMPT/FAIL TO APPEAR		TMG
DEFENDANT FAILED TO APPEAR FOR 07/17/24		TMG
SHOW CAUSE HEARING OR PAY/CSW. BALANCE		TMG
DUE IS \$1248 **42.004** CONTEMPT OF COURT.		TMG
MARQUETTE COUNTY PICK UP.		TMG
\$1248 CASH BOND		TMG
MOTION, AFFIDAVIT & BENCH WARRANT GENERATED		TMG
	RENTAL CODE	TMG
07/24/24		
BW TO MCSO		TMG
08/19/24		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
10/31/24		
01 MONETARY TRANSACTION	RENTAL CODE	JLV
PAYMENT	\$1,248.00 D189264	JLV
CASH TENDERED		JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:42

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 234776ON D01 ON
X-REFERENCE #: 5596
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/W
308 S FIFTH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 11/02/23
OFFENSE DATE: 10/09/23
ARREST DATE:

DOB: ##### SEX: RACE:
VEH YR: VEH MAKE:

VEHICLE TYPE: VPN:
DLN: ##### CDL:
VIN: PAPER PLATE:

OFFICER: GARDNER/BEN
PROSECUTOR:
VICTIM/DESC:

DEPT: CITY OF MARQUETTE
VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 42.04

ORD#42.04

RENTAL CODE VIO-CITY OF MARQUETTE

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 11/20/23

SENTENCING DATE: 11/20/23

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
150.00	68.00	10.00	0.00	0.00	0.00	228.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

10/09/23

01 ORIGINAL CHARGE

RENTAL CODE

KMH

11/02/23

FILING DATE

110223

KMH

01 DUE DATE

111323

KMH

FAILURE TO COMPLETE A COMPLIANCE INSPECTION

KMH

SEC. 23-49

KMH

FILE TO MAG TO ASSIGN F&C

KMH

11/06/23

MISCELLANEOUS ACTION

ALL COUNTS

JLH

SUPPLEMENTAL SENTENCING

\$160.00

JLH

FINES AND COSTS

JLH

1ST VIOLATION

JLH

ORDINANCE FINE & COSTS

\$150.00

JLH

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

JLH

11/20/23

01 DEFAULT JUDGMENT GENERATED

RENTAL CODE

PENALTY ADDED-ORDINANCE

RENTAL CODE

\$30.00

NAME: MORRISON/CHARLES/W

CASE NO: 2347760N

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
12/18/23		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
01/16/24		
01 20% LATE PENALTY	RENTAL CODE	
01/18/24		
01 MISCELLANEOUS ACTION	RENTAL CODE	
SCHEDULED FOR SHOWCAUSE HEARING		TMG
	020824 1000A WEBER, KARL A.,	TMG
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG	P-55335	TMG
	RENTAL CODE	TMG
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TMG
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TMG
COURT		TMG
DEFENDANT HAS FAILED TO:		TMG
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TMG
PAY/CSW IN THE AMOUNT OF		TMG
\$228 **ORD#42.04**. PAYMENT CAN BE MADE		TMG
WITH CASH, MONEY ORDER OR WITH		TMG
DEBIT/CREDIT CARD ON-LINE AT E.COURTS.		TMG
MICHIGAN.GOV. IF YOUR DRIVER'S		TMG
LICENSE IS SUSPENDED, IT WILL REMAIN SO		TMG
UNTIL PAID IN FULL.		TMG
02/12/24		
01 BENCH WARRANT ISSUED	RENTAL CODE	
CONTEMPT/FAIL TO APPEAR		TMG
DEFENDANT FAILED TO APPEAR FOR 2/8/24 SHOW		TMG
CAUSE HEARING OR PAY/CSW. BALANCE		TMG
DUE IS \$228 **ORD#42.04** CONTEMPT OF		TMG
COURT. MARQUETTE COUNTY PICK UP.		TMG
\$228 CASH BOND.		TMG
BW TO KAW FOR SIGNATURE.		TMG
02/20/24		
BW TO MCSD		TMG
03/12/24		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
10/31/24		
01 MONETARY TRANSACTION	RENTAL CODE	
PAYMENT		JLV
CASH TENDERED	\$228.00 D189266	JLV
11/01/24		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:42

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 241056ON D01 ON STATUS: CLSD 11/01/24
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JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:
ENTRY DATE: 03/15/24
OFFENSE DATE: 03/11/24
ARREST DATE:
VPN:
CDL:
PAPER PLATE:

DOB: ##### SEX: RACE:
VEH YR: VEH MAKE:

VEHICLE TYPE:
DLN: #####
VIN:

OFFICER: GARDNER/BEN
PROSECUTOR:
VICTIM/DESC: 3RD VIOLATION

DEPT: CITY OF MARQUETTE
VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 42.04	ORD#42.04																
RENTAL CODE VIO-CITY OF MARQUETTE																	
ARRAIGNMENT DATE:	PLEA:																
FINDINGS: DEFAULT JGMT	PLEA DATE:																
SENTENCING DATE: 04/01/24	DISPOSITION DATE: 04/01/24																
<table border="0"> <tr> <td>FINE</td> <td>COST</td> <td>ST.COST</td> <td>CON</td> <td>MISC.</td> <td>REST</td> <td>TOT FINE</td> <td>TOT DUE</td> </tr> <tr> <td>500.00</td> <td>138.00</td> <td>10.00</td> <td>0.00</td> <td>0.00</td> <td>0.00</td> <td>648.00</td> <td>0.00</td> </tr> </table>	FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE	500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00	
FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE										
500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00										
JAIL SENTENCE:	PROBATION:																
VEH IMMOB START DATE:	NUMBER OF DAYS:																
	VEH FORFEITURE:																

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
03/11/24		
01 ORIGINAL CHARGE	RENTAL CODE	TMG
03/15/24		
FILING DATE	031524	TMG
01 DUE DATE	032724	TMG
FAILURE TO RENEW/RECERTIFY RENTAL PROPERTY		TMG
FILE TO MAG TO ASSIGN F&C.		TMG
03/18/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLH
SUPPLEMENTAL SENTENCING		JLH
ASSESSING FINES AND COSTS.	\$510.00	JLH
3RD VIOLATION		JLH
ORDINANCE FINE & COSTS	\$500.00	JLH
STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	\$10.00	JLH
04/01/24		
01 DEFAULT JUDGMENT GENERATED		
	RENTAL CODE	
PENALTY ADDED-ORDINANCE	RENTAL CODE	\$30.00
PREVIOUS ADDRESS:		TMG
308 S FIFTH ST APT 49855		TMG
MARQUETTE, MI		TMG

NAME: MORRISON/CHARLES/WILLIAM

CASE NO: 2410560N

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
04/29/24		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
05/28/24		
01 20% LATE PENALTY	RENTAL CODE	
06/12/24	\$108.00	
01 MISCELLANEOUS ACTION	RENTAL CODE	TMG
SCHEDULED FOR SHOWCAUSE HEARING		TMG
071724 1000A WEBER, KARL A.,	P-55335	TMG
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		TMG
RENTAL CODE		TMG
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TMG
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TMG
COURT		TMG
DEFENDANT HAS FAILED TO:		TMG
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TMG
PAY/CSW IN THE AMOUNT OF		TMG
\$648 **42.04**. PAYMENT MUST BE W/ CASH,		TMG
MONEY ORDER OR DEBIT/		TMG
CREDIT CARD. PAYMENT CAN BE MADE ONLINE @		TMG
E.COURTS.MICHIGAN.GOV. IF		TMG
YOUR DRIVER LICENSE IS SUSPENDED IT WILL		TMG
REMAIN SO UNTIL PAID IN FULL.		TMG
06/27/24		
MISCELLANEOUS ACTION	ALL COUNTS	TMG
REMOVED FROM DOCKET	071724 1000A WEBER, KARL A.,	TMG
SCHEDULED FOR SHOWCAUSE HEARING	P-55335	TMG
	071724 1000A KANGAS, ROGER W.,	TMG
	P-40816	TMG
07/19/24		
01 BENCH WARRANT ISSUED	RENTAL CODE	TMG
CONTEMPT/FAIL TO APPEAR		TMG
DEFENDANT FAILED TO APPEAR FOR 07/17/24		TMG
SHOW CAUSE HEARING OR PAY/CSW. BALANCE		TMG
DUE IS \$648 **42.04** CONTEMPT OF COURT.		TMG
MARQUETTE COUNTY PICK UP.		TMG
\$648 CASH BOND		TMG
07/24/24		
BW TO MCSO		TMG
08/19/24		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
10/31/24		
01 MONETARY TRANSACTION	RENTAL CODE	JLV
PAYMENT		JLV
CASH TENDERED	\$648.00 D189263	JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:43

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 2410550N D01 ON
X-REFERENCE #: 5501
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

COUNTY/STATE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 03/15/24
OFFENSE DATE: 03/11/24
ARREST DATE:

DOB: ##### SEX: RACE:
VEH YR: VEH MAKE:

VEHICLE TYPE:
DLN: #####
VIN:

VPN:
CDL:
PAPER PLATE:

OFFICER: GARDNER/BEN
PROSECUTOR:

DEPT: CITY OF MARQUETTE

VICTIM/DESC: 2ND VIOLATION

VENUE: COUNTY/STATE

CNT: 01 C/M/F: C 42.04

ORD#42.04

RENTAL CODE VIO-CITY OF MARQUETTE

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 04/01/24

SENTENCING DATE: 04/01/24

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
1000.00	238.00	10.00	0.00	0.00	0.00	1248.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

03/11/24

01 ORIGINAL CHARGE

RENTAL CODE

TMG

03/15/24

FILING DATE

031524

TMG

01 DUE DATE

032724

TMG

OVERCAPACITY OF UNCERTIFIED UNITS

TMG

FILE TO MAG TO ASSIGN F&C

TMG

03/18/24

MISCELLANEOUS ACTION

ALL COUNTS

JLH

SUPPLEMENTAL SENTENCING

\$1,010.00

JLH

ASSESSING FINES AND COSTS

JLH

2ND VIOLATION

JLH

ORDINANCE FINE & COSTS

\$1,000.00

JLH

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

JLH

04/01/24

01 DEFAULT JUDGMENT GENERATED

RENTAL CODE

PENALTY ADDED-ORDINANCE

RENTAL CODE

\$30.00

04/29/24

01 14 DAY NOTICE GENERATED

RENTAL CODE

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
05/28/24		
01 20% LATE PENALTY	RENTAL CODE \$208.00	
06/12/24		
01 MISCELLANEOUS ACTION	RENTAL CODE	TMG
SCHEDULED FOR SHOWCAUSE HEARING		TMG
	071724 1000A WEBER, KARL A.,	TMG
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG	P-55335	TMG
	RENTAL CODE	TMG
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TMG
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TMG
COURT		TMG
DEFENDANT HAS FAILED TO:		TMG
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TMG
PAY/CSW IN THE AMOUNT OF		TMG
\$1248 **42.04**. PAYMENT MUST BE W/ CASH,		TMG
MONEY ORDER OR DEBIT/		TMG
CREDIT CARD. PAYMENT CAN BE MADE ONLINE @		TMG
E.COURTS.MICHIGAN.GOV. IF		TMG
YOUR DRIVER LICENSE IS SUSPENDED IT WILL		TMG
REMAIN SO UNTIL PAID IN FULL.		TMG
06/27/24		
MISCELLANEOUS ACTION	ALL COUNTS	TMG
REMOVED FROM DOCKET	071724 1000A WEBER, KARL A.,	TMG
SCHEDULED FOR SHOWCAUSE HEARING	P-55335	TMG
	071724 1000A KANGAS, ROGER W.,	TMG
	P-40816	TMG
07/19/24		
01 BENCH WARRANT ISSUED	RENTAL CODE	TMG
CONTEMPT/FAIL TO APPEAR		TMG
DEFENDANT FAILED TO APPEAR FOR 07/17/24		TMG
SHOW CAUSE HEARING OR PAY/CSW. BALANCE		TMG
DUE IS \$1248 **42.04** CONTEMPT OF COURT.		TMG
MARQUETTE COUNTY PICK UP.		TMG
\$1248 CASH BOND		TMG
07/24/24		
BW TO MCSO		TMG
08/19/24		
01 14 DAY NOTICE GENERATED	RENTAL CODE	
10/31/24		
01 MONETARY TRANSACTION	RENTAL CODE	JLV
PAYMENT		JLV
CASH TENDERED	\$1,248.00 D189262	JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:43

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 242353ON D01 ON X-REFERENCE #: 10053 STATUS: CLSD 11/01/24
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CITY OF MARQUETTE v MORRISON/CHARLES/WILLIAM 308 S 5TH ST MARQUETTE MI 49855	JUDGE OF RECORD: JUDGE:	CTN: TCN: SID: ENTRY DATE: 06/26/24 OFFENSE DATE: 06/26/24 900 AM ARREST DATE: VPB: CDL: PAPER PLATE:
--	----------------------------	---

DOB: ##### SEX: RACE: VEH YR: VEH MAKE:	VEHICLE TYPE: DLN: ##### VIN:	OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: 11TH VIOLATION
--	-------------------------------------	--

DEPT: CITY OF MARQUETTE VENUE: CITY OF MARQUETTE	ORD#301.8 PLEA: PLEA DATE: DISPOSITION DATE: 07/15/24
---	---

CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENANCE CODE ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 07/15/24 FINE COST ST.COST 500.00 138.00 10.00 JAIL SENTENCE: VEH IMMOB START DATE:	CON MISC. REST 0.00 0.00 0.00 PROBATION: NUMBER OF DAYS:	TOT FINE TOT DUE 648.00 0.00 VEH FORFEITURE:
--	---	--

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
06/26/24	FILING DATE	
01	ORIGINAL CHARGE	TMG
	DUE DATE	TMG
	FILE TO MAG TO ASSIGN FINES & COSTS.	TMG
06/28/24	MISCELLANEOUS ACTION ALL COUNTS	FM
	SUPPLEMENTAL SENTENCING	FM
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	FM
	ORDINANCE FINE & COSTS	FM
07/15/24	062624	
01	PROPERTY	
	071024	
	PROPERTY	
	PENALTY ADDED-ORDINANCE	\$30.00
08/12/24	PROPERTY	
01	14 DAY NOTICE GENERATED	
09/09/24	PROPERTY	
01	20% LATE PENALTY	\$108.00
09/25/24	PROPERTY	
01	MISCELLANEOUS ACTION	TLM
	SCHEDULED FOR SHOWCAUSE HEARING	TLM
	102424 1000A WEBER, KARL A., P-55335	TLM
	ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG	TLM
	PROPERTY	TLM
	YOU ARE ORDERED TO SHOW CAUSE WHY YOU	TLM

NAME: MORRISON/CHARLES/WILLIAM

CASE NO: 242353ON

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
09/25/24		
01	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF COURT DEFENDANT HAS FAILED TO: DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO PAY FINES AND COSTS IN THE AMOUNT OF \$648. **PACC 301.8** PAYMENTS CAN BE MADE WITH CASH, MONEY ORDER, OR ON-LINE AT: E.COURTS. MICHIGAN.GOV. IF YOUR DRIVER'S LICENSE IS SUSPENDED, IT WILL REMAIN SUSPENDED UNTIL PAID IN FULL.	TLM TLM TLM TLM TLM TLM TLM TLM TLM TLM
09/30/24	SHOW CAUSE MAILED TO THE DEFENDANT	
10/24/24		TLM
01	BENCH WARRANT ISSUED PROPERTY CONTEMPT/FAIL TO APPEAR DEFENDANT FAILED TO APPEAR FOR 10/24/24 SHOW CAUSE HEARING OR PAY/CSW. BALANCE DUE IS \$648 **301.8** CONTEMPT OF COURT. MARQUETTE COUNTY PICK UP. \$648 CASH BOND BW TO JUDGE FOR SIGNATURE	MS MS MS MS MS MS MS MS
10/31/24		
01	MONETARY TRANSACTION PROPERTY PAYMENT CASH TENDERED	JLV JLV JLV
11/01/24		
	MISCELLANEOUS ACTION ALL COUNTS BENCH WARRANT RETURNED MISCELLANEOUS ACTION ALL COUNTS CASE CLOSED	JLV JLV JLV JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:47

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 242352ON D01 ON
X-REFERENCE #: 10052
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S 5TH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 06/26/24
OFFENSE DATE: 06/26/24 900 AM
ARREST DATE:

DOB: ##### SEX: M RACE: U VEHICLE TYPE: DLN: #####
VEH YR: VEH MAKE: VIN:

VPN:
CDL:
PAPER PLATE:

OFFICER: PAUPORE, ERIC

DEPT: CITY OF MARQUETTE

PROSECUTOR:

VICTIM/DESC: 2ND VIOLATION

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 2616
PROHIBITED ACCUMULATIONS

ORD#26.16

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 07/15/24

SENTENCING DATE: 07/15/24

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
100.00	58.00	10.00	0.00	0.00	0.00	168.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

06/26/24

FILING DATE

062624

01 ORIGINAL CHARGE

PROH ACCUMUL

TMG

DUE DATE

071024

TMG

FILE TO MAG TO ASSIGN FINES & COSTS

TMG

06/28/24

MISCELLANEOUS ACTION

ALL COUNTS

FM

SUPPLEMENTAL SENTENCING

\$110.00

FM

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

FM

ORDINANCE FINE & COSTS

\$100.00

FM

07/15/24

01 DEFAULT JUDGMENT GENERATED

PROH ACCUMUL

PENALTY ADDED-ORDINANCE

PROH ACCUMUL

\$30.00

08/12/24

01 14 DAY NOTICE GENERATED

PROH ACCUMUL

09/09/24

01 20% LATE PENALTY

PROH ACCUMUL

\$28.00

09/25/24

01 MISCELLANEOUS ACTION

PROH ACCUMUL

TLM

SCHEDULED FOR SHOWCAUSE HEARING

TLM

102424 1000A WEBER, KARL A.,

P-55335

TLM

ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG

TLM

PROH ACCUMUL

TLM

YOU ARE ORDERED TO SHOW CAUSE WHY YOU

TLM

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
09/25/24		
01	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF COURT	TLM
	DEFENDANT HAS FAILED TO:	TLM
	DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO	TLM
	PAY FINES AND COSTS IN THE	TLM
	AMOUNT OF \$168. **PACC 2616** PAYMENTS CAN	TLM
	BE MADE WITH CASH,	TLM
	MONEY ORDER, OR ON-LINE AT: E.COURTS.	TLM
	MICHIGAN.GOV. IF YOUR DRIVER'S	TLM
	LICENSE IS SUSPENDED, IT WILL REMAIN	TLM
	SUSPENDED UNTIL PAID IN FULL.	TLM
09/30/24		
	SHOW CAUSE MAILED TO THE DEFENDANT	TLM
10/24/24		
01	BENCH WARRANT ISSUED PROH ACCUMUL	MS
	CONTEMPT/FAIL TO APPEAR	MS
	DEFENDANT FAILED TO APPEAR FOR 10/24/24	MS
	SHOW CAUSE HEARING OR PAY/CSW. BALANCE	MS
	DUE IS \$168 **2616** CONTEMPT OF COURT.	MS
	MARQUETTE COUNTY PICK UP.	MS
	\$168 CASH BOND	MS
	BW TO JUDGE FOR SIGNATURE	MS
10/31/24		
01	MONETARY TRANSACTION PROH ACCUMUL	JLV
	PAYMENT	JLV
	CASH TENDERED	JLV
11/01/24		
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	BENCH WARRANT RETURNED	JLV
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	CASE CLOSED	JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 242164ON D01 ON X-REFERENCE #: 10050 STATUS: CLSD 11/01/24
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CITY OF MARQUETTE v MORRISON/CHARLES/WILLIAM 308 S FIFTH ST MARQUETTE MI 49855	<div style="text-align: right;">JUDGE OF RECORD:</div> <div style="text-align: right;">JUDGE:</div> <div style="text-align: right; margin-top: 20px;"> CTN: TCN: SID: ENTRY DATE: 06/06/24 OFFENSE DATE: 06/05/24 1200 PI ARREST DATE: VPN: CDL: PAPER PLATE: </div> <div style="text-align: right; margin-top: 20px;"> VEHICLE TYPE: DLN: ##### VIN: </div> <div style="display: flex; justify-content: space-between;"> <div> DOB: ##### SEX: VEH YR: VEH MAKE: </div> <div> RACE: VEH MAKE: </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div> OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: 1ST VIOLATION </div> <div> DEPT: CITY OF MARQUETTE VENUE: CITY OF MARQUETTE </div> </div>
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CNT: 01 C/M/F: C 2616 PROHIBITED ACCUMULATIONS ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 06/24/24	<div style="text-align: right;">ORD#26.16</div> <div style="text-align: right; margin-top: 20px;"> PLEA: DISPOSITION DATE: 06/24/24 PLEA DATE: </div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: right;">FINE</td> <td style="text-align: right;">COST</td> <td style="text-align: right;">ST.COST</td> <td style="text-align: right;">CON</td> <td style="text-align: right;">MISC.</td> <td style="text-align: right;">REST</td> <td style="text-align: right;">TOT FINE</td> <td style="text-align: right;">TOT DUE</td> </tr> <tr> <td style="text-align: right;">50.00</td> <td style="text-align: right;">48.00</td> <td style="text-align: right;">10.00</td> <td style="text-align: right;">0.00</td> <td style="text-align: right;">0.00</td> <td style="text-align: right;">0.00</td> <td style="text-align: right;">108.00</td> <td style="text-align: right;">0.00</td> </tr> </table> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div> JAIL SENTENCE: VEH IMMOB START DATE: </div> <div> PROBATION: NUMBER OF DAYS: </div> <div> VEH FORFEITURE: </div> </div>	FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE	50.00	48.00	10.00	0.00	0.00	0.00	108.00	0.00
FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE										
50.00	48.00	10.00	0.00	0.00	0.00	108.00	0.00										

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
06/05/24		
01 ORIGINAL CHARGE	PROH ACCUMUL	TMG
06/06/24		
FILING DATE	060624	TMG
01 DUE DATE	061924	TMG
FILE TO MAG TO ASSIGN F&C.		TMG
MISCELLANEOUS ACTION	ALL COUNTS	JLH
SUPPLEMENTAL SENTENCING		JLH
ASSESSING FINES AND COSTS		JLH
1ST VIOLATION		JLH
ORDINANCE FINE & COSTS		JLH
STATE COSTS - NON-TRAFFIC CIVIL INFRACTION		JLH
	\$60.00	
06/24/24		
01 DEFAULT JUDGMENT GENERATED		
	PROH ACCUMUL	
PENALTY ADDED-ORDINANCE	PROH ACCUMUL	
	\$30.00	
07/22/24		
01 14 DAY NOTICE GENERATED	PROH ACCUMUL	
08/19/24		
01 20% LATE PENALTY	PROH ACCUMUL	
	\$18.00	

PAGE 2

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:47

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 242163ON D01 ON
X-REFERENCE #: 10049
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 06/06/24
OFFENSE DATE: 06/05/24 1200 PM
ARREST DATE:

DOB: ##### SEX: RACE:
VEH YR: VEH MAKE:

VEHICLE TYPE:
DLN: #####
VIN:

VPN:
CDL:
PAPER PLATE:

OFFICER: PAUPORE, ERIC

DEPT: CITY OF MARQUETTE

PROSECUTOR:

VICTIM/DESC: 10TH VIOLATION

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8
PROPERTY MAINTENCE CODE

ORD#301.8

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 06/24/24

SENTENCING DATE: 06/24/24

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	176.00	200.00	0.00	0.00	0.00	876.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

06/05/24

01 ORIGINAL CHARGE

PROPERTY

TMG

06/06/24

FILING DATE

060624

TMG

01 DUE DATE

061924

TMG

FILE TO MAG TO ASSIGN F&C.

TMG

MISCELLANEOUS ACTION

ALL COUNTS

JLH

SUPPLEMENTAL SENTENCING

\$700.00

JLH

ASSESSING FINES AND COSTS

JLH

10TH VIOLATION

JLH

ORDINANCE FINE & COSTS

\$500.00

JLH

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$200.00

JLH

06/24/24

01 DEFAULT JUDGMENT GENERATED

PROPERTY

PENALTY ADDED-ORDINANCE

PROPERTY

\$30.00

07/22/24

01 14 DAY NOTICE GENERATED

PROPERTY

08/19/24

01 20% LATE PENALTY

PROPERTY

\$146.00

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
09/25/24		
01 MISCELLANEOUS ACTION	PROPERTY	TLM
SCHEDULED FOR SHOWCAUSE HEARING		TLM
102424 1000A WEBER,KARL A.,	P-55335	TLM
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		TLM
PROPERTY		TLM
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TLM
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TLM
COURT		TLM
DEFENDANT HAS FAILED TO:		TLM
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TLM
PAY FINES AND COSTS IN THE		TLM
AMOUNT OF \$876. **PACC 301.8** PAYMENTS		TLM
CAN BE MADE WITH CASH,		TLM
MONEY ORDER, OR ON-LINE AT: E.COURTS.		TLM
MICHIGAN.GOV. IF YOUR DRIVER'S		TLM
LICENSE IS SUSPENDED, IT WILL REMAIN		TLM
SUSPENDED UNTIL PAID IN FULL.		TLM
09/30/24		
SHOW CAUSE MAILED TO THE DEFENDANT		TLM
10/24/24		
01 BENCH WARRANT ISSUED	PROPERTY	MS
CONTEMPT/FAIL TO APPEAR		MS
DEFENDANT FAILED TO APPEAR FOR 10/24/24		MS
SHOW CAUSE HEARING OR PAY/CSW. BALANCE		MS
DUE IS \$876 **301.8** CONTEMPT OF COURT.		MS
MARQUETTE COUNTY PICK UP.		MS
\$876 CASH BOND		MS
BW TO JUDGE FOR SIGNATURE		MS
10/31/24		
01 MONETARY TRANSACTION	PROPERTY	JLV
PAYMENT		JLV
CASH TENDERED	\$876.00 D189259	JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:48

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 2419040N D01 ON
X-REFERENCE #: 10039
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308S 5TH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 05/22/24
OFFENSE DATE: 05/21/24 320 PM
ARREST DATE:

DOB: ##### SEX: M RACE: U DLN: #####
VEH YR: VEH MAKE: VIN: CDL: N
PAPER PLATE:

OFFICER: PAUPORE, ERIC
PROSECUTOR:

DEPT: CITY OF MARQUETTE

VICTIM/DESC: 9TH VIO-IPMC

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8
PROPERTY MAINTENANCE CODE

ORD#301.8

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 06/10/24

SENTENCING DATE: 06/10/24

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00

JAIL SENTENCE:
VEH IMMOB START DATE:

PROBATION:
NUMBER OF DAYS: VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

05/21/24

01 ORIGINAL CHARGE

PROPERTY

TMG

05/22/24

FILING DATE

052224

TMG

01 DUE DATE

060424

TMG

IPMC-FAILURE TO BRING GARAGE INTO GOOD
REPAIR.

TMG

FILE TO MAG TO ASSIGN F&C.

TMG

MISCELLANEOUS ACTION ALL COUNTS

FM

SUPPLEMENTAL SENTENCING

\$510.00

FM

9TH VIOLATION

FM

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

FM

ORDINANCE FINE & COSTS

\$500.00

FM

06/10/24

01 DEFAULT JUDGMENT GENERATED

PROPERTY

PENALTY ADDED-ORDINANCE

PROPERTY

\$30.00

07/08/24

01 14 DAY NOTICE GENERATED

PROPERTY

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
08/05/24		
01 20% LATE PENALTY	PROPERTY \$108.00	
08/09/24		
01 MISCELLANEOUS ACTION	PROPERTY	TLM
SCHEDULED FOR SHOWCAUSE HEARING		TLM
	091124 1000A KANGAS, ROGER W., P-40816	TLM
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		TLM
	PROPERTY	TLM
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		TLM
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		TLM
COURT		TLM
DEFENDANT HAS FAILED TO:		TLM
DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO		TLM
PAY FINES AND COSTS IN THE		TLM
AMOUNT OF \$186. **ORD 301.8** PAYMENTS CAN		TLM
BE MADE WITH CASH, MONEY		TLM
ORDER OR ON-LINE AT: E.COURTS.MICHIGAN.GOV.		TLM
IF YOUR DRIVER'S LICENSE		TLM
IS SUSPENDED, IT WILL REMAIN SUSPENDED		TLM
UNTIL PAID IN FULL.		TLM
09/11/24		
01 BENCH WARRANT ISSUED	PROPERTY	TLM
CONTEMPT/FAIL TO APPEAR		TLM
DEFENDANT FAILED TO APPEAR FOR 9/11/24 SHOW		TLM
CAUSE HEARING OR PAY/PERFORM CSW		TLM
BALANCE DUE IS \$648 **301.8** CONTEMPT OF		TLM
COURT		TLM
MARQUETTE COUNTY PICK UP, \$648 CASH BOND		TLM
BENCH WARRANT TO RWK FOR SIGNATURE		TLM
09/13/24		
BENCH WARRANT SENT TO MCSD		TLM
10/14/24		
01 14 DAY NOTICE GENERATED	PROPERTY	
10/31/24		
01 MONETARY TRANSACTION	PROPERTY	JLV
PAYMENT		JLV
CASH TENDERED	\$648.00 D189257	JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:48

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 241741ON D01 ON X-REFERENCE #: 10024 STATUS: CLSD 11/01/24
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COUNTY/STATE v MORRISON/CHARLES/WILLIAM 308 S FIFTH ST MARQUETTE MI 49855	JUDGE OF RECORD: JUDGE:	CTN: TCN: SID: ENTRY DATE: 05/06/24 OFFENSE DATE: 05/06/24 800 AM ARREST DATE: VPB: CDL: PAPER PLATE:
---	----------------------------	---

DOB: ##### SEX: RACE: VEH YR: VEH MAKE:	VEHICLE TYPE: DLN: ##### VIN:	OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: 8TH VIOLATION
--	-------------------------------------	---

DEPT: CITY OF MARQUETTE VENUE: COUNTY/STATE	ORD#301.8 PLEA: PLEA DATE: DISPOSITION DATE: 05/22/24
--	---

CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENANCE CODE ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 05/22/24	FINE COST ST.COST CON MISC. REST TOT FINE TOT DUE 500.00 138.00 10.00 0.00 0.00 0.00 648.00 0.00	JAIL SENTENCE: VEH IMMOB START DATE:
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PROBATION: NUMBER OF DAYS:	VEH FORFEITURE:
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DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
05/06/24	FILING DATE 050624	TMG
01	ORIGINAL CHARGE PROPERTY	TMG
	DUE DATE 051724	TMG
	IPMC-FAILURE TO BRING GARAGE INTO REPAIR	TMG
	FILE TO MAG TO ASSIGN FINES & COSTS.	TMG
	MISCELLANEOUS ACTION ALL COUNTS	JLH
	SUPPLEMENTAL SENTENCING \$510.00	JLH
	ASSESSING FINES AND COSTS	JLH
	8TH VIOLATION	JLH
	ORDINANCE FINE & COSTS \$500.00	JLH
	STATE COSTS - NON-TRAFFIC CIVIL INFRACTION \$10.00	JLH
05/22/24	01 DEFAULT JUDGMENT GENERATED	
	PENALTY ADDED-ORDINANCE PROPERTY \$30.00	
06/20/24	01 14 DAY NOTICE GENERATED PROPERTY	
07/17/24	01 20% LATE PENALTY PROPERTY \$108.00	

PAGE 2

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:48

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 2126570N D01 ON X-REFERENCE #: 5221 STATUS: CLSD 11/01/24
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CITY OF MARQUETTE v MORRISON/CHARLES/WILLIAM 308 S FIFTH ST MARQUETTE MI 49855	JUDGE OF RECORD: JUDGE:	CTN: TCN: SID: ENTRY DATE: 08/26/21 OFFENSE DATE: 08/25/21 1000 A ARREST DATE: VEHICLE TYPE: DLN: ##### VIN:
--	----------------------------	--

DOB: ##### SEX: M RACE: W VEH YR: VEH MAKE:	VPB: CDL: PAPER PLATE:	DEPT: CITY OF MARQUETTE VENUE: CITY OF MARQUETTE
--	------------------------------	---

OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: WEATHERPROOF EXT WALLS-2ND	PACC#304.6 EXTERIOR WALLS - INTERNATIONAL PROPERTY MAINT. VIOLATION ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 09/15/21	PLEA: DISPOSITION DATE: 09/15/21 FINE COST ST.COST CON MISC. REST TOT FINE TOT DUE 90.00 20.00 10.00 0.00 0.00 0.00 120.00 0.00 JAIL SENTENCE: PROBATION: VEH IMMOB START DATE: NUMBER OF DAYS: VEH FORFEITURE:
--	---	--

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
08/25/21		
01 ORIGINAL CHARGE	EXTERIOR STR	JAS
08/26/21		
FILING DATE	082621	JAS
01 DUE DATE	091021	JAS
MISCELLANEOUS ACTION	ALL COUNTS	JLH
SUPPLEMENTAL SENTENCING		JLH
ASSESSING FINES	\$100.00	JLH
2ND OFFENSE		JLH
ORDINANCE FINE & COSTS	\$90.00	JLH
STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	\$10.00	JLH
09/15/21		
01 DEFAULT JUDGMENT GENERATED		
	EXTERIOR STR	
10/13/21		
01 14 DAY NOTICE GENERATED	EXTERIOR STR	
11/10/21		
01 20% LATE PENALTY	EXTERIOR STR \$20.00	
12/20/21		
01 MISCELLANEOUS ACTION	EXTERIOR STR	JAS
SCHEDULED FOR SHOWCAUSE HEARING		JAS
	011222 1000A KANGAS, ROGER W., P-40816	JAS
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		JAS
	EXTERIOR STR	JAS
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		JAS

NAME: MORRISON/CHARLES/WILLIAM

CASE NO: 2126570N

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
12/20/21		
01	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF COURT	JAS
	DEFENDANT HAS FAILED TO:	JAS
	DEFENDANT FAILED TO PAY/CSW FINES AND COSTS	JAS
	DUE OF \$120. PAYMENT MUST	JAS
	BE MADE BY CASH, MONEY ORDER, OR CREDIT/DEBIT	JAS
	CARD. PAYMENT CAN BE MADE	JAS
	ONLINE AT E.COURTS.MICHIGAN.GOV. **304.6**	JAS
01/13/22		
01	BENCH WARRANT ISSUED EXTERIOR STR	JAS
	CONTEMPT/FAIL TO APPEAR	JAS
	DEFENDANT FAILED TO APPEAR 1/12/22 SHOW	JAS
	CAUSE HEARING OR PAY/CSW. BALANCE DUE	JAS
	IS \$120 **3048** CONTEMPT OF COURT.	JAS
	MARQUETTE COUNTY PICK UP	JAS
	BW TO JUDGE FOR SIGNATURE	JAS
01/31/22		
	BW TO MCSO	JAS
02/14/22		
01	14 DAY NOTICE GENERATED EXTERIOR STR	
10/31/24		
01	MONETARY TRANSACTION EXTERIOR STR	JLV
	PAYMENT	JLV
	CASH TENDERED	JLV
11/01/24		
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	BENCH WARRANT RETURNED	JLV
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	CASE CLOSED	JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 212963ON D01 ON
X-REFERENCE #: 5429
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:
TCN:
SID:

ENTRY DATE: 09/23/21
OFFENSE DATE: 09/22/21 1200 PM
ARREST DATE:

DOB: ##### SEX: M RACE: W DLN: #####
VEH YR: VEH MAKE: VIN:

VPN:
CDL:
PAPER PLATE:

OFFICER: PAUPORE, ERIC
PROSECUTOR:

DEPT: CITY OF MARQUETTE

VICTIM/DESC: FAIL TO WEATHERPROOF WALLS

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 304.6

PACC#304.6

EXTERIOR WALLS - INTERNATIONAL PROPERTY MAINT. VIOLATION

ARRAIGNMENT DATE:

PLEA:

PLEA DATE:

FINDINGS: DEFAULT JGMT

DISPOSITION DATE: 10/13/21

SENTENCING DATE: 10/13/21

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	102.00	10.00	0.00	0.00	0.00	612.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
09/22/21		
01 ORIGINAL CHARGE	EXTERIOR STR	JAS
09/23/21		
FILING DATE	092321	JAS
01 DUE DATE	100821	JAS
09/24/21		
MISCELLANEOUS ACTION	ALL COUNTS	FM
SUPPLEMENTAL SENTENCING		FM
3RD VIOLATION		FM
STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	\$10.00	FM
ORDINANCE FINE & COSTS	\$500.00	FM
10/13/21		
01 DEFAULT JUDGMENT GENERATED		
	EXTERIOR STR	
11/10/21		
01 14 DAY NOTICE GENERATED	EXTERIOR STR	
12/08/21		
01 20% LATE PENALTY	EXTERIOR STR	\$102.00
12/20/21		
01 MISCELLANEOUS ACTION	EXTERIOR STR	JAS
SCHEDULED FOR SHOWCAUSE HEARING		JAS
	011222 1000A KANGAS, ROGER W., P-40816	JAS
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG		JAS
	EXTERIOR STR	JAS
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		JAS

NAME: MORRISON/CHARLES/WILLIAM

CASE NO: 2129630N

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
12/20/21		
01	SHOULD NOT BE HELD IN CIVIL CONTEMPT OF COURT	JAS
	DEFENDANT HAS FAILED TO:	JAS
	DEFENDANT FAILED TO PAY/CSW FINES AND COSTS	JAS
	DUE OF \$612. PAYMENT MUST	JAS
	BE MADE BY CASH, MONEY ORDER, OR CREDIT/DEBIT	JAS
	CARD. PAYMENT CAN BE MADE	JAS
	ONLINE AT E.COURTS.MICHIGAN.GOV	JAS
01/13/22		
01	BENCH WARRANT ISSUED EXTERIOR STR	JAS
	CONTEMPT/FAIL TO APPEAR	JAS
	DEFENDANT FAILED TO APPEAR FOR 1/12/22 SHOW	JAS
	CAUSE OR PAY/CSW. BALANCE DUE IS	JAS
	\$612 **3046** CONTEMPT OF COURT. MARQUETTE	JAS
	COUNTY PICKUP	JAS
	BW TO JUDGE FOR SIGNATURE	JAS
01/31/22		
	BW TO MCSD	JAS
02/14/22		
01	14 DAY NOTICE GENERATED EXTERIOR STR	
10/31/24		
01	MONETARY TRANSACTION EXTERIOR STR	JLV
	PAYMENT	JLV
	CASH TENDERED	JLV
11/01/24		
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	BENCH WARRANT RETURNED	JLV
	MISCELLANEOUS ACTION ALL COUNTS	JLV
	CASE CLOSED	JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

STATE OF MICHIGAN
96TH JUDICIAL DISTRICT
ORI520025J

REGISTER OF ACTIONS

CASE NO: 213212ON D01 ON
X-REFERENCE #: 8871
STATUS: CLSD 11/01/24

JUDGE OF RECORD:
JUDGE:

CITY OF MARQUETTE v

MORRISON/CHARLES/WILLIAM
308 S FIFTH ST
MARQUETTE MI 49855

CTN:

TCN:

SID:

ENTRY DATE: 10/15/21

OFFENSE DATE: 09/22/21

ARREST DATE:

VEHICLE TYPE:

VPN:

DLN: #####

CDL:

VIN:

PAPER PLATE:

DOB: #####

SEX:

RACE:

VEH YR:

VEH MAKE:

OFFICER: PAUPORE, ERIC

PROSECUTOR:

VICTIM/DESC: FAIL TO FIX GARAGE- 5TH

DEPT: CITY OF MARQUETTE

VENUE: CITY OF MARQUETTE

CNT: 01 C/M/F: C 301.8

PROPERTY MAINTENANCE CODE

ARRAIGNMENT DATE:

FINDINGS: DEFAULT JGMT

SENTENCING DATE: 11/03/21

PLEA:

DISPOSITION DATE: 11/03/21

PLEA DATE:

FINE	COST	ST.COST	CON	MISC.	REST	TOT FINE	TOT DUE
500.00	138.00	10.00	0.00	0.00	0.00	648.00	0.00

JAIL SENTENCE:

PROBATION:

VEH IMMOB START DATE:

NUMBER OF DAYS:

VEH FORFEITURE:

DATE

ACTIONS, JUDGMENTS, CASE NOTES

INITIALS

09/22/21

01 ORIGINAL CHARGE

PROPERTY

JAS

10/15/21

FILING DATE

101521

JAS

01 DUE DATE

102921

JAS

10/27/21

MISCELLANEOUS ACTION

ALL COUNTS

FM

SUPPLEMENTAL SENTENCING

\$510.00

FM

5TH VIOLATION

FM

STATE COSTS - NON-TRAFFIC CIVIL INFRACTION

\$10.00

FM

ORDINANCE FINE & COSTS

\$500.00

FM

11/03/21

01 DEFAULT JUDGMENT GENERATED

PROPERTY

PENALTY ADDED-ORDINANCE

PROPERTY

\$30.00

12/01/21

01 14 DAY NOTICE GENERATED

PROPERTY

12/29/21

01 20% LATE PENALTY

PROPERTY

\$108.00

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
04/07/22	MISCELLANEOUS ACTION ALL COUNTS SCHEDULED FOR SHOWCAUSE HEARING	NM NM
01	060122 1000A WEBER, KARL A., ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG PROPERTY YOU ARE ORDERED TO SHOW CAUSE WHY YOU SHOULD NOT BE HELD IN CIVIL CONTEMPT OF COURT DEFENDANT HAS FAILED TO: DEFENDANT FAILED TO PAY/CSW FINES AND COSTS DUE OF \$648. **301.8** PAYMENTS CAN BE MADE BY CASH, MONEY ORDER, CREDIT/DEBIT CARD OR ON LINE AT E.COURTS.MICHIGAN.GOV. IF YOUR DRIVER'S LICENSE IS SUSPENDED IT WILL REMAIN SUSPENDED UNTIL PAID IN FULL.	P-55335 NM NM NM NM NM NM NM NM NM NM NM
06/02/22	01 BENCH WARRANT ISSUED PROPERTY CONTEMPT/FAIL TO APPEAR DEFENDANT FAILED TO APPEAR FOR 6/01/22 SHOW CAUSE HEARING OR PAY/CSW BALANCE DUE IS \$648 **301.8** CONTEMPT OF COURT MARQUETTE COUNTY PICKUP \$648 CASH BOND. BENCH WARRANT TO JUDGE FOR SIGNATURE	TLM TLM TLM TLM TLM TLM TLM TLM
06/07/22	BW TO MCSD	TLM
06/09/22	PREV. DOB: ##### CORRECTED DOB BASED ON TICKET INFORMATION	TLM TLM
07/05/22	01 14 DAY NOTICE GENERATED PROPERTY	
10/31/24	01 MONETARY TRANSACTION PROPERTY PAYMENT CASH TENDERED	JLV JLV JLV
11/01/24	MISCELLANEOUS ACTION ALL COUNTS BENCH WARRANT RETURNED MISCELLANEOUS ACTION ALL COUNTS CASE CLOSED	JLV JLV JLV JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 213536ON D01 ON X-REFERENCE #: 5438 STATUS: CLSD 11/01/24
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COUNTY/STATE v MORRISON/CHARLES/WILLIAM 208 S FIFTH ST MARQUETTE MI 49855	<div style="text-align: right;"> JUDGE OF RECORD: JUDGE: </div> <div style="text-align: right; margin-top: 20px;"> CTN: TCN: SID: ENTRY DATE: 11/19/21 OFFENSE DATE: 11/10/21 ARREST DATE: VPN: CDL: PAPER PLATE: </div> <div style="margin-top: 20px;"> DOB: ##### SEX: RACE: VEHICLE TYPE: VEH YR: VEH MAKE: DLN: ##### VIN: </div>
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OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: FAIL TO FIX GARAGE-6TH	DEPT: CITY OF MARQUETTE VENUE: COUNTY/STATE
--	--

CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENANCE CODE ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 12/08/21 FINE COST ST.COST 500.00 138.00 10.00 JAIL SENTENCE: VEH IMMOB START DATE:	<div style="text-align: right;">ORD#301.8</div> <div style="margin-top: 20px;"> PLEA: PLEA DATE: DISPOSITION DATE: 12/08/21 </div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: right;">CON</td> <td style="text-align: right;">MISC.</td> <td style="text-align: right;">REST</td> <td style="text-align: right;">TOT FINE</td> <td style="text-align: right;">TOT DUE</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td style="text-align: right;">0.00</td> <td style="text-align: right;">0.00</td> <td style="text-align: right;">648.00</td> <td style="text-align: right;">0.00</td> </tr> </table> <div style="margin-top: 20px;"> PROBATION: NUMBER OF DAYS: VEH FORFEITURE: </div>	CON	MISC.	REST	TOT FINE	TOT DUE	0.00	0.00	0.00	648.00	0.00
CON	MISC.	REST	TOT FINE	TOT DUE							
0.00	0.00	0.00	648.00	0.00							

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
11/10/21		
01 ORIGINAL CHARGE	PROPERTY	JAS
11/19/21		
FILING DATE	111921	JAS
01 DUE DATE	120321	JAS
MISCELLANEOUS ACTION	ALL COUNTS	JLH
SUPPLEMENTAL SENTENCING		JLH
6TH VIOLATION		JLH
ADDING FINES AND COSTS		JLH
ORDINANCE FINE & COSTS		JLH
STATE COSTS - NON-TRAFFIC CIVIL INFRACTION	\$510.00	JLH
12/08/21		
01 DEFAULT JUDGMENT GENERATED		
PENALTY ADDED-ORDINANCE	PROPERTY	
12/21/21		
RETURNED MAIL-DEFAULT JGMT		JAS
01/05/22		
01 14 DAY NOTICE GENERATED	PROPERTY	

NAME: MORRISON/CHARLES/WILLIAM

CASE NO: 213536ON

PAGE 2

DATE	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
02/02/22		
01 20% LATE PENALTY	PROPERTY \$108.00	
04/07/22		
01 MISCELLANEOUS ACTION	PROPERTY	NM
SCHEDULED FOR SHOWCAUSE HEARING		NM
	060122 1000A WEBER, KARL A.,	NM
ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG	P-55335	NM
	PROPERTY	NM
YOU ARE ORDERED TO SHOW CAUSE WHY YOU		NM
SHOULD NOT BE HELD IN CIVIL CONTEMPT OF		NM
COURT		NM
DEFENDANT HAS FAILED TO:		NM
DEFENDANT FAILED TO PAY/CSW FINES AND COSTS		NM
DUE OF \$648. **301.8**		NM
PAYMENTS CAN BE MADE BY CASH, MONEY ORDER,		NM
CREDIT/DEBIT CARD OR ON		NM
LINE AT E.COURTS.MICHIGAN.GOV. IF YOUR		NM
DRIVER'S LICENSE IS SUSPENDED		NM
IT WILL REMAIN SUSPENDED UNTIL PAID IN		NM
FULL.		NM
06/02/22		
01 BENCH WARRANT ISSUED	PROPERTY	TLM
CONTEMPT/FAIL TO APPEAR		TLM
DEFENDANT FAILED TO APPEAR FOR 6/01/22 SHOW		TLM
CAUSE HEARING OR PAY/CSW		TLM
BALANCE DUE IS \$648 **301.8** CONTEMPT OF		TLM
COURT MARQUETTE COUNTY PICKUP		TLM
\$648 CASH BOND.		TLM
BENCH WARRANT TO JUDGE FOR SIGNATURE		TLM
06/07/22		
BW TO MCSD		TLM
07/05/22		
01 14 DAY NOTICE GENERATED	PROPERTY	
10/31/24		
01 MONETARY TRANSACTION	PROPERTY	JLV
PAYMENT		JLV
CASH TENDERED	\$648.00 D189253	JLV
11/01/24		
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

***** END OF REGISTER OF ACTIONS ***** 11/25/24 13:50

Administrative Warrant

AFFIDAVIT FOR SEARCH WARRANT

Please type or press hard.

See the other side for instructions.

Police Agency
Report Number: 2555900025

Jeffrey Fossitt, Fire Marshal

, affiant(s), state that:

1. The person, place, or thing to be searched is described as and is located at:

The interior and exterior of the premises and garage located at 308 S. Fifth Street, Marquette, Michigan for the purpose of determining life safety and structural integrity of the structure pursuant to the International Property Maintenance Code (IPMC) 2021, Section 111. The property will be cleared by a police officer to ensure safe entry and the search shall be conducted by Fire Marshal Jeffrey Fossitt with the assistance of a paid consultant.

2. The PROPERTY/PERSON to be searched for and seized, if found, is specifically described as:

No property to be seized.

3. The FACTS establishing probable cause or the grounds for search are:

- a. Affiant is employed as City of Marquette Fire Marshal.
- b. The Fire Department was notified by the Zoning Technician, Eric Paupore, that the condition of the garage has deteriorated over recent years despite enforcement efforts to have it repaired, that the garage looks to be unsound, and that further investigation is needed.
- c. The Fire Department became aware that the garage is near an occupied home on the property, is near an occupied home on an adjoining property, and that the structural issues could pose a life safety risk to the occupants.
- d. Affiant indicated, in writing, an intent to conduct a life safety inspection and structural assessment of the property during regular business hours, and Charles W. Morrison (owner) has not responded.
- e. Charles W. Morrison has not cooperated with efforts to resolve code violations related to the garage and his property, and Affiant has reason to believe he will not cooperate with the inspection and structural assessment.
- f. Pursuant to State of Michigan Public Act 207 the Fire Marshal has the authority to enter the premises to carry out fire and life safety inspections.

This affidavit consists of one (1) pages.

Reviewed on	<u>1-2-25</u>
Date	
by	<u>Supreme C. Larson</u>
Prosecuting official	<u>C. Larson ATTORNEY</u>

MC 231 (3/10) AFFIDAVIT FOR SEARCH WARRANT

Affiant	<u>Jeffrey Fossitt</u>	<u>1-3-25</u>
Subscribed and sworn to before me	<u>1/16/25</u>	Date
		Court
Judge/Magistrate	<u>[Signature]</u>	Bar no.

Approved, SCAO

Original warrant - Return to issuing court
1st copy - Prosecutor
2nd copy - Serve
3rd copy - Issuing judge

SEARCH WARRANT

TO THE SHERIFF OR ANY PEACE OFFICER:

Police Agency
Report Number: 2555 9000 25

Jeffrey Fossitt, Fire Marshal

, has sworn to the affidavit regarding the following:

1. The person, place, or thing to be searched is described as and is located at:

The interior and exterior of the premises and garage located at 308 S. Fifth Street, Marquette, Michigan for the purpose of determining life safety and structural integrity of the structure pursuant to the International Property Maintenance Code (IPMC) 2021, Section 111. The property will be cleared by a police officer to ensure safe entry and the search shall be conducted by Fire Marshal Jeffrey Fossitt with the assistance of a paid consultant.

2. The PROPERTY/PERSON to be searched for and seized, if found, is specifically described as:

No property to be seized.

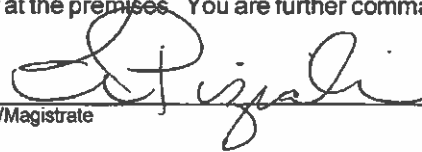
IN THE NAME OF THE PEOPLE OF THE STATE OF MICHIGAN: I have found that probable cause exists and you are commanded to make the search and seize the described property/person. Leave a copy of this warrant and a tabulation (a written inventory) of all property taken with the person from whom the property was taken or at the premises. You are further commanded to promptly return this warrant and tabulation to the court.

Issued:

Date

1/6/25 @ 10:52 am.

Judge/Magistrate



Bar no.

RETURN AND TABULATION

Search was made _____ and the following property/person was seized:

Date

☐ Continued on other side.

Officer

Copy of warrant and tabulation served on:

Name

Tabulation filed:

Date

MC 231 (3/10) AFFIDAVIT AND SEARCH WARRANT

Photographs from 01/09/2025

Structural Analysis

























01/09/2025 10:07

Structural Analysis



420 Rail Street
Negaunee, MI 49866
906-475-6616
WWW.NDW.US

Marquette Fire Department
Attn: Jeff Fossitt – Fire Marshal
418 S. Third ST
Marquette, MI 49855

January 9, 2025

RE: 308 S. Fifth Street Garage

Mr. Fossitt:

I visited the property at 308 South Fifth Street today to provide an opinion on the structural safety of the garage behind the residence. The existing structure is a wood framed storage building, approximately 20 feet in each dimension. This opinion is based on a visual inspection of the structure from the exterior, including the interior portions visible through the large hole in the east wall.

Approximately 50 percent of the east wall of the structure is open. It appears this was originally constructed as a load bearing wall supporting the roof rafters and collar ties. Due to the missing piece of the wall, there is no structural support for the roof rafters or collar ties on that portion of the building, with a noticeable sag in the roof. As the collar ties are not functional both the east and west walls are spreading at the top as the roof is dropping.

The remaining wall studs and roof rafters are in poor condition. There is extensive rot and charring from previous fire damage on the remaining material. Much of the wood framing that could be observed has rotted to an extent to significantly reduce its structural capacity. It appears the wall is built on a heavy timber sill that has rotated out from its original position, and the bottom of the wall studs have been partially pushed off that supporting timber.

Due to the extent of structural damage, I would not consider this structure safe to occupy. Based on the extensive decay and damage, it does not appear it would be economically feasible to repair the structure as much of the material would need to be removed and replaced. The cost to do this would likely exceed the replacement value of the structure.

Sincerely,

A handwritten signature in black ink, appearing to read 'Richard Uren', written in a cursive, flowing style.

Richard Uren RA
Architect – Owner



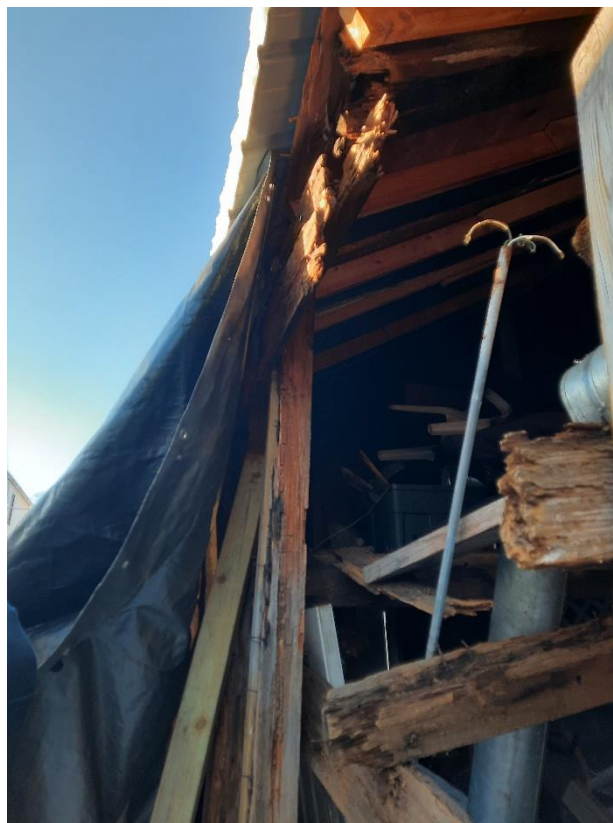
1 - Exterior of structure



2 - Unsupported roof framing



3 - Charred roof framing



4 - Rotted wood framing



5 - Sill rotated out of position



6 - West wall bowing out due to collar tie failure

Marquette Fire Department Notice of Condemnation

MARQUETTE CITY FIRE DEPARTMENT



CODE ENFORCEMENT DIVISION

418 South Third St.
Marquette, MI 49855
fire@marquettemi.gov



Fire Chief
Ian Davis

Fire Marshal
Jeff Fossitt
906-225-8941

Rental Inspector
Brian Anderson
906-225-8999

Administrative Assistant
Jen Jakubowski
906-225-8596

01-09-25

Charles Morrison
308 S Fifth Street
Marquette, MI, 49855

On 1-9-25 at approximately 10:00AM, an Administrative Search Warrant was executed at 308 S. Fifth Street Marquette Michigan. The purpose of the Administrative Search Warrant is to determine the structural integrity of the garage per the International Property Maintenance Code (IPMC) 2021, Section 111.

It has been determined by Structural Engineer Richard Uren that the structure is not safe to enter or use for any purpose. Please see attached structural assessment.

I have posted the garage as "Condemned" Due to the extent of structural damage of the garage. Zoning Technician Eric Paupore was present during the search due to open Zoning enforcement at this property.

If you have any questions or concerns, please contact me at (906)225-8941.

Thank you,

Jeff Fossitt

Fire Marshal
Marquette Fire Department

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

New Business

Commissioner Davis Travel Reimbursement

BACKGROUND:

Commissioner Davis attended the Great Lakes and St. Lawrence Cities Initiative held in Milwaukee, Wisconsin May 13-16, 2025. The following check will be issued for travel expenses incurred:

Commissioner Sally Davis, Check #8147(A), \$657

FISCAL EFFECT:

Total travel cost is \$657. Adequate funds are available within the Fiscal Year 2025 City Commission travel budget.

RECOMMENDATION:

Approve travel reimbursement for Commissioner Davis in the amount of \$657 for the Great Lakes and St. Lawrence Cities Initiative.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

No Attachments Available

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

New Business

Superior Watershed Partnership 25th Anniversary Proclamation

RECOMMENDATION:

Approve the Proclamation and authorize the Mayor to sign.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- ▣ Proclamation



Proclamation

25th Anniversary of the Superior Watershed Partnership

WHEREAS, the Superior Watershed Partnership (SWP) was founded as a Great Lakes non-profit organization with a mission to protect and improve the natural resources of Michigan's Upper Peninsula through science-based solutions and community engagement; and,

WHEREAS, over the past 25 years, the SWP has become a national leader in innovative environmental programs, including climate adaptation, native species restoration, green infrastructure, and pollution prevention and has set national records for pollution prevention and implements innovative, science-based programs that achieves documented, measurable results; and,

WHEREAS, the City of Marquette has been a proud and long-standing partner of the Superior Watershed Partnership, working together to enhance Lake Superior shoreline protection, support renewable energy projects, improve stormwater infrastructure, promote environmental education and stewardship, and recreate City shoreline; and,

WHEREAS, through collaborative projects such as beach monitoring, invasive species mitigation, and sustainability planning, the SWP has directly improved the quality of life and environmental health for Marquette residents; and,

WHEREAS, the SWP's commitment to local workforce development, including the Great Lakes Conservation Corps and youth employment opportunities, has benefited the region's economic and environmental resilience; and,

WHEREAS, the City of Marquette recognizes the essential role that environmental organizations like the SWP play in protecting public health, fostering a sustainable future, and strengthening our community through science and service; and,

WHEREAS, the City of Marquette acknowledges and commends the scope and breadth of the millions of dollars of grant funding secured through the partnership between the SWP and the City, funding that would not have otherwise been possible; and,

NOW THEREFORE, the Mayor and City Commission of the City of Marquette do hereby recognize and celebrate the 25th Anniversary of the Superior Watershed Partnership, commend its accomplishments and leadership, and express gratitude for the continued partnership and positive impact on the City of Marquette and its residents.

DATED this 9th day of June, 2025.

Jessica Hanley, Mayor

City of Marquette, MI

300 West Baraga Avenue
Marquette, MI 49855

Agenda Date: 6/9/2025

New Business

Attorney-Client Privileged Memo – Kruhak v City of Marquette, et al.

BACKGROUND:

The City has received an attorney-client privileged memorandum from its insurance defense attorney Gretchen L. Olsen, with Nauts, McKinney, Dwaihy & Beach, PLLC regarding the lawsuit filed by Igor Kruhak against the City.

FISCAL EFFECT:

None.

RECOMMENDATION:

Enter closed session pursuant to the Michigan Open Meetings Act [MCL 15.268(8)(h)] to “consider material exempt from discussion or disclosure by state or federal statute”, which exemption includes the consideration of “information or records subject to the attorney-client privilege” pursuant to MCL 15.243(1)(g).

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

No Attachments Available