

Meeting Agenda City Commission

Monday, June 9, 2025 6:00 PM Commission Chambers 300 West Baraga Ave Marquette, Michigan 49855

Call to Order, Pledge of Allegiance and Roll Call

Approval of the Agenda

Announcements

Boards and Committees

 Reappointment(s)
 Amy Manning, Marquette County Solid Waste Management Authority, for a term ending 7-1-2028

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Presentation(s)

- 2. Board of Zoning Appeals, by Chair Heather Dombrowski
- 3. Consent Agenda Roll Call Vote
 - 3.a. Approve the minutes of the May 27, 2025 regular Commission meeting
 - **3.b.** Approve the total bills payable in the amount of \$346,759.08 which excludes \$657 in City Commission travel reimbursement, this reimbursement will be New Business item #4.
 - **3.c.** AWH Change Order Presque Isle Bandshell Professional Services
 - **3.d.** Application for License to Use City Property adjacent to 1148 W. Washington Street
 - **3.e.** Becky's Roadside Refreshment, LLC Presque Isle Park Concession Lease Agreement
 - 3.f. Becky's Roadside Refreshment, LLC Mattson Park Concession Lease Agreement
 - **3.g.** MERS Resolution Establishing Military Service Contribution Requirements for Defined Benefit Roll Call Vote
 - **3.h.** Schedule Public Hearing- 01-PUD-03-25
 - **3.i.** Schedule Public Hearing-Abatement of a Dangerous Structure 308 S. Fifth

Street

New Business

- 4. Commissioner Davis Travel Reimbursement
- 5. Superior Watershed Partnership 25th Anniversary Proclamation
- **6.** Attorney-Client Privileged Memo Kruhak v City of Marquette, et al.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Comments from the Commission

Comments from the City Manager

Adjournment

Kyle Whitney, City Clerk

If you require assistance to participate in any meeting, program or activity offered by the City of Marquette, please provide advanced notice to City of Marquette ADA Coordinator Eric Stemen at 906-225-8978 or via email at estemen@marquettemi.gov.

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

<u>Consent Agenda - Roll Call Vote</u> Approve the minutes of the May 27, 2025 regular Commission meeting

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

□ 05-27-25 Meeting Minutes

300 West Baraga Ave Marquette, Michigan 49855



Meeting Minutes City Commission

Tuesday, May 27, 2025 6:00 PM Commission Chambers

Call to Order, Pledge of Allegiance and Roll Call

Present: Davis, Gottlieb, Hanley, Larson, Mayer, Ottaway, Schloegel

Approval of the Agenda

Mayor Pro Tem Paul Schloegel moved to Approve the agenda as written, seconded by Commissioner Sally Davis and Carried Unanimously.

Announcements

Mayor Hanley asked staff to talk about the events happening this week related to the formulation of an Active Transportation Plan for the City.

Deputy City Manager Sean Hobbins said the City is currently working on the plan, which focuses on various forms of travel. He said that over the next two days, the City will host public engagement events, including pop-up activities during the day and evening workshops. He said the goal is to gather public input and meet people where they are and he said an online survey is also available to collect additional feedback.

Boards and Committees

1. Reappointment(s)

Madeline Goodman, Arts and Culture Advisory Committee, for a term ending 6-1-2028 George Patrick, Marquette Area Wastewater Treatment Advisory Board, for a term ending 6-1-2028

Commissioner Sally Davis moved to Approve the reappointments as listed, seconded by Commissioner Jermey Ottaway and Carried Unanimously.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Chelsey Wilkinson, representing Room at the Inn, expressed gratitude to the City Commission, City and Police leadership, and Room at the Inn's board for engaging in a productive discussion about the ordinance proposed tonight. She thanked officials for delaying the vote to allow for that dialogue and appreciated the commitment to revisit the ordinance in six months. She also encouraged the City to re-establish a homelessness

task force, involving nonprofits and public agencies at both the city and county levels. She said it was good to have this discussion about helping the homeless but also allowing the Police Department to protect the community.

Margaret Brumm spoke about her recent experiences in the City Police Department's Citizens Academy and spoke about the bike rodeo safety event happening this week. David Nyren said he supports limiting overnight occupation of public property and said that real solutions require investment in services like addiction treatment, job training, and mental health care. He said that allowing overnight occupation doesn't address root causes and could strain local resources.

David Campana spoke in support of water fluoridation, noting that the practice is widely used and that he believes it is safe.

Presentation(s)

2. Recognition of City Retiree - Battalion Chief Brian Talvensaari

Fire Chief Ian Davis spoke about retiring Battalion Chief Brian Talvensaari, who has spent 27 years with the Marquette City Fire Department. Originally from the Copper Country, Brian began his career as a volunteer firefighter, later serving in multiple roles including EMT, fire investigator, and hazmat technician. He also served on the Michigan Fire Safety Board and earned national certification. Commissioners thanked Mr. Talvensaari for his dedication and wished him well in retirement, noting he will be greatly missed.

Public Hearing(s)

3. Public Hearing - Single Lot Special Assessment Roll #592

Mayor Hanley opened the public hearing.

Marcus Cook commented, indicating that he was unhappy with the charge related to the City mowing his lawn. He voiced frustration with this process and said he was hoping to grow native plant species while maintaining his yard within the established limits.

Staff and Commissioners emphasized the standard City procedure, which includes multiple notices and efforts by staff to contact property owners. They said the charge largely reflects reimbursement for City-incurred costs and said the City now allows alternative landscaping under updated ordinances, provided residents follow a certification process.

With no one else looking to comment, Mayor Hanley closed the hearing.

Commissioner Cary Gottlieb moved to Approve confirm Single Lot Special Assessment Roll #592, and authorize the Mayor to sign the Warrant, seconded by Mayor Pro Tem Paul Schloegel and Carried Unanimously.

4. Consent Agenda - Roll Call Vote

Commissioner Michael Larson moved to Approve the Consent Agenda as written,

seconded by Commissioner Jermey Ottaway and Carried Unanimously by Roll Call Vote.

- **4.a.** Approve the minutes of the May 12, 2025 regular Commission meeting
- **4.b.** Approve the total bills payable in the amount of \$1,305,542.12
- **4.c.** 906 Adventure Team Non-Profit Status Roll Call Vote
- **4.d.** MEDC RAP 2.0 Grant Agreement
- 4.e. Application for License to Use City Property Adjacent to 113 W. Baraga Avenue
- **4.f.** Resolutions for Unpaid Stormwater and Unpaid Water and Wastewater Roll Call Vote
- **4.g.** Schedule Public Hearing Ordinance #25-07 for Land Development Code Amendments
- 4.h. US-41 Hospital Roundabouts Right-of-Way Conveyance

Unfinished Business

5. Ordinance #25-02: Overnight Occupation of Public Property

A motion originally made on April 14 was postponed to tonight's meeting, so the City Commission had the following motion pending: Commissioner Mayer moved to adopt Ordinance 25-05, and Mayor Pro Tem Schloegel seconded the motion.

Commissioner Cody Mayer now moved to amend this motion on the floor to append the words 'as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update and direct the Police Department to provide a monthly report to the Commission regarding the use of this ordinance until revisited later this year'. The motion was seconded by Commissioner Gottlieb and Commission discussion ensued.

The commission discussed the regular report that was being requested, including how it would be communicated, what data it would include and what value it brought.

Commissioner Mayer ultimately rescinded this motion.

Commissioner Mayer then moved to amend the still-pending motion on the floor to append the words 'as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update'. Mayor Pro Tem Schloegel seconded and the motion carried unanimously.

The City Commission then took up a voted on the now-amended motion "to adopt Ordinance 25-05 as amended and presented at the City Commission's May 27 meeting, and to direct staff to return to the Commission prior to 2026 with an update."

This motion carried unanimously by roll call vote.

New Business

6. Fire Department Community Risk/Standards of Cover/Compensation Study

Commissioner Michael Larson moved to Approve approve the Fitch & Associates, LLC proposal for consulting services for \$49,995, and authorize the Mayor and Clerk to sign the agreement, seconded by Commissioner Jermey Ottaway and Carried Unanimously.

Public Comments - Comments may not exceed three minutes per person. Please state your name and physical address when making public comments.

Margaret Brumm talked about issues on Presque Isle.

Briella Kovacs wished Happy Birthday to Karen Kovacs, and led those present in singing happy birthday.

Comments from the Commission

Commissioner Ottaway wished the City Manager a happy birthday and thanked all parties for working together to find equitable solutions to the issues discussed tonight.

Commissioner Davis echoed these sentiments and then offered a brief summary of a conference focused on freshwater communities from the U.S. and Canada.

Commissioner Gottlieb also praised the work put into the ordinance conversation tonight.

Commissioner Larson acknowledged efforts by Room at the Inn, city staff, and police in addressing the issues discussed tonight. He said tonight's vote marked a step forward.

Mayor Pro Tem Schloegel praised tonight's efforts and encouraged revisiting the idea of a regional homelessness task force. He also mentioned the seasonal uptick in activity in Marquette and urged residents to be cautious of increased traffic and people on bike paths.

Commissioner Mayer thanked staff for putting so much work into the ordinance and shared that he was recently appointed to the housing and utility board for the Sault Tribe, representing the Marquette and Munising areas.

Mayor Hanley said that while the commission took a step forward, solving homelessness will require addressing root causes, and she supported the idea of reviving the community-wide homelessness task force.

Comments from the City Manager

City Manager Karen Kovacs provided updates about repairs in city parks and discussed plans to revisit tonight's discussion before the end of the year.

Jessica Hanley, Mayor	Kyle Whitney, City Clerk
Mayor Hanley adjourned the mee	eting at 7:02 p.m.

Adjournment

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300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote AWH Change Order - Presque Isle Bandshell Professional Services

BACKGROUND:

At the March 25, 2024 regular meeting, the City Commission awarded the design contract for the Presque Isle Bandshell to AWH Architects, LLC of Minneapolis, Minnesota in the amount of \$99,760.

At the October 28, 2024 meeting, the Commission approved a change order for \$21,300 for geotechnical assessment, 3D drawings and additional design time.

AWH is a second change order to accommodate additional design work performed to meet the needs of the City Band and additional construction administration hours for the landscape architect, structural engineer and general oversight. The total request for this change order is \$27,280.

Generally professional services are 10% or less of the project total. With the increase in size and scope of the project from the professional services request for proposals, total contract with change orders comes to \$148,340 or approximately 6.6% of the total project costs.

FISCAL EFFECT:

A budget amendment will be required. City Band has committed to raising all additional funds needed for this project.

RECOMMENDATION:

Approve change order 2 with AWH Architects in the amount of \$27,280, and authorize the City Manager or her designee to sign it.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Change Order 2



Peg Hirvonen Bandshell 5/21/2025

Add Service 02 (via email)

City of Marquette,

The Peg Hirvonen Bandshell original RFP and AWH design team budget was based upon a structure with an estimated construction cost of \$1M. After collaborative design efforts, the current Miron construction cost bid accepted for the bandshell is \$2,084,175. Due to scope these scope changes and the additional work to continue to provide architectural services, AWH would like to request the following add service fees.

Additional Construction Administration design time:

- 1. Additional AWH Construction Documentation fee (40 hours Jan-March) \$8,000
- 2. Additional AWH CA fee (81 additional CA hours) \$16,280
- 3. Additional Structural Engineering CA time: 12 hours @ \$150/hr = \$1,800
- 4. Additional Landscape Architect CA time: 8 hours @ \$150/hr = \$1,200

Requested Architectural and Consultant fees for this Add Service: \$27,280.

If acceptable, please sign and return.

Alex Haecker, AIA, NCARB

WI License #13712-5

Name/Title:

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote Application for License to Use City Property adjacent to 1148 W. Washington Street

BACKGROUND:

Erik Anderson, CFO of 3GEN Marquette Holdings, LLC (owner of Fleet Supply store at 1148 W. Washington Street) has submitted an application to continue the use of portions of the right-of-way on the north side of W. Washington Street and directly south of the Fleet Supply store, for monitoring wells that were required to be located there due to the underground fuel storage tanks that were in place for many years at the former Shopko store property. This application was required as a result of a change in ownership of the 1148 W. Washington Street property.

FISCAL EFFECT:

The application fee of \$460 and has been paid.

RECOMMENDATION:

Approve the License and execute the Grant of License document.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

- Application Exhibit 05-PRU-05-25
- Grant of License signed by applicant 05-PRU-05-25

PRINT

Municipal Service Center Community Development Office 1100 Wright St. Marquette, MI 49855

CITY OF MARQUETTE APPLICATION FOR LICENSE/EASEMENT OF CITY-OWNED PROPERTY



CITY STAFF USE
Date Submitted: 3-17-25 Parcel ID#: 05/3740 File #: 05-PRU-04-25
Date Submitted: 3-17-25 Parcel ID#: 05/3740 File #: 05-PRU-04-25 Property Address/Location: 1148 W. WISM NG-DM
Adequate Graphic Image or Legal Description Submitted: (Y/) N
Receipt #: 930218 Check #: 379759 Received by and date: #C 31725 (MALL)

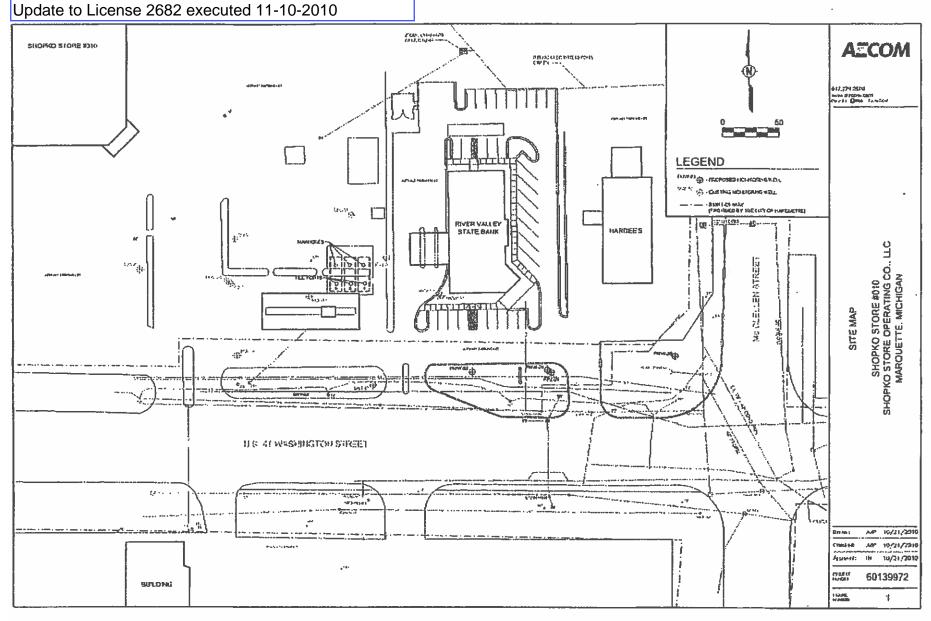
FEE \$460 (We can only accept Cash or Check (written to the City of Marquette))

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS! If you have any questions, please call 228-0425 or e-mail dstensaas@marquettemi.gov.

property/location of the requested license/easement?
rtte, mx 49855
LEGAL NAME OF PROPERTY OWNER
NAME(S) ON PROPERTY DEED
Name(s): 36EN Marguette Holdings
110
Address: 1200 E Hwy 169
City, State, Zip: Grand Rapids MW 557
Phone #: 218 326 9451
Email: erile. andersen @ lousepply.c
SCRIPTION
ense/easement for use of the City property:

LEGAL or GRAPHIC LOCATION DESCRIPTION
A surveyed legal description of the license/easement area or a graphic image of the approximate requested license
area is required. City staff can provide an aerial photo of the subject property/area to assist with creating a graphic
location description/exhibit for the application.
see Exhibit A
You may attach sketches, maps, photos, or other items that may help to illustrate/visualize your request. Community Development staff will attach a photo-map of the area. Attachments: Exhibit A - original exhibit
SIGNATURE
I understand that this application itself is not considered an approval and only the Marquette City Commission has the authority to grant an approval for a license/easement for use of property owned by the City of Marquette.
Signature:

Exhibit A 05-PRU-04-25 Grant of License for monitoring wells in Washington St. right-of-way



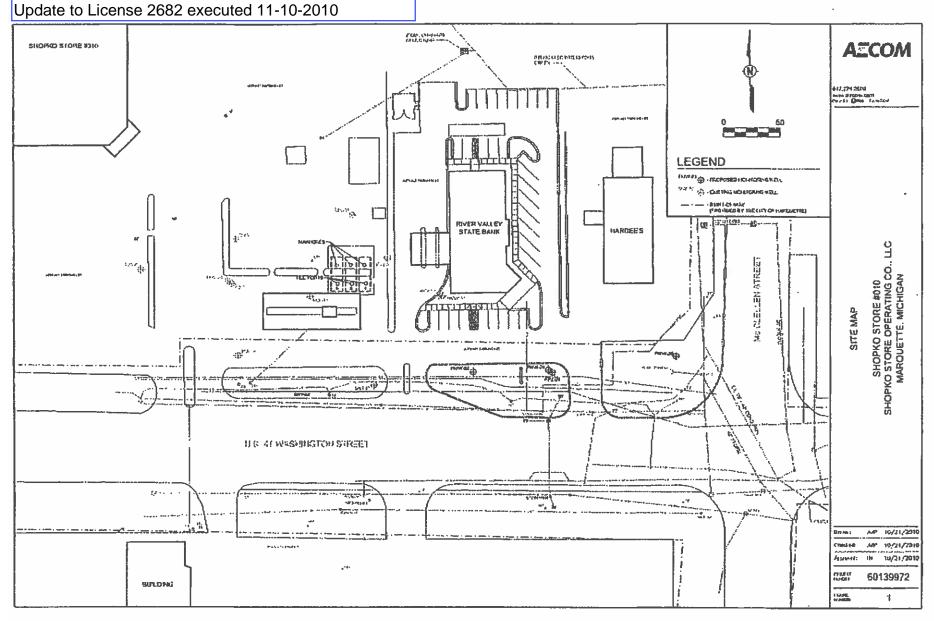
GRANT OF LICENSE

THE CITY OF MARQUETTE, a municipal corporation of 300 W. Baraga Ave., Marquette, MI 49855, ("City"), and 3GEN Marquette Holdings, LLC, a Michigan limited liability company of 1200 E. Hwy 169, Grand Rapids, MN 55744, ("3GEN") licensee, enter into this agreement on _______, 2025, subject to the following conditions:

- Background. The City owns the Washington Street right-of-way, in the City of Marquette, and State of Michigan.
 3GEN desires to use a portion of the pubic right-of-way corridor to construct and maintain Monitoring Wells ("Well"), on the real estate and to the specifications set forth in Exhibit A.
- 2. Grant of the license. In consideration of \$460.00, the City grants to 3GEN the right to construct the Wells on the real estate and to the specifications set forth in Exhibit A.
- 3. Construction and Maintenance. 3GEN shall construct, and at all times while this License is in effect, maintain the Wells in good repair. 3GEN shall be responsible for all fees and expenses related to the construction and maintenance of the Wells and real estate described in Exhibit A.
- 4. <u>Use.</u> The right to use the real estate described in Exhibit A is not exclusive, however as long as this License is in effect, the City shall not permit any use contrary to the Wells except as may be necessary to install, repair, remove or replace utilities. In the event the City repairs, removes or replaces utilities, 3GEN shall be responsible for any removal of, repair to or replacement of the Wells in connection with utility work. 3GEN shall not use the real estate for any purpose except as specifically allowed within this agreement, and shall not alter, injure or damage the City's public right of way.
- Reimbursement for damages. 3GEN shall reimburse the City for any physical damages to the City's public right of way caused by 3GEN's use on the real estate. 3GEN, and any successor or assign shall indemnify, defend and hold harmless the City from and against any demand, claim, action or cause of action, assessment, loss, damage, liability cost and/or expense, including but not limited to, interest, penalties, consultants fees and expenses, and attorneys' fees and expenses, asserted against, imposed upon or incurred by the City due solely to 3GEN's use. 3GEN's obligations under this provision shall not extend to claims, losses, expenses or damages arising out of or in any way attributable to the negligence of the City or its agents, consultants, or employees. 3GEN reserves the right to control the defense and settlement of any claim for which 3GEN has an obligation to indemnify hereunder.
- 6. Revocation. This License may be revoked by either party at any time by providing at least 90 days' written notice of termination to the other party. On the termination date, all rights and obligations of the parties shall cease and on or before the termination date, 3GEN shall remove the Wells from the real estate, at its own expense. 3GEN shall not be entitled to a reimbursement for any portion of the fee previously paid to the City.
- 7. <u>Personal Interest.</u> The rights granted herein are personal to 3GEN, and terminate upon the transfer of ownership of 3GEN's premises.
- 8. Entire Agreement. This Grant of License constitutes the entire agreement between the parties.

The said parties have caused this do	cument to be executed the day and year first written
above.	CITY OF MARQUETTE
	By: Jessica Hanley Its: Mayor
	By: Kyle Whitney Its: Clerk
STATE OF MICHIGAN) COUNTY OF MARQUETTE)	
Acknowledged before me in Marquett by Jessica Hanley, Mayor and Kyle Whitney, corporation.	te County, Michigan, on, 2025, Clerk, of the City of Marquette, a Michigan municipal
	, Notary Public State of Michigan, County of Marquette My Commission Expires: Acting in the County of Marquette
	3GEN MARQUETTE HOLDINGS, LLC
	By: Erik Andersen Its: C.F.
Minnesota STATE OF MICHIGAN COUNTY OF MARQUETTE Itasca Itasca	Minnesota
by Enk Andersen, CFO	county, Michigan, on May 14 , 2025, of 3GEN Marquette Holdings, LLC.
DARLÊNE SUE PETERS Z NOTARY PUBLIC Z MINNESOTA Z My Comm Exp Jan. 31 2029 Z	Darlone Peters, Notary Public State of Michigan, County of Marquette Minnesota, county of My Commission Expires: Jan. 31, 2029 Acting in the County of Marquette Itasca

Exhibit A 05-PRU-04-25 Grant of License for monitoring wells in Washington St. right-of-way



300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote Becky's Roadside Refreshment, LLC - Presque Isle Park Concession Lease Agreement

BACKGROUND:

Becky's Roadside Refreshment, LLC, of Marquette, Michigan, has requested a renewal of the lease agreement to provide concession services at Presque Isle Park. Staff has worked with the City Attorney and Becky's Roadside Refreshment, LLC to draft a standard lease agreement which includes the relevant terms and conditions. The lease is a three-year term, from May 1 through September 30, during the 2025 through 2027 seasons. The rent during operations is \$600.00/month, including utilities.

This is the first read of two required reads for a lease agreement.

FISCAL EFFECT:

The General Fund will receive \$3,000 in revenue each of the three years.

RECOMMENDATION:

Move the lease agreement with Becky's Roadside Refreshment, LLC for concession space at Presque Isle Park to the next regularly scheduled meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Lease, Exhibit A and Insurance

LEASE AGREEMENT

THIS AGREEMENT, made and entered into this day of	_ 2025, by and
between the CITY OF MARQUETTE, a Michigan municipal corporation, of 300 W. I	Baraga Avenue,
Marquette, Michigan 49855, hereinafter ("Lessor"), and BECKY'S ROADSIDE REF	RESHMENT,
LLC, a Michigan limited liability company of 130 W. Washington Street, Ste #	l-7, Marquette,
Michigan 49855, hereinafter ("Lessee").	

Recitals

- A. Lessor is the owner and operator of the concession stand at Presque Isle Park, Marquette, Michigan.
- B. Lessee desires to lease and Lessor is willing to lease to Lessee the concession stand and all equipment currently located within it ("Premises") in accordance with the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual promises of the parties and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. Leased Premises

- 1.1 Lessor leases to Lessee the Premises, as shown on Exhibit A.
- 1.2 Lessee agrees to develop architectural and engineering plans for renovations to the Premises required to meet the specific needs of Lessee for Lessee's intended uses, if needed. Lessee shall be responsible for constructing all renovations as developed by Lessee, and Lessee shall obtain Lessor's written approval of all such plans and specifications prior to beginning any construction activity.
- 1.3 Lessee agrees that only equipment located within the Premises on the date of this Agreement is part of the Premises, and that Lessee takes said Premises and equipment "as is". Any other equipment needed by Lessee to operate the concessions shall be the sole responsibility of Lessee.

2. Term of Lease

2.1 The term of this lease is: May 1, 2025 through September 30, 2025;

May 1, 2026 through September 30, 2026; and May 1, 2027 through September 30, 2027.

3. Rent

3.1 Lessee shall be obligated to pay rent in the amount of \$600 per month (utilities included) for the Premises, due in advance on the first of each month for the entire term of this lease.

4. Use of Leasehold Premises

4.1 Lessee shall use the Premises only as a concession stand for food and beverages and not for any purpose that would:

- a) be deemed hazardous to the public or adjoining premises, including but not necessarily limited to fire, and environmental type hazards;
- b) constitute a violation of any public law or requirement;
- c) cause damage or injury to the Premises or any part of it (ordinary wear and tear excepted);
- d) interfere with normal operations of the Premises' heating, air conditioning, ventilating, plumbing, or other mechanical or electrical systems;
- e) constitute a public or private nuisance;
- f) alter the appearance of the Premises, except as provided herein, without prior written approval of the Lessor;
- g) permit noise or odors to be unreasonably dispelled from the Premises;
- h) place merchandise, materials, supplies, signs, or other things of any kind on the sidewalks or other common areas without Lessor approval;
- i) permit refuse to accumulate in or around Premises; or
- j) obstruct entryways.
- 4.2 Lessee is solely responsible for obtaining all necessary licenses and permits and otherwise complying with all laws while providing the concessions contemplated by this Agreement.
- 4.3 Lessee is solely responsible for development of menu items and pricing, for obtaining all supplies and products and for all costs related to its sale of food and beverages.

5. Use of Common Areas by Lessee

- 5.1 Lessee and its invitees shall have the right in common with Lessor, its invitees, and others to use the public restrooms, public parking, sidewalks, and surrounding area, subject, however, to all rules and regulations regarding the use of those areas.
- 5.2 Lessee's right to use to Presque Isle Island Store Pavilion ("Pavilion") is not exclusive. Lessor shall have the right, at all times, to rent the Pavilion to third party users. Lessee shall contact Lessor on a weekly basis in order to determine the dates and times the Pavilion has been rented to a third party user.

6. Maintenance and Repair

6.1 Lessee shall be responsible for all ordinary janitorial and cleaning of the Premises as provided in Exhibit A. Lessor shall provide trash receptacles for Premises and shall maintain those receptacles once per day. Any necessary additional refuse collection shall be the responsibility of the Lessee. Any refuse generated from preparation of goods or services shall be the sole responsibility of Lessee.

- 6.2 Lessee shall be solely responsible for the maintenance and repair of all equipment located on the Premises.
- 6.3 Lessee shall be solely responsible for the maintenance and repair of all of Lessee's fixtures, furniture and equipment and keep them in a safe condition and good repair.
- 6.4 Lessee must obtain written consent of Lessor for all signage used by Lessee on the Premises and adjoining premises. All signage approved by Lessor shall be maintained in good condition and repair.
- 6.5 Lessor reserves the right to make any repairs or alterations that it deems necessary and desirable to the common areas. Lessee will be notified of any repairs or alterations to the Premises at least 7 days in advance except in emergency situations.

7. Insurance and Indemnity

- 7.1 Lessee shall not permit any activity on or immediately adjacent to the Premises which would invalidate or be in conflict with Lessor's fire, boiler, sprinkler, water damage, and extended coverage insurance policies covering the Premises and contents therein. Lessor will provide Lessee with a copy of any and all relevant insurance policies.
- 7.2 Lessee shall not permit any activity on or immediately adjacent to the Premises which would cause Lessor's rate for the insurance described herein to be increased. Lessor will provide Lessee with a list of any such activities.
- 7.3 Lessee at its sole expense shall be responsible for insuring its own tangible personal property, equipment, and fixtures from loss from fire and other casualty and shall at all times provide Lessor with a certificate evidencing such coverage.
- Lessee at its sole expense shall maintain liability insurance protecting and insuring Lessee and Lessor from all claims for injury or damage to persons or property arising out of the use of the Premises and adjacent areas by Lessee, its employees, agents, invitees, and licensees. The amount of the insurance shall be not less than One Million Dollars (\$1,000,000.00) per occurrence for accident, bodily injury, or death and not less than Five Hundred Thousand Dollars (\$500,000.00) for property damage. Lessee shall provide Lessor with a copy of said policies with proof of payment of premium thereon. The insurance policies shall bear endorsements to the effect that the insurer agrees to notify Lessor not less than thirty (30) days in advance of any modification or cancellation thereof. Lessor shall be named as an additional insured on all insurance policies required by this lease.
- 7.5 Lessee will indemnify and hold Lessor harmless from and against all loss, cost, expense and liability whatsoever (including Lessor's cost of defending against the foregoing; such cost to include attorneys' fees) resulting or occurring by reason of Lessee's construction on, use of, or occupancy of the Premises.

8. Damage by Fire or Other Causes

8.1 If the Premises is partially damaged by fire or other peril without the fault or neglect of Lessee or of its servants, employees, agents, visitors, invitees or licenses, the damage shall be repaired

by Lessor at Lessor's expense. If the Premises is substantially damaged (herein defined as fifty percent (50%) or more of the cost of replacement), Lessor may elect either to repair or rebuild the leasehold or the pool building, as the case may be, or to terminate this lease upon giving notice of such election in writing to Lessee within ninety (90) days after the event causing the damage. If Lessor elects to rebuild instead of terminating the lease, Lessor will rebuild something substantially similar to the current Premises, and Lessee shall in a timely manner repair or replace its fixtures, furniture, equipment and improvements to at least the condition of same prior to the damage.

9. Assignment/Subletting

- 9.1 Lessee shall not assign this Agreement.
- 9.2 Lessee shall not sublet the Premises or any part thereof without the express prior written consent of the Lessor.
- 9.3 In no event shall a sublease be allowed that would jeopardize the tax-exempt status of the City.
- 9.4 Lessor may freely assign its rights and obligations under this Lease Agreement to any third party pursuant to a Purchase and Sale Agreement, Land Contract or similar instrument.

10. Use of Premises by Lessor

10.1 Lessor reserves for itself and its contractors and agents the right to enter the Premises at reasonable times for the purpose of inspecting, maintaining, installation, operation and repair services. This paragraph does not change the parties' obligations with regarding to maintenance and repairs as otherwise set forth herein.

11. Covenant of Quiet Enjoyment

11.1 Lessor warrants and represents that it has full authority to execute this lease for the above term. Lessor covenants that upon Lessee paying the rents and performing its covenants and duties prescribed herein, Lessee may, except as otherwise described herein, have the exclusive and reasonable right to have, hold and enjoy the leasehold.

12. Lessor's Right to Perform Lessee's Obligation

12.1 If Lessee defaults in any term of this lease, Lessor may, without thereby waiving the default, remedy the default at Lessee's expense. If, in connection therewith, Lessor makes any expenditure or incurs any obligation for the payment of money or in instituting, prosecuting, or defending any action or proceeding commenced before or during the term of this lease, or after the expiration or termination of this lease including, but not necessarily limited to, legal expenses and attorneys' fees, Lessee shall pay to Lessor on demand the sums paid or obligations incurred together with legal fees and costs.

13. Default by Lessee

13.1 If the Lessee fails to perform any other obligations under this agreement within 30 days after receiving written notice of the default from the Lessor; if the Lessee makes any assignment for the benefit of creditors or a receiver is appointed for the Lessee or its property; or if any

proceedings are instituted by or against the Lessee for bankruptcy (including reorganization) or under any insolvency laws, the Lessor may terminate this lease, reenter the Premises, and seek to relet the Premises on whatever terms the Lessor thinks advisable. Notwithstanding reentry by the Lessor, the Lessee shall continue to be liable to the Lessor for rent owed under this lease and for any rent deficiency that results from reletting the premises during the term of this lease. Notwithstanding any reletting without termination, the Lessor may at any time elect to terminate this lease for any default by the Lessee by giving the Lessee written notice of the termination.

- In addition to the Lessor's other rights and remedies as stated in this lease, and without waiving any of those rights, if the Lessor deems necessary any repairs that the Lessee is required to make or if the Lessee defaults in the performance of any of its obligations under this lease, the Lessor may make repairs or cure defaults and shall not be responsible to the Lessee for any loss or damage that is caused by that action. The Lessee shall immediately pay to the Lessor, on demand, the Lessor's costs for curing any defaults, as additional rent under this lease.
- 13.3 The rights and remedies of Lessor shall be cumulative as more particularly provided at law or in equity pursuant to the laws of the State of Michigan.

14. Surrender of Leasehold Upon Termination of Lease

- 14.1 All renovations and improvements shall be at Lessee's expense and shall be considered fixtures and owned by Lessor upon termination of lease. Upon the expiration or termination of the lease, Lessee shall surrender the Premises in good order and condition, ordinary wear and tear excepted, and shall remove all of its property, fixtures, and equipment from the Premises. In removing its equipment, Lessee shall be solely liable for repairing any and all damages to the Premises. In the event that the Lessee fails to remove its equipment, and Lessor is required to do so, all costs and expenses incurred by Lessor in removing same and restoring the leasehold to useable condition shall be the financial responsibility of the Lessee.
- 14.2 If upon termination of the lease, Lessee has failed to remove its furniture, equipment, and fixtures, Lessor reserves the right to deem them abandoned and shall have the legal right to dispose of same, and costs incurred in disposing of same shall be the financial responsibility of Lessee.

15. Miscellaneous

- 15.1 Lessee, at its sole option, may continue with the current security system at the same cost currently charged to Lessor by contacting Range Corporation directly.
- 15.2 This agreement shall be binding on the parties and inure to the benefit of the Lessor and Lessee and their respective successors and assigns.
- 15.3 This agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 15.4 This agreement shall constitute the entire agreement between the parties. Any prior understanding or representation of any kind preceding the date of this agreement shall not be binding upon either party except to the extent incorporated herein.

- 15.5 Any modification of this agreement or additional obligations assumed by either party in connection with this agreement shall be binding only if evidenced in a writing signed by each party or an authorized representative of each party.
- 15.6 Waiver by Lessor of any breach of any covenant of duty of Lessee under this lease is not a waiver of a breach of any other covenant of duty of Lessee or any subsequent breach of the same covenant or duty.
- 15.7 The invalidity of any portion of this agreement will not and shall not be deemed to affect the validity of any other provision. In the event that any provision of this agreement is held to be invalid, the parties agree that the remaining provisions shall be deemed to be in full force and effect as if they had been executed by both parties subsequent to the expungement of the invalid provision.
- 15.8 All notices to be given under this lease shall be in writing and mailed, postage prepaid, or by certified or registered mail, return receipt requested, or delivered personally or by courier delivery, or sent by telecopy (immediately followed by one of the preceding methods) to Lessor's address and Lessee's address as above stated or any other place that Lessor or Lessee may designate in a written notice given to the other parties. Notices shall be deemed served on the earlier of receipt or three (3) working days after the date of mailing.

The parties have set their hands on the day and year first above written.

CITY OF MARQUETTE	BECKY'S ROADSIDE REFRESHMENT, LLC				
Jessica Hanley, Mayor	By: Its:				
Kyle Whitney, City Clerk					
APPROVED AS TO SUBSTANCE:	APPROVED AS TO FORM:				
Karen M. Kovacs, City Manager	Suzanne C. Larsen, City Attorney				

EXHIBIT A





CERTIFICATE OF LIABILITY INSURANCE

DATE (MW/DD/YYYY) 06/02/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER					NAME: PHONE	Jessica N		I eav		
StateFarm Kara Applekamp					(A/C, No, Ext): 900-220-00-0 [(A/C, No):					
	2582 US Hwy 41 W				E-MAIL ADDRE	innaina@	karaapplekan	np.com		
						INSURER(S) AFFORDING COVERAGE				NAIC#
	Marquette			MI 49855	INSURE	RA: State Far	m Fire and Ca	sualty Company		25143
INSURED					INSURE	RB:				
	Becky's Roadside Refreshme	nts, i	LLC		INSURE	RC:				
	Attn: Rebecca Lloyd				INSURE	RD:				
	600 Altamont St Apt 202				INSURE	RE:				
	Marquette			MI 49855	INSURE	111				
COVERA	AGES CER	TIFIC	CATE	NUMBER:	REVISION NUMBER:					
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]		MED EXP (Any one person)	\$ 10,0	000
		Y	N	92-GD-W470-6		06/17/2025	06/17/2026	PERSONAL & ADV INJURY	\$	
GEN'	L AGGREGATE LIMIT APPLIES PER:					1	ĺ	GENERAL AGGREGATE	\$ 2,00	00,000
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DESCRIPTI	ON OF OPERATIONS / LOCATIONS / VEHIC	LES (ACOR	D 101, Additional Remarks Schede	ule, may i	be attached if mo	re space is requir	red)		
City of M	larquette added as Additional Insur	ed to	the	policy.						
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	10.170.110.170				0411	OFILIATION				
CERTIF	ICATE HOLDER				CAN	CELLATION				
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEF THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED ACCORDANCE WITH THE POLICY PROVISIONS.										
300 W Baraga Ave				AUTHO	ORIZED REPRESI	ENTATIVE	2			
Marquette MI 49855					Jestico Colla					
						© 19	988-2015 AC	ORD CORPORATION.	All rig	hts reserved.

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote Becky's Roadside Refreshment, LLC - Mattson Park Concession Lease Agreement

BACKGROUND:

Becky's Roadside Refreshment, LLC, of Marquette, Michigan, has requested a lease agreement to provide concession services at Mattson Park. Staff has worked with the City Attorney and Becky's Roadside Refreshment, LLC to draft a standard lease agreement which includes the relevant terms and conditions. The lease as a three-year term, from July 1 through September 30, 2025, and May 1 through September 30, during the 2026 and 2027 seasons. The rent during operations is \$600.00/month, including utilities. The facility requires a new floor to be installed. This lease allows for the lessee to provide renovations in lieu of rent. Rent will not be assessed for July of 2025 as renovations will most likely not be complete until August, but lessee would like access for preparations.

This is the first read of two required reads for a lease agreement.

FISCAL EFFECT:

Lessee will provide renovations in the amount of \$7,200 in lieu of rent.

RECOMMENDATION:

Move the lease agreement with Becky's Roadside Refreshment, LLC for concession space at Mattson Park to the next regularly scheduled meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Lease, Exhibit A and Insurance

LEASE AGREEMENT

THIS AGREEMENT, made and entered into this day of	$_$ 2025, by and
between the CITY OF MARQUETTE, a Michigan municipal corporation, of 300 W. E	Baraga Avenue,
Marquette, Michigan 49855, hereinafter ("Lessor"), and BECKY'S ROADSIDE REF	RESHMENT,
LLC, a Michigan limited liability company of 130 W. Washington Street, Ste #1	I-7, Marquette,
Michigan 49855, hereinafter ("Lessee").	

Recitals

- A. Lessor is the owner and operator of the concession stand at Mattson Park, Marquette, Michigan.
- B. Lessee desires to lease and Lessor is willing to lease to Lessee the concession stand and all equipment currently located within it ("Premises") in accordance with the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual promises of the parties and other good and valuable consideration, the receipt of which is hereby acknowledged, it is agreed as follows:

1. Leased Premises

- 1.1 Lessor leases to Lessee the Premises, as shown on Exhibit A.
- 1.2 Lessee agrees to develop architectural and engineering plans for renovations to the Premises required to meet the specific needs of Lessee for Lessee's intended uses, if needed. Lessee shall be responsible for constructing all renovations as developed by Lessee, and Lessee shall obtain Lessor's written approval of all such plans and specifications prior to beginning any construction activity.
- 1.3 Lessee agrees that only equipment located within the Premises on the date of this Agreement is part of the Premises, and that Lessee takes said Premises and equipment "as is". Any other equipment needed by Lessee to operate the concessions shall be the sole responsibility of Lessee.

2. Term of Lease

2.1 The term of this lease is: July 1, 2025 through September 30, 2025;

May 1, 2026 through September 30, 2026; and May 1, 2027 through September 30, 2027.

3. Rent

3.1 Lessee shall be obligated to pay rent in the amount of \$7,200 total over the course of the lease term. In lieu of monthly rent payments, Lessee shall provide renovations to the interior of the Premises in the minimum amount of \$7,200 prior to July 1, 2025, as coordinated with the Community Services Director.

4. Use of Leasehold Premises

4.1 Lessee shall use the Premises only as a concession stand for food and beverages and not for

any purpose that would:

- a) be deemed hazardous to the public or adjoining premises, including but not necessarily limited to fire, and environmental type hazards;
- b) constitute a violation of any public law or requirement;
- c) cause damage or injury to the Premises or any part of it (ordinary wear and tear excepted);
- d) interfere with normal operations of the Premises' heating, air conditioning, ventilating, plumbing, or other mechanical or electrical systems;
- e) constitute a public or private nuisance;
- f) alter the appearance of the Premises, except as provided herein, without prior written approval of the Lessor;
- g) permit noise or odors to be unreasonably dispelled from the Premises;
- h) place merchandise, materials, supplies, signs, or other things of any kind on the sidewalks or other common areas without Lessor approval;
- i) permit refuse to accumulate in or around Premises; or
- j) obstruct entryways.
- 4.2 Lessee is solely responsible for obtaining all necessary licenses and permits and otherwise complying with all laws while providing the concessions contemplated by this Agreement.
- 4.3 Lessee is solely responsible for development of menu items and pricing, for obtaining all supplies and products and for all costs related to its sale of food and beverages.

5. Use of Common Areas by Lessee

5.1 Lessee and its invitees shall have the right in common with Lessor, its invitees, and others to use the public restrooms, public parking, sidewalks, and surrounding area, subject, however, to all rules and regulations regarding the use of those areas.

6. Maintenance and Repair

- 6.1 Lessee shall be responsible for all ordinary janitorial and cleaning of the Premises as provided in Attachments 1 and 2. Lessor shall provide trash receptacles for Premises and shall maintain those receptacles once per day. Any necessary additional refuse collection shall be the responsibility of the Lessee. Any refuse generated from preparation of goods or services shall be the sole responsibility of Lessee.
- 6.2 Lessee shall be solely responsible for the maintenance and repair of all equipment located on the Premises.

- 6.3 Lessee shall be solely responsible for the maintenance and repair of all of Lessee's fixtures, furniture and equipment and keep them in a safe condition and good repair.
- 6.4 Lessee must obtain written consent of Lessor for all signage used by Lessee on the Premises and adjoining premises. All signage approved by Lessor shall be maintained in good condition and repair.
- 6.5 Lessor reserves the right to make any repairs or alterations that it deems necessary and desirable to the common areas. Lessee will be notified of any repairs or alterations to the Premises at least 7 days in advance except in emergency situations.

7. Insurance and Indemnity

- 7.1 Lessee shall not permit any activity on or immediately adjacent to the Premises which would invalidate or be in conflict with Lessor's fire, boiler, sprinkler, water damage, and extended coverage insurance policies covering the Premises and contents therein. Lessor will provide Lessee with a copy of any and all relevant insurance policies.
- 7.2 Lessee shall not permit any activity on or immediately adjacent to the Premises which would cause Lessor's rate for the insurance described herein to be increased. Lessor will provide Lessee with a list of any such activities.
- 7.3 Lessee at its sole expense shall be responsible for insuring its own tangible personal property, equipment, and fixtures from loss from fire and other casualty and shall at all times provide Lessor with a certificate evidencing such coverage.
- Lessee at its sole expense shall maintain liability insurance protecting and insuring Lessee and Lessor from all claims for injury or damage to persons or property arising out of the use of the Premises and adjacent areas by Lessee, its employees, agents, invitees, and licensees. The amount of the insurance shall be not less than One Million Dollars (\$1,000,000.00) per occurrence for accident, bodily injury, or death and not less than Five Hundred Thousand Dollars (\$500,000.00) for property damage. Lessee shall provide Lessor with a copy of said policies with proof of payment of premium thereon. The insurance policies shall bear endorsements to the effect that the insurer agrees to notify Lessor not less than thirty (30) days in advance of any modification or cancellation thereof. Lessor shall be named as an additional insured on all insurance policies required by this lease.
- 7.5 Lessee will indemnify and hold Lessor harmless from and against all loss, cost, expense and liability whatsoever (including Lessor's cost of defending against the foregoing; such cost to include attorneys' fees) resulting or occurring by reason of Lessee's construction on, use of, or occupancy of the Premises.

8. Damage by Fire or Other Causes

8.1 If the Premises is partially damaged by fire or other peril without the fault or neglect of Lessee or of its servants, employees, agents, visitors, invitees or licenses, the damage shall be repaired by Lessor at Lessor's expense. If the Premises is substantially damaged (herein defined as fifty percent (50%) or more of the cost of replacement), Lessor may elect either to repair or rebuild the leasehold or the pool building, as the case may be, or to terminate this lease upon giving notice of such election in writing to Lessee within ninety (90) days after the event causing the

damage. If Lessor elects to rebuild instead of terminating the lease, Lessor will rebuild something substantially similar to the current Premises, and Lessee shall in a timely manner repair or replace its fixtures, furniture, equipment and improvements to at least the condition of same prior to the damage.

9. Assignment/Subletting

- 9.1 Lessee shall not assign this Agreement.
- 9.2 Lessee shall not sublet the Premises or any part thereof without the express prior written consent of the Lessor.
- 9.3 In no event shall a sublease be allowed that would jeopardize the tax-exempt status of the City.
- 9.4 Lessor may freely assign its rights and obligations under this Lease Agreement to any third party pursuant to a Purchase and Sale Agreement, Land Contract or similar instrument.

10. Use of Premises by Lessor

10.1 Lessor reserves for itself and its contractors and agents the right to enter the Premises at reasonable times for the purpose of inspecting, maintaining, installation, operation and repair services. This paragraph does not change the parties' obligations with regarding to maintenance and repairs as otherwise set forth herein.

11. Covenant of Quiet Enjoyment

11.1 Lessor warrants and represents that it has full authority to execute this lease for the above term. Lessor covenants that upon Lessee paying the rents and performing its covenants and duties prescribed herein, Lessee may, except as otherwise described herein, have the exclusive and reasonable right to have, hold and enjoy the leasehold.

12. Lessor's Right to Perform Lessee's Obligation

12.1 If Lessee defaults in any term of this lease, Lessor may, without thereby waiving the default, remedy the default at Lessee's expense. If, in connection therewith, Lessor makes any expenditure or incurs any obligation for the payment of money or in instituting, prosecuting, or defending any action or proceeding commenced before or during the term of this lease, or after the expiration or termination of this lease including, but not necessarily limited to, legal expenses and attorneys' fees, Lessee shall pay to Lessor on demand the sums paid or obligations incurred together with legal fees and costs.

13. Default by Lessee

13.1 If the Lessee fails to perform any other obligations under this agreement within 30 days after receiving written notice of the default from the Lessor; if the Lessee makes any assignment for the benefit of creditors or a receiver is appointed for the Lessee or its property; or if any proceedings are instituted by or against the Lessee for bankruptcy (including reorganization) or under any insolvency laws, the Lessor may terminate this lease, reenter the Premises, and seek to relet the Premises on whatever terms the Lessor thinks advisable. Notwithstanding reentry by the Lessor, the Lessee shall continue to be liable to the Lessor for rent owed under this lease and for

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- In addition to the Lessor's other rights and remedies as stated in this lease, and without waiving any of those rights, if the Lessor deems necessary any repairs that the Lessee is required to make or if the Lessee defaults in the performance of any of its obligations under this lease, the Lessor may make repairs or cure defaults and shall not be responsible to the Lessee for any loss or damage that is caused by that action. The Lessee shall immediately pay to the Lessor, on demand, the Lessor's costs for curing any defaults, as additional rent under this lease.
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- 15.8 All notices to be given under this lease shall be in writing and mailed, postage prepaid, or by certified or registered mail, return receipt requested, or delivered personally or by courier delivery, or sent by telecopy (immediately followed by one of the preceding methods) to Lessor's address and Lessee's address as above stated or any other place that Lessor or Lessee may designate in a written notice given to the other parties. Notices shall be deemed served on the earlier of receipt or three (3) working days after the date of mailing.

The parties have set their hands on the day and year first above written.

CITY OF MARQUETTE	BECKY'S ROADSIDE REFRESHMENT, LLC				
Jessica Hanley, Mayor	By: Its:				
Kyle Whitney, City Clerk					
APPROVED AS TO SUBSTANCE:	APPROVED AS TO FORM:				
Karen M. Kovacs, City Manager	Suzanne C. Larsen, City Attorney				

EXHIBIT A





PRODUCER

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 06/02/2025

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StateFarm Kara Applekamp						PHONE (A/C, No, Ext): 906-228-6645 (A/C, No):					
	2582 US Hwy 41 W E-MAIL ADDRESS: jessica@karaapplekamp.com										
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300 W Baraga Ave					AUTHORIZED REPRES	ENTATIVE					
Marquette M						MI 49855	Jesned InColla				
							@ 19	988-2015 AC	ORD CORPORATION.	All rig	hts reserved.

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote MERS Resolution Establishing Military Service Contribution Requirements for Defined Benefit - Roll Call Vote

BACKGROUND:

The City of Marquette is a participating municipality with the Municipal Employees' Retirement System of Michigan (MERS). Administration changes at MERS require the City to direct how MERS handles missed contributions for employees on military leave.

Option 1 establishes a plan to recoup employee contributions submitted on behalf of the employee while on military leave.

Option 2 treats the missed employee contributions as additional voluntary contributions with no recoupment from the employee.

FISCAL EFFECT:

Under Option 1, the City will submit the employee's contributions in advance. These contributions will be reimbursed by the employee, over time, when they return to work. This option results in a net zero fiscal impact.

Under Option 2, the City will make additional voluntary contributions equal to the estimated employee's contributions during military leave with no recoupment from the employee. This option increases the pension expenditure for that division.

RECOMMENDATION:

Approve the attached "Employer Resolution Establishing Military Service Contribution Requirements for Defined Benefit" selecting Option 1, and authorize the Chief Financial Officer to sign and execute the document.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Resolution Establishing Military Service Contribution Requirements (DB)

Employer Resolution Establishing Military Service Contribution Requirements for Defined Benefit



WHEREAS, the	is a participating municipality or court in the igan ("MERS"); and
contributions due to intervening Military service le	ocument, all missed Defined Benefit mandatory employee aves shall be reflected in the participating employer's overall as an alternative method is elected (default); no employee
this Resolution (or for a participating court, the Ch	tive, 20, the Governing Body adopts nief Judge by Administrative Order) for all present and future byee contributions due to intervening Military service be
time period equal to three times the duration of the	some or all missed mandatory employee contributions within a emilitary service from the date of reemployment, but not to exceed ted in proportion to the employee contributions received.
	employer contribution equal to the sum of the missed mandatory o employee contributions will be required from the participant.
MERS' Military Service contribution procedures at Plan Document may impact MERS' ability to adm	re subject to the MERS Plan Document. Changes to the inister this election in the future.
CERTIFICATION FOR PARTICIPATING MUNICI	PALITY OR COURT
I hereby certify that this Resolution was adopted by	by (check one):
☐ The Governing Body of the	at its meeting held on (Name of Municipality)
(dd/mm/yyyy)	
Administrative Order No. (Order Number) add	opted by the Chief Judge of the
(Name of Cou	, on urt)
Signature of Authorized Official:	, Date:(dd/mm/yyyy)
Printed name:	Title:

City of Marquette, MI

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote Schedule Public Hearing- 01-PUD-03-25

BACKGROUND:

Veridea Group submitted an application for Preliminary PUD Approval and Site Plan Review for a proposed Planned Unit Development (PUD) that includes a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street on the property previously known as the MGH Campus.

The Planning Commission reviewed the materials at their June 3, 2025 meeting and passed the following motion:

It was moved by S. Lawry, seconded by K. Clegg, and carried 7-0 that after review of the PUD site plan (includes pattern book items) dated May 5, 2025, and the Staff File Review/Analysis for 01-PUD-03-25, the Planning Commission, who previously established that the PUD met 7 out of 10 required objectives and the criteria to be eligible for a PUD of Section 54.323(F) of the Marquette City Land Development Code, and the preliminary PUD Plan meets Section 54.323(H) of the Marquette City Land Development Code, recommends that the PUD be approved by the Marquette City Commission with the condition that an amended plan be submitted to meet staff comments, particularly for the variances requested, for the final site plan review.

The next step in the process is for the City Commission to schedule and hold a public hearing to review the Planning Commission recommendation.

Minutes from the Planning Commission meeting will be available prior to the Public Hearing.

FISCAL EFFECT:

None.

RECOMMENDATION:

Schedule a Public Hearing on 01-PUD-03-25 for the June 30, 2025 Commission meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

n PUD Case File



CITY OF MARQUETTE PLANNING AND ZONING 1100 WRIGHT STREET MARQUETTE, MI 49855 (906) 228-0425 www.marquettemi.gov

MEMORANDUM

TO: Planning Commission

FROM: Andrea Landers, Zoning Official

DATE: May 28, 2025

SUBJECT: 01-PUD-03-25 (05-SPR-06-25) – Preliminary PUD plan review for W.

Magnetic St (Portion of PIN: 0410681))

The Planning Commission is being asked to review an application for a preliminary Planned Unit Development (PUD) approval. The Planning Commission determined that the proposed PUD met the criteria for qualification as a PUD at a public hearing on March 18, 2025. The Planning Commission is now prepared to conduct a public hearing for a preliminary site plan review and then draft a recommendation to the City Commission, who will determine whether to approve or deny the PUD at a public hearing to follow. If approved by the City Commission, the City Attorney will prepare a contract. After the contract is recorded, the applicant can submit a final site plan to the Planning Commission for their determination of conformity to the contract and compliance with the Land Development Code. Only after all these steps are completed and any conditions of approval are complied with can staff issue permits for the development of the PUD.

Please see the attached STAFF FILE REVIEW/ANALYSIS for a complete review of the proposal.

All notices have been sent in accordance with the Land Development Code and State Law. No correspondence has been received.

RECOMMENDED ACTION:

In accordance with the Land Development Code, the Planning Commission should hold a public hearing, review the proposed PUD site plan and support information provided in this packet, and make a recommendation to the City Commission regarding the proposed PUD.

It is also highly recommended that any recommendation regarding the PUD site plan include:

After review of the PUD site plan (includes pattern book items) dated May 5, 2025, and the STAFF FILE REVIEW/ANALYSIS for 01-PUD-03-25, the Planning Commission, who previously established that the PUD met 7 out of 10 required objectives and the criteria to be eligible for a PUD of Section 54.323(F) of the Marquette City Land Development Code, and the preliminary PUD Plan meets Section 54.323(H) of the Marquette City Land Development Code, recommends that the PUD be (approved/denied) by the Marquette City Commission (for the following reasons/with the following conditions).

 Staff recommends a condition of approval that an amended plan is submitted to meet staff comments for the final site plan review.

City of Marquette, MI

STAFF FILE REVIEW/ANALYSIS

Completed by Andrea Landers – Zoning Official Reviewed by David Stensaas – City Planner and Zoning Administrator



File Number: 01-PUD-03-25 (05-SPR-06-25)

<u>Date:</u> May 28, 2025

Project/Application: Preliminary PUD Approval and Site Plan Review for a

proposed Planned Unit Development (PUD) for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee

Street and Fourth Street.

Location: W. Magnetic Street (Between Lee St. and Fourth St.)

Parcel ID: Portion of 0410681

<u>Available Utilities:</u> Electricity, City Water, City Sewer, Natural Gas, and

Garbage Collection.

<u>Current Zoning:</u> MDR – Medium Density Residential

Surrounding Zoning: North: M-U – Mixed Use

South: MDR – Medium Density Residential

East: MDR - Medium Density Residential & M-U - Mixed

Use

West: MDR – Medium Density Residential

Zoning District and Standards:

Current Zoning – MDR

Section 54.308 MDR, Medium Density Residential District

(A) Intent

The MDR district is intended to establish and preserve medium density residential neighborhoods that present an environment acceptable to a range of users, including families of all types. Some additional non-residential compatible uses may be allowed. It is important to the community to preserve and enhance the pedestrian-friendly, compact neighborhood types where homes and buildings are of similar scale and character.

	(D) Dame itted Drive in al Uses		(C) C
	(B) Permitted Principal Uses		(C) Special Land Uses
•	Accessory Building or Structure	•	Cemetery
•	Accessory Use, Non-Single Family Residential Lots	•	Dwelling, Intentional Community
•	Accessory Use, Single-Family Residential Lots	•	Dwelling, Quadplex
•	Adult Foster Care, Family Home	•	Foster Family Group Home
•	Adult Foster Care, Small Group Home	•	Hospital Hospitality House
•	Child or Day Care, Family Home	•	Public or Governmental Building
•	Child or Day Care, Group Home	•	Recreational Use, Public
•	Child Care Center or Day Care Center	•	Religious Institution

City of Marquette, MI

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STAFF FILE REVIEW/ANALYSIS Page 2 of 12

- Dwelling, Accessory Unit
- Dwelling, Single-Family Detached
- Dwelling, Triplex
- Dwelling, Two-Family (Duplex)
- · Food Production, Minor
- Foster Family Home
- Home Occupation
- Home Office
- Homestays and Vacation Home
- Outdoor Entertainment and Community Events (Temporary)
- Residential Limited Animal Keeping
- Small Wind Energy Systems, Roof-Mounted
- Solar Energy Systems, <20kw- Accessory Use

- · School, Primary or Secondary
- · School, University
- Solar Energy Systems, ≥20kw to 2 MW -Accessory Use
- Supportive Housing Facility, Transitional and/or Permanent

(D) Dimensional Regulations for 1 Dwelling unit and other uses identified in Section 54.308						
Lot, Coverage, and Building Height Standards		Minimum Setbacks				
Min. Lot Area (sq. ft.)	4,500 <u>(C)</u>	Front Yard (ft.)	15 <u>(A), (B)</u>			
Min. Lot Width (ft.)	37.5 <u>(D)</u>	Side Yard (one) (ft.)	5 <u>(L)</u>			
Max. Impervious Surface Coverage (%)	<u>(S)</u>	Side Yard (total of 2) (ft.)	13 <u>(L)</u>			
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	20 <u>(L)</u>			
Max. Building Height of Accessory Building	<u>(L)</u>					
Max. Building Height (stories)	-					
Where there is a discrepancy between <u>Article 4</u> and this table, <u>Article 4</u> shall prevail.						

Where there is a discrepancy between <u>Section 54.306</u> and this table, <u>Section 54.306</u> shall prevail.

(E) Dimensional Regulations for 2 Dwelling Units						
Lot, Coverage, and Building Height Standards Minimum Setbacks						
Min. Lot Area (sq. ft.)	6,000 (C)	Front Yard (ft.)	15 <i>(A),(B)</i>			
Min. Lot Width (ft.)	50 (D)	Side Yard (one) (ft.)	10 (L)			
Max. Impervious Surface Coverage (%)	(S)	Side Yard (total of 2) (ft.)	20 (L)			
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	20 (L)			
Max. Building Height of Accessory Building	(L)					
Max. Building Height (stories)	-					
Where there is a discrepancy between Article 4 and this table	e, <i>Article</i> 4	shall prevail.				

(F) Dimensional Regulations for 3-4 Dwelling Units					
Lot, Coverage, and Building Height Standards		Minimum Setbacks			
Min. Lot Area (sq. ft.)	9,000 <i>(E)</i>	Front Yard (ft.)	15 <i>(A)</i>		
Min. Lot Width (ft.)	75 <i>(E)</i>	Side Yard (one) (ft.)	10 (H), (L)		
Max. Impervious Surface Coverage (%)	<u>(S</u>)	Side Yard (total of 2)	20 (H), (L)		
		(ft.)			
Max. Building Height of Primary Building (ft.) (Q)	31.5	Rear Yard (ft.)	30 <i>(H), (L)</i>		
Max. Building Height of Accessory Building	(L)				
Max. Building Height (stories)	-				
Max. Lot Coverage/ Ground Coverage	0.50				
Where there is a discrepancy between Article 4 and thi	is table, <i>Article 4</i>	shall prevail.			

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(G) References to Additional Standards					
Definitions	Exterior Lighting	Landscaping and Screening			
Article 2	<u>Section 54.802</u>	Article 10			
Subdivisions	Riparian Buffers	Signs			
Section 54.501	<u>Section 54.804</u>	Article 11			
Site Condominiums	Wetland Protection	Nonconformities			
Section 54.503	<u>Section 54.805</u>	Article 12			
Accessory Structures	Steep Slopes and Ridgelines	Zoning Permits			
Section 54.705	<u>Section 54.806</u>	<u>Section 54.1401</u>			
Fences and Walls	Parking, Loading, and Access Management	Site Plan Review			
Section 54.706	Article 9	<u>Section 54.1402</u>			

Section 54.1003 Landscaping Design Requirements

- (D) <u>Buffer and Greenbelt Requirements</u>.
 - (1) <u>Intent.</u> It is the intent of this section to provide suitable transitional yards for the purpose of reducing the impact of and conflicts between incompatible land uses abutting district boundaries.
 - (2) <u>Buffer and Greenbelt Schedule.</u> On any lot abutting a zoning district boundary, no structure, building or part thereof shall hereafter be erected, constructed, altered or maintained closer to the district boundary line than specified (in feet) in the following schedule (*Figure 50*). Where indicated, landscape planting is required.

Figure 50 - Required Buffer and Greenbelt Specifications:

DISTRICT IN WHICH BUFFER & GREENBELT IS REQUIRED	ABUTTING DISTRICT							
	LDR & MDR	MFR	МНР	M-U	CBD	GC & RC	C, M, & CR	I-M & BLP
LDR and MDR	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A

Proposed Zoning – PUD

Intent and Uses Allowed (staff comments, where applicable, are indicated in bold text):

Section 54.323 PUD, Planned Unit Development District

(A) Purpose. The Planned Unit Development (PUD) option is intended to encourage, with City approval, private or public development that is substantially in accord with the goals and objectives of the Community Master Plan. Development permitted under this Section shall be considered as an optional means of development only upon terms agreeable to the City. Use of the PUD option will permit flexibility in the regulation of land development and benefit the City by:

- (1) Encouraging innovation through an overall development plan to provide variety in design and layout.
- (2) Achieving economy and efficiency in the use of land, natural resources, energy, and in the provision of public services and utilities.
- (3) Encouraging the creation of useful open spaces particularly suited to the needs of the parcel in question.
- (4) Providing appropriate housing, employment, service, and shopping opportunities suited to the needs of residents of Marquette.
- (B) Use. The PUD may be used to:
 - (1) Permit nonresidential uses of residentially zoned areas.
 - (2) Permit residential uses of non-residentially zoned areas.
 - (3) Permit land uses and the mixing of land uses that would otherwise not be permitted, provided the objectives are supported by the Master Plan and the intent of this Ordinance and the resulting development promotes the public health, safety, and welfare without a material adverse impact on adjoining existing and planned uses.
- (C) <u>Minimum Size</u>. The minimum size of a PUD must be two (2) acres of contiguous land. However, the City Commission, upon recommendation from the Planning Commission, may permit a smaller PUD under the following circumstances:
 - (1) The proposed project has unique characteristics and benefits; and/or
 - (2) The parcel in question has unique characteristics that significantly impact development, such as unusual topography, tree stands, wetlands, poor soil conditions on portions of the parcel, water courses, unusual shape or proportions, or utility easements that cross the parcel.

In such case, the applicant must submit a letter to the City requesting a waiver of the minimum PUD size requirements. The request must be submitted at the time of the submittal of Concept and Request for Consideration of Project Qualifications (<u>Section 54.101(G)</u>). The Planning Commission shall review the request and make a recommendation to the City Commission. The City Commission shall make the final decision concerning a request to waive the PUD size requirements.

The City Commission waived the contiguous 2 Acre minimum requirement on April 14, 2025.

(D) Density, Layout, and Bulk.

- (1) Densities, setbacks, height, lot coverage, or lot sizes may be permitted that are different from the current zoning district and unique to the proposed PUD district, provided the other objectives of this Ordinance are met and the resulting development would promote the public health, safety, and welfare. The requirements of the Riparian Overlay District must be met.
- (2) The PUD shall be laid out so various land uses and building bulk relate to each other and to adjoining existing and planned uses with no material adverse impact of one use on another. Clustering development is encouraged in areas that are not located in the Riparian Overlay District.

(E) Definitions.

- (1) A "Planned Unit Development" (PUD) is a zoning district that shall apply to a specific parcel of land or several contiguous parcels of land, for which a comprehensive physical plan has been recommended by the Planning Commission, approved by the City Commission, and documented in a contract (PUD Agreement) between the City and site owner/developer. Such plan and contracted development will establish functional use areas and density patterns; will provide a fixed system of streets, public utilities, drainage, and other essential services; and account for similar factors necessary for and incidental to the intended land uses. The Planning Commission may, but is not required to, consider parcels separated by a public street as eligible for inclusion in a PUD.
- (2) A "Pattern Book" is a document prepared by the applicant's design firm that contains specific information on the site master plan, and architectural designs for planned buildings. Information should include specifications on building materials, size, and dimensions, building elevations, and site design elements such as pedestrian walkways, lighting, landscaping, and signage.
- (F) <u>Criteria for Qualifications.</u> The PUD option may be permitted anywhere in the City except in the Conservation and Recreation (CR) district. To be considered for the PUD option, it must be demonstrated that all of the following criteria are met:
- (G) Submittal of Concept and Request for Consideration of Project Qualifications.
 - Sections (F) and (G) have been omitted. The Planning Commission "qualified" the project for a PUD on March 18, 2025.
- (H) <u>Submittal and Approval of Preliminary PUD Plan.</u> An application for Preliminary PUD Plan approval may be made for consideration with the submission of the following materials and Planning Commission review. To expedite PUD projects, the Planning Commission, at its discretion, may waive submitted information required in <u>Section 54.101(H)</u> and <u>Error! Reference source not found.</u>:

STAFF FILE REVIEW/ANALYSIS Page 6 of 12

- (1) <u>Submittal of Proposed PUD Plan.</u> An application shall be made to the Community Development Department for review and recommendation by the Planning Commission that complies with the preliminary site plan information requirements of <u>Error! Reference source not found.</u>, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:
 - (a) A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor.

Provided.

(b) A topographic map of the entire area at a contour interval of not more than one (1) foot and spot elevations at intervals not to exceed fifty (50) feet, unless waived.

Provided.

(c) Existing natural areas including, but not limited to, major stands of trees, bodies of water, wetlands, floodplains, steep slopes, and unbuildable areas.

N/A

(d) A proposed land use plan.

Provided.

(e) Parcel and lot lines, land use, access points, and zoning of all parcels within 100 feet of the PUD site.

Provided and will provide per responses to Zoning Comments.

(f) Vehicular circulation including major drives and location of vehicular access. Proposed project cross sections including public streets or private roads.

Provided.

(g) Transition treatment, including minimum building setbacks to land adjoining the PUD and between different land use areas within the PUD.

Provided.

(h) The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

N/A - proposal is for all residential buildings or accessory structure.

(i) The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

Provided.

(j) The location of all wetlands, water and watercourses, and proposed water detention areas.

N/A.

(k) The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

Provided in the plan set and narrative.

(I) A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

Provided.

(m) A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

Provided.

(n) An indication of the contemplated water distribution, storm, and sanitary sewer plan.

Provided.

(o) A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

Provided.

(p) The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

Provided.

(q) Minimum of two (2) site sections, showing major building relationships and building site features.

Provided.

(r) Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

Provided except for lighting. See narrative for their response regarding lighting.

- (2) Planning Commission Review of Proposed PUD Plan.
 - (a) Public Hearing and Review Procedure. The Planning Commission shall give notice of a public hearing as provided in *Error! Reference source* not found. and hold a public hearing on the PUD and conduct a review of the PUD Plan and rezoning pursuant to the rezoning procedures of *Error! Reference source not found*.
 - (b) <u>Planning Commission Review and Determination.</u> The Planning Commission shall review the proposed PUD plan and make a recommendation to the City Commission as to the proposal's qualification for the PUD option and for adherence to the following objectives and requirements:
 - (i) The proposed PUD adheres to the criteria for qualification of the PUD option (<u>Section 54.101(F)</u>) and promotes the land use goals and objectives of the City.

To be determined by the Planning Commission. It was determined the concept PUD meet the following objectives:

- (a) To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.
- (c) To accept dedication or set aside open space areas in perpetuity.
- (f) To promote the goals and objectives of the Community Master Plan.
- (g) To foster the aesthetic appearance of the City through quality building design and site development; the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
- (h) To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.
- (i) To bring about redevelopment of sites that have been identified as environmentally distressed or Brownfields.

- (j) To facilitate appropriate development of environmentally sensitive areas.
- (ii) All applicable provisions of this Section shall be met. Insofar as any provision of this Section shall be in conflict with the provisions of any other section of this Ordinance, the provisions of this Section shall apply to the lands embraced within a PUD area.

To be determined by the Planning Commission.

(iii) There is, or will be, at the time of development, an adequate means of disposing of sanitary sewage and of supplying the development with water, and that the road system and storm water drainage system are or will be adequate.

To be determined by the Planning Commission.

(3) Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to **Error! Reference source not**found. The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

To be determined by the Planning Commission.

Buffer and Greenbelt Requirements. **None required with PUD.**

Schedule of Regulations.

Zoning District	Minimum Lot Size	Minimum Lot Width	Minimum Front Yard	Minimum Side Yard	Minimum Rear yard	Maximum Height
PUD	Per	Per	Per	Per	Per	Per
	approval	approval	approval	approval	approval	approval

Relationship to *Site Plan Review* Standards (Staff Comments in Bold Text):

Per Section 54.1402 of the Land Development code:

- (E) <u>Site Plan Review Standards</u>. In addition to the development standards of this Ordinance as well as the underlying zoning district, each site plan shall be designed to ensure that:
 - (1) <u>Public Health, Safety, and Welfare</u>. The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be

designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this Ordinance.

The proposed site plan is for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street. The proposal is not anticipated to harm the public health, safety, or welfare.

(2) <u>Safe and Efficient Traffic Operations</u>. Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, and other elements such as walkways shall be designed to promote safe and efficient traffic operations within the site and at its access points.

The proposal indicates a new curb cut and driveway from Lee Street to one of the parcels. The other two parcels use existing curb cuts and driveways. The proposal also has pedestrian paths on the parcels.

(3) Vehicular and Pedestrian Circulation. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.

The proposal has pedestrian paths on the parcels which is separated from the vehicular circulation system.

(4) <u>Topography and Landscaping</u>. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.

See Sheets C-04.1 and C-04.2 for the landscaping plan. Please see Zoning comments and applicant's responses regarding the proposed landscaping for the site.

(5) <u>Storm Water Management</u>. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved

areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

Per the applicant's narrative a "storm water system is proposed with underground storage chambers to reduce storm water runoff to the City system".

(6) <u>Emergency Vehicle Access</u>. All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.

The Police and Fire Departments had no comments regarding access.

(7) Outdoor Storage and Loading and Unloading Areas. All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.

Per the applicant's narrative for the 36 units – "Roadside collection will be used to collect waste. A local disposal company will be hired by the Condo Association and pick up will be at the rear of the buildings individually at the Garages. Note that none of the garages are viewable from the street so individual cans will be contained within the sites view only".

(8) <u>Lighting</u>. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.

Per the applicant's narrative, "lighting details are still in process and will be designed for low intensity to remain on the site and meet the city current ordinance for lighting. These details will be provided in the site plan final review process".

(9) <u>Location of Building Entrances</u>. For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.

The main entrance of buildings L, A, B, C, D, E, F, and G face Magnetic Street. Buildings H and I face a parking lot. Buildings J and K face the green space area. Building M faces Piqua Street.

(10)<u>Nuisances</u>. No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.

The Planning Commission should discuss this with the applicant to verify that no noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.

(11) <u>City of Marquette Engineering Design and Construction Standards.</u> The site plan must comply with the City of Marquette Engineering Design and Construction Standards.

Please see applicant's response to Engineering comments. Staff is requesting that a revised site plan is submitted to meet staff comments for the final site plan review if the PUD request is approved.

Additional Comments:

The proposal has reduced the number of units from the concept review of 40 units to 36 units.

Per the applicant's PUD application, the applicant is requesting the following variances:

- Section 54.306 (B) and (C) to allow larger multi family units "Because of the shape of the lots and access from all streets: Lee, Magnetic, and Fourth, it allows better layout and reduced direct access points, especially to Magnetic and Fourth Streets".
- Section 54.308(D) Reduction of Front and Rear Lot Setbacks "Magnetic has an 80-ft ROW and more green boulevard, a reduction to 10-ft would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking. Allowing a 10-ft reduction provides better layout allowing more internal green space. The Piqua Street ROW also provides additional separation to the homes to the South".

Attachments:

- Applicant's applications for PUD and Site Plan Review
- Applicant's Narrative
- PD Staff Comments
- Applicant's response to Zoning, Engineering, and Fire Staff comments
- Area Map
- Block Map
- Zoning Map
- Photos of Site
- Site Plan set (Pattern book info included)

Mail to: Municipal Service Center Community Development Office 1100 Wright St. Marquette, MI 49855

PRINT

CITY OF MARQUETTE PLANNED UNIT DEVELOPMENT APPLICATION



CITY STAFF USE					
Parcel ID#: 0410 681 File #: 01-PUD-03-25 Required Narrative Submitted: (Y)N					
Receipt #: 930315 Check #: 10230 Received by and date: 5-6-25					
Concept Plans (6 copies) Submitted: NN Hearing Date: Notice Date:					
Preliminary Plan & Pattern Book (6) Submitted: N Hearing Date: 6-3-25 Notice Date: 5-16-25					
Final Site Plan(6) Submitted: Y/N Contract signed: Y/N Meeting Date:					
Amendment Plan (6) Submitted: Y/N Meeting Date:					

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE PLANNED UNIT DEVELOPMENT REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))				
□PUD Criteria Qualification	\$1,365			
PUD Review (includes Preliminary & Final Site Plan Review,	, \$5,115			
PUD Revision – Administrative Minor ☐Residential (additions, etc.) ☐Commercial structure, ≥ 3 residential units	\$220 \$885			
□PUD Revision - Major	\$2,750			

If you have any questions, please call 228-0425 or e-mail alanders@marquettemi.gov. Please refer to www.marquettemi.gov to find the Planning Commission page for filing deadline and meeting schedule.

Please review the attached:

- PUD Timeline
- PUD Checklist
- Excerpts from the City Land Development Code
 - Section 54.323 Planned Unit Development
 - Section 54.1402 Site Plan Review

APPLICANT CONTACT INFORMATION

	CARL THE STATE OF
PROPERTY OWNER	APPLICANT/OWNER'S REPRESENTATIVE
Name: Veridea Group, LLC	Name: Brian M. Savolainen (WW)
Address: 857 W. Washington, Suite 301	Address: 3224 US-41 West #240
City, State, Zip: Marquette, MI 49855	City, State, Zip: Marquette, MI 49855
Phone #: 906.228.3900	Phone #: (906) 250-5729
Email: mthomas@verideagroup.com	Email: bsavolainen@wickwiresolutions.com

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Planned Unit Development. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

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PROPERTY INFORMATION

Property Address: Magnetic Street (No Add.)

Property Identification Number: 041068 (

Size of property (frontage / depth / sq. ft. or acres): 180' on Lee, 858.5' Mag, 90' 4th / 90'to180' /3.1 Acres

Zoning District: MDR

Current Land Use: Parking Lots

Surrounding Zoning Districts:

North - MU

East - MU

South - MDR

West - MDR

Surrounding Land Use:

North - Residential and Vacant (former hospital site)

East - Residential and Worship

South - Residential

West - Residential

PLANNED UNIT DEVELOPMENT INFORMATION

Percentage of Land Use by Type

	Residential	Commercial/ Institutional	Industrial	Open Space	Other	Total
# of Acres	1.43	0	0	1.67	0	3.10
% of Total	46.1%	0	0	53.9%	0	100%

Residential Density

Type of Unit	Number of Units	Net Acres	Net Density
Single Family Home			
Town Home	36	1.43 Acres(62,220Sft)	27.97
Apartments			
Other			
Total		1	

Net Acres - Land development for land use type not including right-of-way
Net Density - Number of Units/Net Acres

VARIANCES FROM ORDINANCE(S)

THIS IS A REQUIRED SECTION. FAILURE TO FILL OUT MAY INDICATE THAT THE PROPERTY CAN BE DEVELOPED UNDER CURRENT ZONING DISTRICT STANDARDS.

Please list and <u>justify</u> the request variance(s) from the Land Development Code (attach additional pages if necessary):

Section 54.306 (B)&(C) to allow larger than quadplex multi family units -- Because of the shape of the lots and access

from all streets: Lee, Magnetic, and 4th, it allows better layout and reduced direct access points, especially to Magnetic and 4th Streets.

Section 54.308 (D) Reduction of Front and Rear Lot Setbacks -- Magnetic has an 80' ROW and more green boulevard, a reduction to

10' would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking.

Allowing a 10' raduction provides better layout ellowing more internal green space. The Piqua Street ROW elso provides additional separation to the homes to the South.

See cover letter for more information.

REVISIONS TO PUD

Please list the proposed revisions to your approved PUD (attach additional pages if necessary):

Sinca the concept application, the number of units has been reduced from 40 to 36, and access from Pique Street has been removed from the plan.

Minor layout modifications may be necessary as the plan moves forward and we work with the City of Marquette Planning/Zoning/Engineering Departments.

SIGNATURE

I hereby certify the following:

- 1. I am the legal owner of the property for which this application is being submitted.
- 2. I desire to apply for the Planned Unit Development Permit indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
- 3. The requested Planned Unit Development would not violate any deed restrictions attached the property involved in the request.
- 4. I have read the attached Planned Unit Development section of the Land Development Code and understand the necessary requirements that must be completed.
- 5. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that is does not assure approval of the plan.
- 6. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full. Once my application is deemed complete, I will be assigned a date for a public hearing before the Planning Commission that may not necessarily be the next scheduled meeting due to notification requirements and Planning Commission Bylaws.
- 7. I acknowledge that this form is not in itself a Planned Unit Development but only an application for a Planned Unit Development and is valid only with procurement of applicable approvals.
- 8. I authorize City Staff and the Planning Commission members to inspect the site.

Property Owner Signature:	Kdux E.	Makine	Date:	4/22/25
Applicant Signature:	R. M.	0	Date: _	4/22/05

Mail to: Municipal Service Center Community Development Office 1100 Wright St. Marquette, MI 49855

PRINT

CITY OF MARQUETTE SITE PLAN REVIEW APPLICATION



CITY STAFF USE	
Parcel ID #: 0410 681 Receipt/Inv #: Check #: Check #: Received	File #: 05-5812-06-25 by and date:
Site Plan Sheet Set (PC Review - 6 copies/Admin Review - 3 copies	A.
If applicable - Hearing Date: 6-3 Notice Date: 5-16 Application	on complete (checklist, etc): 💞 N
Does the site plan meet the required items: Y / N	

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

Businesses may need to be made accessible to the public and employees per the Americans with Disabilities Act and State Construction Code.

FEE SCHEDULE (We can only acce	pt Cash o	or Check (written to the City of Marquette))
Commercial, Industrial, Residential with 3 or mo		Site Condominium
fee)		☐Site Condominium Review \$2,095
		☐Revised (Developer Initiated) \$1,015
□Sketch Plan	\$975	
□Preliminary SPR	\$1,930	Plats/Subdivision
☐Administrative Review (CDRT review)	\$2,120	
☐Administrative Review (Non-CDRT review)	\$1,110	☐Preliminary \$2,095
☐Planning Commission Review	\$2,420	☐Final \$2,095
		☐ ☐ Revised (Developer Initiated) \$1,015
Revised Site Plan (Developer Initiated)		
□Administrative Review (CDRT)	\$1,595	Site Plan Review fee is included in the
☐Administrative Review (Non-CDRT review)	\$1,080	Special Land Use Permit or Planned Unit
□Planning Commission Review	\$1,845	Development application fees

If you have any questions, please call 228-0425 or e-mall alanders@marquetteml.gov. Please refer to www.marquetteml.gov to find the following information:

Planning Commission page for filing deadline and meeting schedule Excerpts from the City Land Development Code

- Section 54.1402 Site Plan Review (this is attached to the application).
- Section 54.1401 Zoning Permits and Zoning Compliance Review.
- If you are applying for a Site Condominium/Plat/Subdivision, please review Article 5.

STORMWATER

Will you be managing stormwater and applying for a stormwater utility fee reduction? Lad Yes 🛂 No If yes, please refer to the Stormwater Utility Fee Reduction Application on the City website at www.marquettemi.gov under the Engineering applications. Storm Water is Managed no request for reduction

Revision Date 10/1/2024

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

APPLICANT CONTACT INFORMATION

PROPERTY OWNER	
Name Veridia Group	
Address 857 W. Washington	Street
City, State, Zip Marquette, MI 4	
Phone # 906-228-3900	
Email rmahaney@verideagro	up.com

	LICANT/OWNER'S REPRESENTATIVE
Name: D	rian Savolainen, PE(Wickwire)
Address	3224 US-41W #240
	te, Zip Marquette, MI 49855
	906-250-5729
	savo2000@yahoo.com

ARCHITECT
Name Integrated Architecture
Address 840 Ottawa Ave NW
City, State, Zip Grand Rapids, MI 49503
Phone # 616-574-0220
Email Scott@intarch.com

Name `	ENGINEER Same as Representative
Address	
City, Sta	ate, Zip
Phone #	†
Email _	000000000000000000000000000000000000000

Surveyor

Name Stacey Bluse, TriMedia

Address 830 W. Washington

City, State, Zip Marquette, MI 49855

Phone # 906-228-5225

Email sbluse@trimediaee.com

PRO	OPERTY INFORMATION
Property Address: Magnetic Stree	Property Identification Number: 0410680
Size of property (frontage / depth / sq.	ft. or acres): 3.1 Acres
Zoning District: MDR to PUD	Current Land Use: Parking
Surrounding Zoning Districts:	Surrounding Land Use:
North - Mixed East - Mixed South - MDR West - MDR	North - Residential & former Hospital East - Residential and Worship South - Residential West - Residential
DES	CRIPTION OF PROJECT
Proposed use(s): PUD for Single Fa	
Proposed structures (including stairs) See Plans	and dimensions, building style, and materials:
Proposed site improvements: See Plans	

SIGNATURE

I hereby certify the following:

Proposed phases and timelines for work:

See Narrative in PUD Application
Ultimate ownership: Condo Association

- 1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
- 2. The request would not violate any deed restrictions attached the property involved in the request.
- 3. I have read the attached Site Plan Review section of the Land Development Code and understand the necessary requirements that must be completed.
- 4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that is does not assure approval of the plan.
- 5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.
- 6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).

Applicant Signature:	Brian Matthew Savola	einen Data	4/24/25
Applicant olynature.	W	Date:	***************************************

- 1. I am the legal owner of the property for which this application is being submitted.
- 2. I authorize City Staff and the Planning Commission members to inspect the site.
- 3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.

Property Owner Signature: Kolenk Z. Mahama Date: 4/24/25

Project Name: Vendea PUD File #: 05-5PR-06-25

Parcel #: 0410681

PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.

		APPLI	CANT
S	ite Plan Information Required in the Site Plan Set (See Figure 52 in LDC)	Location	
	Identification of Project		Y.
1.	The applicant's name.	Cover	
2.	Name of the development.	Cover	r
3.	The preparer's name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.	Cove	r
4.	Small scale location sketch of sufficient size and scale. (SKETCH PLAN ONLY)	Cover	
5.	A survey of the property, sealed by a surveyor licensed in the State of Michigan.	C-0.1	
6.	Date of preparation and any revisions.	Cove	r
7.	North arrow.	All Site	Э
8.	Complete and current legal description and size of property in acres.	Sht 2	1&22
	Existing Features		
9.	Property lines and dimensions drawn to scale.	All Su	rvey Si
	Zoning and current land use of applicant's property and all abutting properties and of properties across any public or private street from the site.	C-0	
11.	Lot lines and all structures on the property and within 100 feet of the site's property lines.	C-0	
12.	Locations of all significant natural features – streams, wetlands and floodplains (see Section 54.805), steep slopes (see Section 54.806).	None	
13.	Boundary of any Riparian Overlay Districts, per <u>Section 54.320(E)</u> Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <u>Section 54.806</u>	NA	
14	Any existing private or public easements	NA	
	Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.	C-0	
16.	Locations of existing utilities.	C-(03.1&2
	Existing topography at a minimum of two (2) foot contour intervals.	C-0	
		Location in site plan	N/A attach reason
	Proposed Construction		
18.	Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See <i>Article 3</i> , <i>Article 4</i> , and <i>Article 7</i> .	AS Drawings	
19.	Floor area and ground coverage ratios. See Article 3 and Article 4.	Site & A d	rawings
	Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code. (Preliminary Site Plan submittal only)	C03.1&2	
21:	Proposed topography with a site grading plan with topography at a maximum of two (2) foot contour intervals.	C-02.18	2

City of Marquette, MI

	F	ICANT
	Location in site plan	N/A attach reason
22. Boundary of any Riparian Overlay Districts, per Section 54.320(E). Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), percent of 54.806	e none	
 Location and method of screening for all waste dumpsters. See Section 54.1003(F). 	No Dum	sters
24. Location and dimensions of parking spaces. See Article 9.	Site Plar	s
 General landscaping design concept acceptable to the Zoning Administrator. (SKETCH PLAN ONLY) 	C-04 1&	2
26. A landscaping plan indicating proposed plant locations with common plant nam number, and size at installation. Berms, retaining walls or fences shall be show with elevations from the surrounding average grade. See Article 10		2
 Details of exterior lighting including locations, height, and method of shielding. See Section 54.802. 	TBD	
28. The location of all permanent or temporary signs, existing or proposed, includin their area, size, height, illumination, and the type of construction. See Article 11		Petermined
29. Locations of utility services (with sizes) and storm water management elements including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per Section 54.803. Any proposed public or private easements.	C-03.18	2
30. Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.	New at C-03.18	Each Drive 2
31. If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed.	In Narra	ive
Site Circulation Details and Access Design		
 General site circulation and access including: indication of street right-of-way ar pavement widths; access points; and location of pedestrian paths. See Section 54.907. (SKETCH PLAN ONLY) 		and Sites
33. Street horizontal and vertical dimensions, including curve radii.	No Cha	nge
34. Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See Section 54.907.	Shown	Dim to be A
35. Schematic location and names of abutting public streets and other right-of-ways and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Site &	Survey
36. Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See Section 54.907.	Sites	
37. Locations, dimensions, and names of abutting public streets and other right-of- ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Survey	
88. Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.	D-1	
39. Written verification of access easements or agreements, if applicable.	NA	
		-
Additional information 10. Any other information necessary to establish compliance with this and other		

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	APPLICANT	
	Location	N/A
	in site	attach
	plan	reason
Voluntary Information/Considerations – callouts/notes and narrative would	d be appreci	ated
41. Infrastructure for Electric Vehicle (EV) charging stations (wiring, conduit, etc.)	NA	
42. Incorporation of green infrastructure elements such as a bioswale/rain garden (see Fig. 41), pervious pavers, vegetative/green roof, living retaining wall, French drains.	C-Plans	
43. Public art elements such as sculpture, murals, interactive installations.	NA	
44. Affordable housing (including of explanation of how affordability is calculated).	NA	
45. Encourage colorful cladding materials (black, white, grey materials should be limited to <50 percent of total exterior cladding and trim colors).	See Arc	h Sheets
46. Inclusion of bicycle parking facilities (racks, shelters, lockers, etc.) not required by the LDC.	NA	

	APPLICANT		DEPARTMENT	
	Location in site	N/A attach	Approved /	
ENGINEERING DEPT	plan	reason	Waived	
Please refer to the Engineering Department General Guidelines and Sta			,	
Will you be managing stormwater and applying for a stormwater utility fe	ee reduction	? Yes	_x No	
If yes, please refer to the Stormwater Utility Fee Reduction Application:				
https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwa	ater-Utility-Fe	e-Reduction	-Application pdf	
47. Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	Will be a	addded to P	ermit Set	
48. Curb cut, water, sanitary sewer, storm sewer permits, etc. required? (obtain prior to construction activities)	Will Re	uire Contra	actor	
49. Vehicle maneuvering lane size	Movin	g Van, Tras	h, Plow	
50. Pavement width/type	Shown			
 Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas 	Yes			
 Storm sewer ≥12" diameter, in right-of-way, shall be reinforced concrete 	None	n ROW		
53. Sumps in catch basins?	Yes			
 Plans to be stamped, dated and signed by a professional engineer 	Yes			
55. Is the downstream storm sewer capacity adequate?	Reduce	from Curre	nt so yes	
56. Verify that storm water runoff volume or velocity is not increased onto adjacent properties	Yes			
57. Does any earthwork disturb adjacent properties?	No			
58. Wetland concerns/proper permits obtained?	NA			
59. Traffic impact minimal to existing conditions (stacking, etc.)?	Same a	s Current b	etter Location	

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	AP	PLICANT	DEPARTMENT
ENGINEERING DEPT CONT.	Location in site plan	N/A attach reason	Approved / Waived
60. Vehicular and non-motorized circulation	Site		
61. Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?	Yes		
62. Is there a hydrant at the end of any proposed dead end water main?	Yes		
63. Size and material type of proposed and existing utilities shown?	Yes		
64. Street horizontal and vertical dimensions, radii	No St		
65. Width and materials for non-motorized paths	None		
66. Dimension of access points including distance from adjacent driveways or intersecting streets	Shown	dims to be added	
67. Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance	Will be	added to final site	

	AP	PLICANT	DEPARTMENT	
PUBLIC WORKS DEPT.	Location in site plan	N/A attach reason	Approved / Waived	
68. Delineate & dimension all public or private easements	We will	be providing for	Neighbor	
69. Show public utility main locations & sizes within 100 feet of property boundary	C-03			
70. Extension or re-routing of public utility systems required	No			
 Capacity and condition concerns of existing utility lines to serve the project 	None			
 Abandonment of existing utility lines associated with the project 	None			
 Location of existing and proposed utility services (with sizes), including storm water to be shown 	C-0 & 3			
74. Utility metering requirements of the project	In buildir	9		
75. Backflow and cross connection requirements applicable to the project including any proposed irrigation systems	TBD			
76. Sanitary waste pretreatment requirements	Meet C	punty Bldg		
77. Adequate snow storage provided on the property, without clear vision or utility obstructions	Yes			
78. Provisions to collect drainage from snow storage areas collected on property	Green	Areas		
 Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections) 	Will App	y for		
80. Additions or changes to public signing or traffic control required or recommended	None			

	APPLICANT		DEPARTMENT
	Location	N/A	
	in site	attach	Approved /
PUBLIC WORKS DEPT. CONT.	plan	reason	Waived
81. Additions to existing public sidewalks, or plowed routes, required or recommended	none		
82. Impact of project on public snow removal/storage	none		
83. Effect on plowing or ice control priorities	none		
84. New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements	None		
85. Adequate, proper, and accessible on-site waste storage	Individual Pick up		
86. Adequate clearances and clear vision maintained for maintenance and sanitation equipment	Yes		
87. Removal, trimming, or planting of public trees required	None		
88. Maintenance-friendly design for any portions of the project to become public property	None		
89. Storage of hazardous materials associated with the project near public utilities	None		
90. Blasting near public utilities associated with the project	None		

	APPLICANT		DEPARTMENT
	Location	N/A	
	in site	attach	Approved /
FIRE DEPARTMENT DEPT.	plan	reason	Waived
91. Buildings meet NFPA standards/NFPA Life Safety Code 101/ BOCA National Property Maintenance Code	Will be		
92. Proper water supply for fire suppression including fire hydrants and water mains	No Chan	ge	
93. Safe outlets for flushing fire hydrants	No Char	nge	
94. Easements to test hydrants	None		
95. Water supply meets NFPA standards	Will be		
96. Fire Apparatus Access	Architec	t will coordin	ate with Fire
97. Surface Construction	See Pla	ins	
98. Ability to support fire trucks	Yes		
99. Fire truck angle of approach	All side	s	
100. Outside turning radius	For Sen	i	
101. Grade of drive or road ok	Reduce	from Existi	ng 3%
102. Overhead clearance adequate	Yes		
103. Driveways and access roads meet NFPA standards	No Cha	nge	

	APPLICANT		DEPARTMENT
	Location	N/A	
	in site	attach	Approved /
POLICE DEPARTMENT DEPT.	plan	reason	Waived
104. Cross reference with accident data at nearest intersection(s)	No Cha	nge	

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Townhomes PUD (Step 3 – Submittal of Preliminary Plan)

The Veridea Group recently submitted an application for the Development of a PUD at the former Marquette General Hospital (MGH) properties located South of Magnetic Street between Lee Avenue and Fourth Street. The three properties are identified by Marquette Property ID Number 0410680 and have no specific property address. The properties are currently parking lots formerly utilized for parking at MGH and have no use in their current condition.

The Parcels are located in the Medium Density Residential (MDR) zoning district. Veridea and its consultants have been developing a concept plan to best meet the current zoning and restore the area to a residential neighborhood with a mixture of Townhomes that best utilize the current layout of the properties. The Townhomes are designed with multi-car garages to limit the need for large parking areas and allow for increased green space. The plan reduces the storm water runoff to the city system, and the installation of additional storm water utilizing underground storage beneath some of the green spaces will further reduce the flow to the City system.

The City Planning Commission held a public hearing on the PUD concept plan on March 18. The concept plan was approved and this application represents the next step of the PUD process. The attached Preliminary Plan set with some additional proposed Town Home details has been developed.

Note that following the meeting and hearing comments from the public, Planning Commissioners and other miscellaneous concerns, the number of units has been reduced to 36 and vehicular access to Piqua Street has been eliminated.

This submittal has been prepared in accordance with the requirements of Section 54.1402, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:

- All project plans are at a scale of less than or equal to 1"=100'

A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor. Page 7 of 28

- Portions of the Completed Alta Legal Survey Sealed by a licensed land surveyor are included in the preliminary plan set.

The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

There are no proposed non-residential buildings.

The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

- Sheet AS-101 includes this information.

The location of all wetlands, water and watercourses, and proposed water detention areas.

- There are no Wetlands or watercourses on the site. Proposed storm underground storm water retention areas are shown on the site plans.

The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

- Several Open Space (Green Spaces) areas are provided throughout the site and are shown on the Architectural and site plans. These areas will be owned by a future homeowners association.

A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

- A conceptual Landscape Plan is included in the plan set.

A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

- A preliminary grading plan including spot grades and proposed contours is included. Some decorative retaining wall features may also be added to this plan and the landscape plan in final site design.

An indication of the contemplated water distribution, storm, and sanitary sewer plan.

Our Engineer has met with the City Engineer and Public Works director and has developed a concept plan including single master meters for a private water system for each of the three Parcels, a private sanitary sewer system, including relocation of a neighboring sanitary lateral that will include an easement through the site to its current outlet on Magnetic Street. A storm water system is also proposed with underground storage chambers to reduce storm water runoff to the City System.

A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

Veridea Group is requesting a PUD for the vacant parking lots on the south side of Magnetic Street between Lee Street and Presque Isle Avenue, as depicted in the application documents. The intention of the PUD is to develop up to 36 attached townhomes in a variety of sizes and floor plans. It is expected that, when fully developed, the resultant population will be between 50-100 people. As depicted in the floor plans included in the PUD application, the floor area of the total development is expected to be approximately 55,392 square feet, with a total of 142 parking spaces. Development is expected to begin with three units built starting in the early fall of 2025 and will progress from East to West on Block 10 of the development map. Development of Blocks 11 and 9 will follow the development of Block 10 and the timeline will be determined based on market conditions and demand. Assuming favorable market conditions, the entire development is estimated for completion by the spring of 2029.

_

The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

The townhomes will be sold as part of a condominium and are expected to be owner-occupied. Phase 1 will begin in the fall of 2025 and will encompass three units. Depending on market conditions, the next section of construction would be planned to follow in the spring of 2026 and will consist of six units. Future phasing will be driven by market demand and is likely to include 6 units per year.

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Minimum of two (2) site sections, showing major building relationships and building site features.

- Several Site section drawings are included in the plan set. WE have also added Sections on Sheet C-05.1 which depict the Proposed Grade through the site, Sheet AS-102 on has also update sections which resemble the landscaping features being proposed, Sheet A-501 also includes the building heights and has added the proposed Pavilion.

Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

Several Renderings are included in the drawing set, lighting details are still
in process and will be designed for low intensity to remain on the site and
meet the City current ordinance for lighting. These details will be provided in
the site plan final review process. Renderings have been updated to better
resemble the site landscaping.

Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to Section 54.1402(H). The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

 The Veridea group is willing to discuss performance guarantees with the City of Marquette.

These are additional write-ups added upon the request of the City initial review of previously submitted documents.

- Section PUD (H)(1)(K) We have Added Notation to the Landscape Plan sheets C-04.1 and C-04.2 indicating that all of the Green Area and Buffer Yard Landscape areas will be permanently preserved, and the Condominium Association will be responsible to provide annual maintenance of these areas and provide re-planting as necessary.
- On Sheet C-04.1 we have also added notation that the large green space including the proposed Pavilion will be permanently preserved area for the entire Condominium Association.
- Section 54.323(H(1)
 - (b) We have completed a full topographic survey of the 3 PUD sites and provided 1' contours for the working areas and have also added the neighborhood 2' contour map to Sheet C-0.
 - (c) Our topo survey picked up the boundary street trees on all four perimeter streets and those trees are shown in the basemap. No water, wetlands, floodplains, steep slopes or unbuildable areas are located on these sites.
 - o (d) The proposed land use will be multi-family residential.
 - (e) Parcel and lot lines are shown on Sheet C-0 and the legal survey sheet S-1. Land uses are noted on C-0, access points are shown on and dimensioned on C-01 and all zoning parcels within 100' have been added to sheet C-0.

- (f) Vehicle Circulation is a 24' wide maneuvering lane between buildings and parking and a detail is included on sheet D-1. Note there are no proposed public or private streets included in the new development areas.
- (g) Transition treatments are included on the Landscape Plan Sheets
 C-04.1 and C-04.2 and setbacks and Land Uses are identified on C-0
- Exterior Mechanical Equipment, yet to be fully determined, will be located on the roofs and will be screened by the building parapet walls. Additional screening may be added as required by City planning review of final architectural plans.
- Handling waste for 36 units: Roadside collection will be used to collect waste. A
 local disposal company will be hired by the Condo Association and pick up will be
 at the rear of the buildings individually at the Garages. Note that none of the
 garages are viewable from the street so individual cans will be contained within
 the sites view only.

Respectfully Submitted,

Brian M. Savolainen, PE



CITY OF MARQUETTE POLICE DEPARTMENT 300 W. BARAGA AVE. MARQUETTE, MI 49855 (906) 228-0400 www.marquettemi.gov

MEMORANDUM

TO: Planning Commission

FROM: James Finkbeiner, Road Patrol Captain

DATE: May 14, 2025

SUBJECT: Review of 05-SPR-06-25 with 01-PUD-0325

Parcel ID's # 0410681

300 Block of West Magnetic Street

Veridea Group, Inc, LLC

I have reviewed the plans and have no comments at this time.

Captain James Finkbeiner Road Patrol Captain Marquette City Police Department





CITY OF MARQUETTE PLANNING AND ZONING 1100 WRIGHT STREET MARQUETTE, MI 49855 (906) 228-0425 www.marquettemi.gov

MEMORANDUM

TO: Andrea Landers, Zoning Official **FROM:** Brian Savolainen, PE for Wickwire

DATE: May 20, 2025

SUBJECT: Preliminary Site Plan Review – 01-PUD-03-25 – W. Magnetic St

(Portion of PIN: 0410681)

After reviewing the site plan set, zoning staff have the following comments:

General Comments

1. Missing – Location of access points across from Lee Street. Plans will be revised to show additional dimensioning.

- 2. Missing Distance from adjacent driveways including those across Lee Street. Plans will be revised to show additional dimensioning.
- 3. Snow storage has to be in a landscaped area per Section 54.905 "The snow storage area may be located in a landscape area required in Article 10 or in a storm water detention or retention pond, subject to approval by the City." The proposed locations do not meet the code. Please revise to meet code. A stormwater leaching basin near Building F will be added for storm water and snow runoff. Other snow storage areas will be relocated to the landscaped/greenspace areas.

Sheet C-04.1

 The parking lot to the south of Building E abuts a residential zoning district to the east and to the south. Please provide how you propose to meet **Section** 54.905(I) of the LDC. You have a note that states existing fence but not what type and height of the fence.

Plans will be revised to show fence height and type (6' height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.

Sheet C-04.2

1. The parking lot to the south of Building F abuts a residential zoning district to the east, west, and to the south. Please provide how you propose to meet Section **54.905(I)** of the LDC.

Plans will be revised to show fence height and type (6' height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.

- 2. For Block 9 Lee Street Frontage. Missing 1 required Ornamental tree for a total of 2. Please provide.
 - Plans will be revised to add one more ornamental tree.
- 3. For Block 11 interior parking lot landscaping, missing the 2 requires deciduous trees for the 419 S.F. area.
 - Plans will be revised to include 2 deciduous trees in the landscaping area.

Site Plan Review CITY OF MARQUETTE 1100 Wright Street Marquette, MI 49855

Date: May 16th, 2025

Location: Magnetic Street between Lee Street and Fourth Street

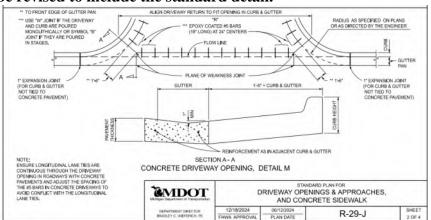
Submittal Documents:

Plan Title: Veridea Group Marquette General Hospital Site Re-Development

Submitted by: Wickwire Plans Stamped: 5/5/25

The following are **responses to the** review comments from the Engineering Department submitted for the documents identified above.

1. All driveway openings must follow MDOT Concrete Driveway Opening, Detail M. Plans will be revised to include the standard detail.



2. Sidewalks must be carried through the driveways and maintain ADA compliant cross slope.

Plans will be revised to concrete drive approaches with integrated sidewalk.

- 3. Please include City of Marquette Standard Utility Details in the plan set. Plans will be revised to include all 3 utility details.
- 4. Please include a note that all existing water and storm sewer service abandonments shall be made as directed by the City Engineer.

Plans will be revised to include "ALL EXISTING WATER AND STORM SEWER SERVICE ABANDONMENTS SHALL BE MADE AS DIRECTED BY THE CITY ENGINEER".

Respectfully Submitted, WICKWIRE, PC



CITY OF MARQUETTE Fire Department 418 S. Third St. MARQUETTE, MI 49855 (906) 225-8941 jfossitt@marquettemi.gov



MEMORANDUM

TO: Andrea Landers FROM: Jeff Fossitt DATE: 04-28-25

SUBJECT: 05-SPR-06-25 and 01-PUD-03-25

Parcel Numbers: 0410681

Magnetic Street

FIRE DEPARTMENT COMMENTS:

- Will the buildings be equipped with a fire alarm system?

 IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire alarms are not required. Smoke alarms will be provided, as required.
- Will the buildings be equipped with sprinkler systems?

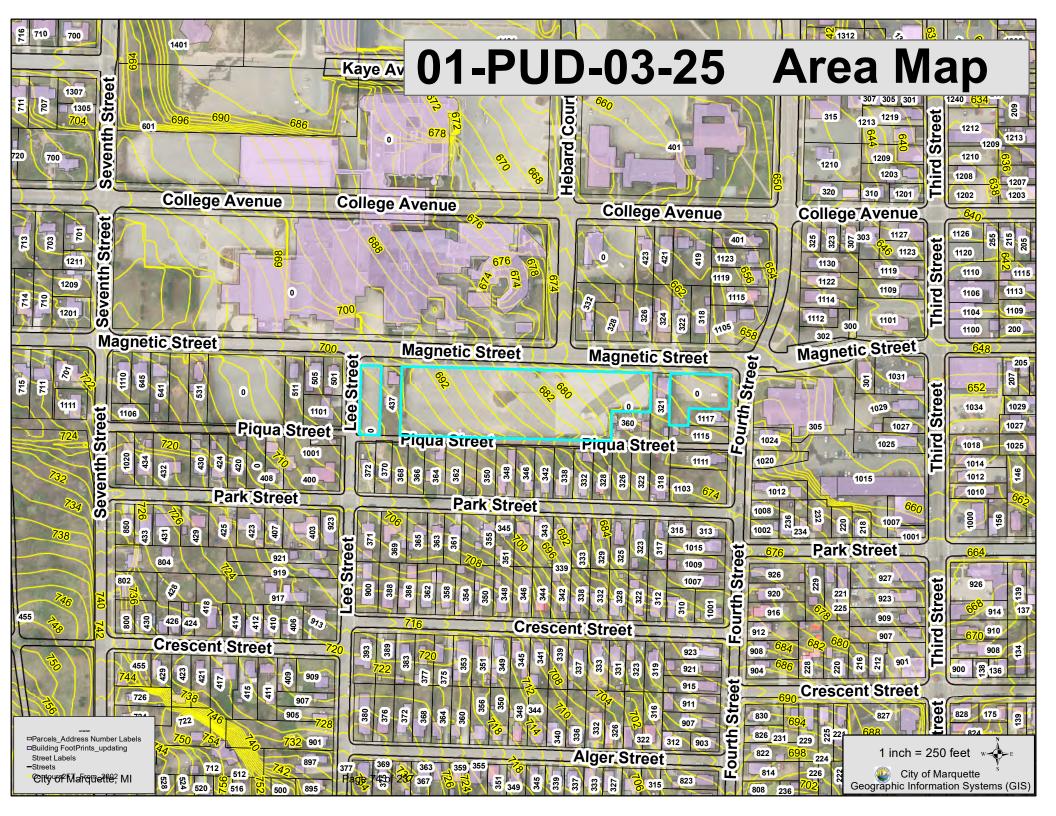
 IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire sprinkler systems are not required.
- Will a Knox Box be provided?

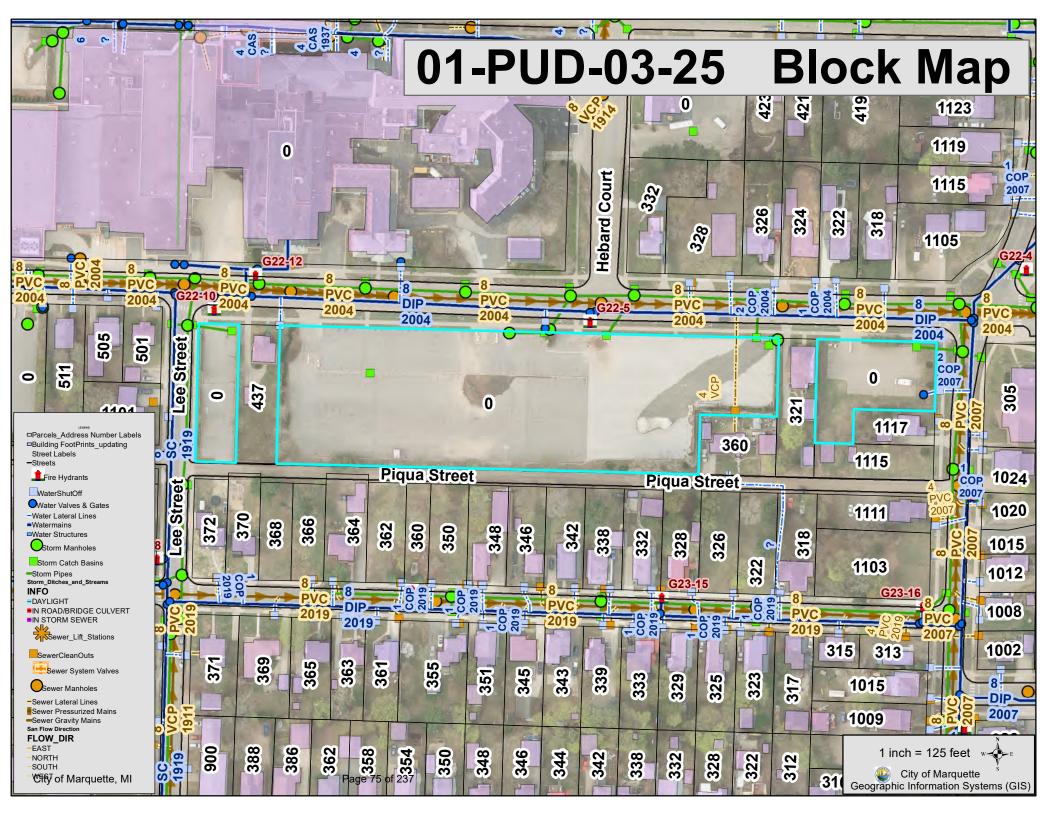
 IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, Knox Boxes are not required.

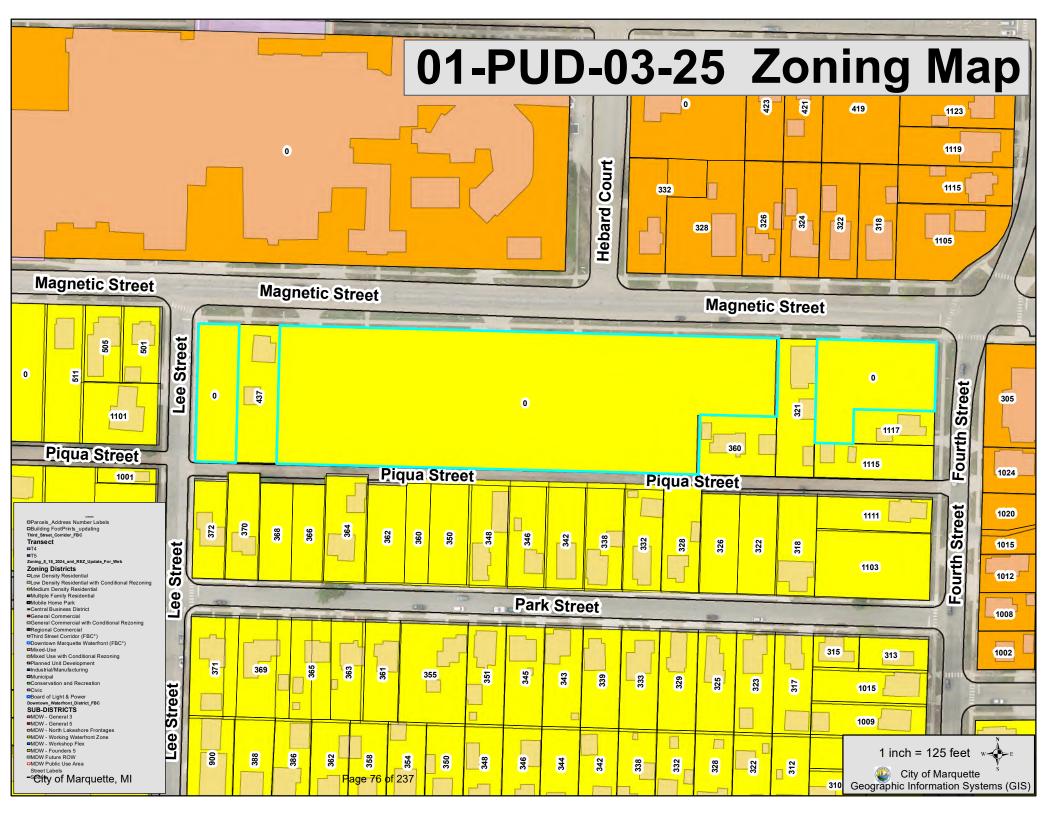
Jeff Fossitt Fire Marshal

Marquette Fire Department













City of Marquette, MI

Page 77 of 237





City of Marquette, MI

Page 78 of 237





City of Marquette, MI

Page 79 of 237













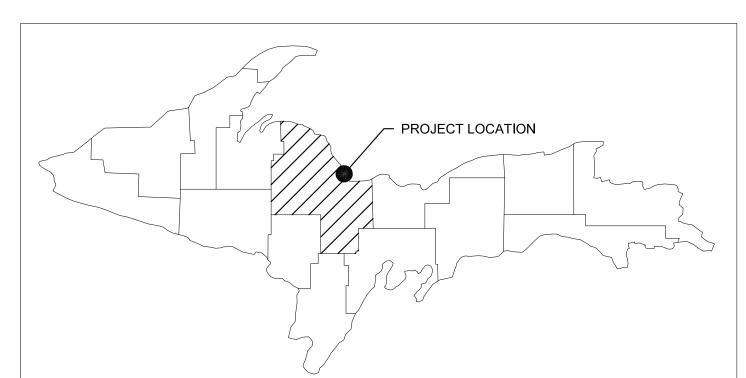


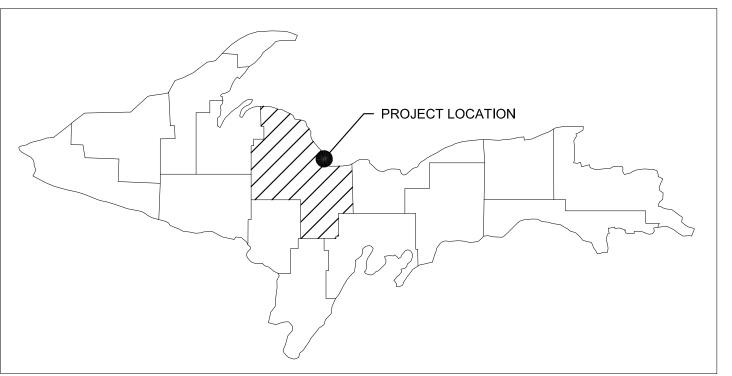
VERIDEA GROUP MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



CITY OF MARQUETTE, MARQUETTE, MICHIGAN

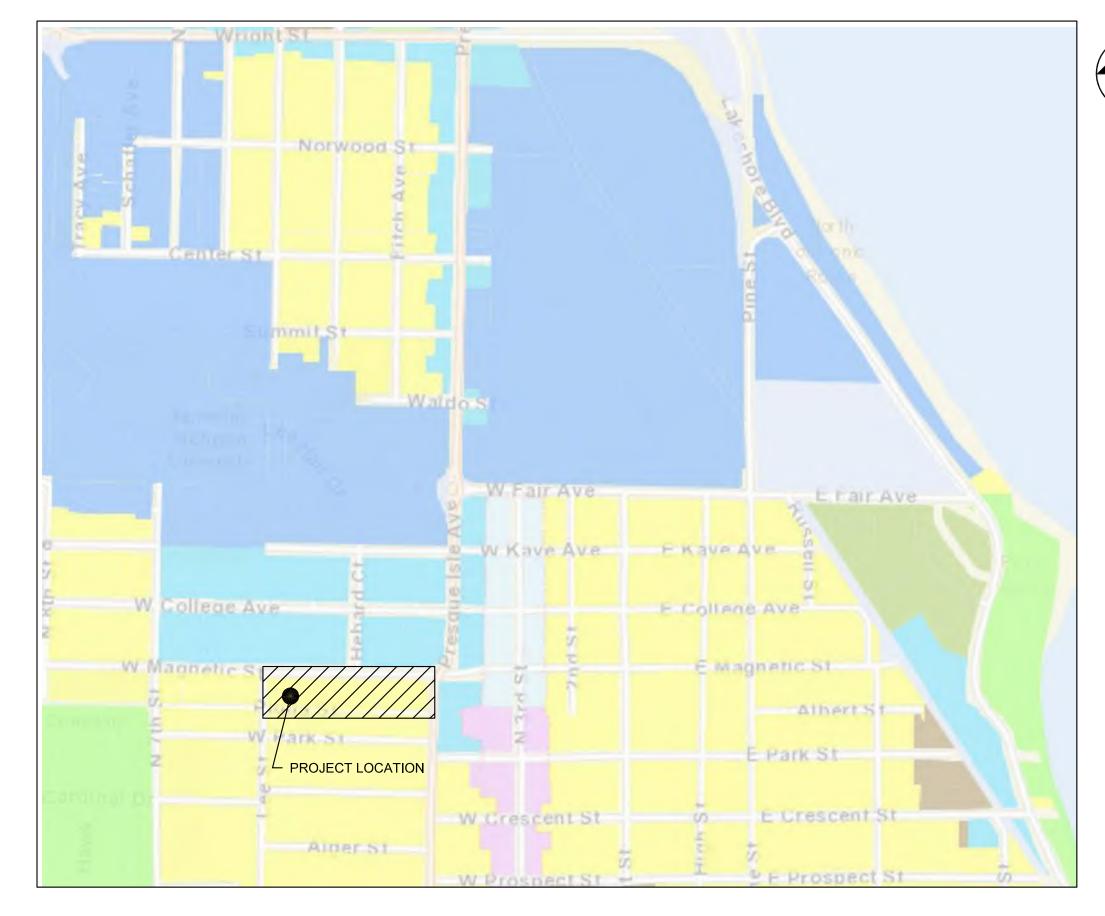
WICKWIRE PROJECT NO.: 24042





SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	01-G-01	COVER
2	C-0	OVERALL EXISTING SITE SURVEY
3	C-0.1	PHASE 1 REMOVAL PLAN
4	C-0.2	PHASE 2 REMOVAL PLAN
5	C-01	OVERALL SITE PLAN
6	C-01.1	PHASE 1 SITE PLAN
7	C-01.2	PHASE 2 SITE PLAN
8	C-02.1	PHASE 1 GRADING/STORM PLAN
9	C-02.2	PHASE 2 GRADING/STORM PLAN
10	C-03.1	PHASE 1 UTILITY PLAN
11	C-03.2	PHASE 2 UTILITY PLAN
12	C-04.1	PHASE 1 LANDSCAPING PLANS
13	C-04.2	PHASE 2 LANDSCAPING PLANS
14	C-05.1	PHASE 1 ELEVATION PROFILE VIEWS
15	C-05.2	PHASE 1 UTILITY PROFILE VIEWS
16	D-1	DETAILS
17	AS-101	ARCHITECTURAL SITE PLAN
18	AS-102	SITE SECTIONS
19	A-101	UNIT FLOOR PLANS
20	A-102	UNIT FLOOR PLANS
21	A-501	BUILDING ELEVATIONS
22	A-501	CONCEPT RENDERINGS ARCHITECTURAL DETAILS
23	A-502	CONCEPT RENDERINGS ARCHITECTURAL DETAILS
24	S-1	ALTA/NSPS LAND TITLE SURVEY
25	S-6	ALTA/NSPS LAND TITLE SURVEY





PREPARED FOR: OWNER

VERIDEA GROUP

857 W. WASHINGTON ST. SUITE 301, MARQUETTE, MI 49855

ARCHITECT & MEP ENGINEERING SCOTT FREDRICKS INTEGRATED ARCHITECTURE 840 OTTAWA AVE NW GRAND RAPIDS, MI 49503 (616) 574-0220 SFREDRICKS@INTARCH.COM

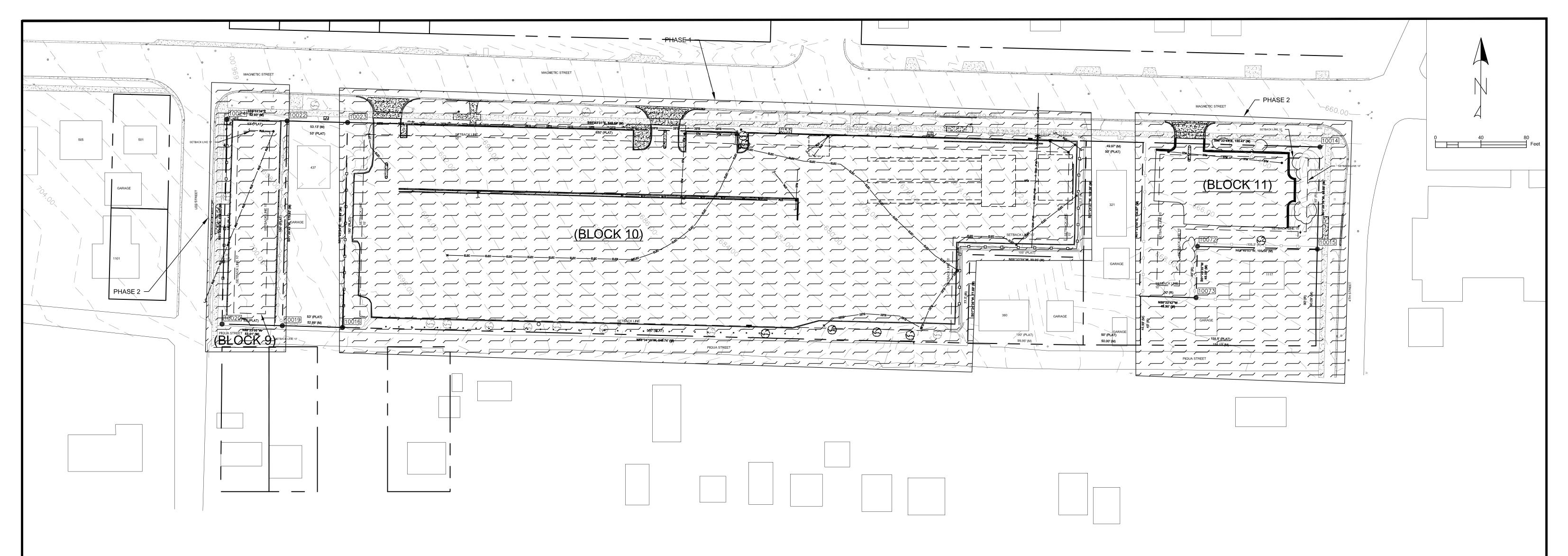
CIVIL ENGINEER BRIAN SAVOLAINEN MI PROFESSIONAL ENGINEER NO. 6201040601 WICKWIRE, PC. 715 SELDEN RD. IRON RIVER, MI 49935 (906)250-5729 BSAVOLAINEN@WICKWIRESOLUTIONS.COM

PREPARED BY:

WICKWIRE, P.C. 715 SELDEN RD IRON RIVER, MI 49935 906.265.9865

SURVEYOR STACEY BLUSE MICHIGAN PROFESSIONAL SURVEYOR NO. 4001050429 TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC 830 WEST WASHINGTON STREET MARQUETTE, MICHIGAN 49855 (906) 228-5125 SBLUSE@TRIMEDIAEE.COM

				DWG NO
				DWG. NO. 01-G-01
BRIAN				01-6-0
BAYOLAUEN AGOONEER				REV
No. 40501	2	5/5/25	REVIEW	1
01111000	1	4/22/25	REVIEW	SHEET NO. 1



BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

BLOCK 10

BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

BLOCK 11

BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

ZONING NOTES

REQUIRED SETBACKS: FRONT: 10 FEET (PER INITIAL PUD REQUEST) 15 FEET (30 FEET MIN. TOTAL 2 SIDES) 10 FEET (PER INITIAL PUD REQUEST)

SETBACKS ARE BASED ON A MAXIMUM BUILDING HEIGHT OF 36.5'.

ZONING DISTRICT: PUD (PLANNED UNIT DEVELOPMENT DISTRICT)

SOUTH: MEDIUM DENSITY DISTRICT

NORTH OF MAGNETIC, WEST OF HEBARD CT: PLANNED UNIT DEVELOPMENT

PROPOSED USE: TOWNHOMES

ADJACENT ZONING: NORTH: MIXED USE DISTRICT EAST: MEDIUM DENSITY DISTRICT WEST: MIXED USE DISTRICT

PARCEL SIZE: 9,525 SFT (0.22 ACRES - BLOCK 9)

109,173 SFT (2.51 ACRES - BLOCK 10) 16,221 SFT (0.37 ACRES - BLOCK 11)

CURRENT LAND USE: 501 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 437 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 321 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 330 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 326 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 322 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 318 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY 1105 PRESQUE ISLE AVE: RESIDENTIAL SINGLE FAMILY

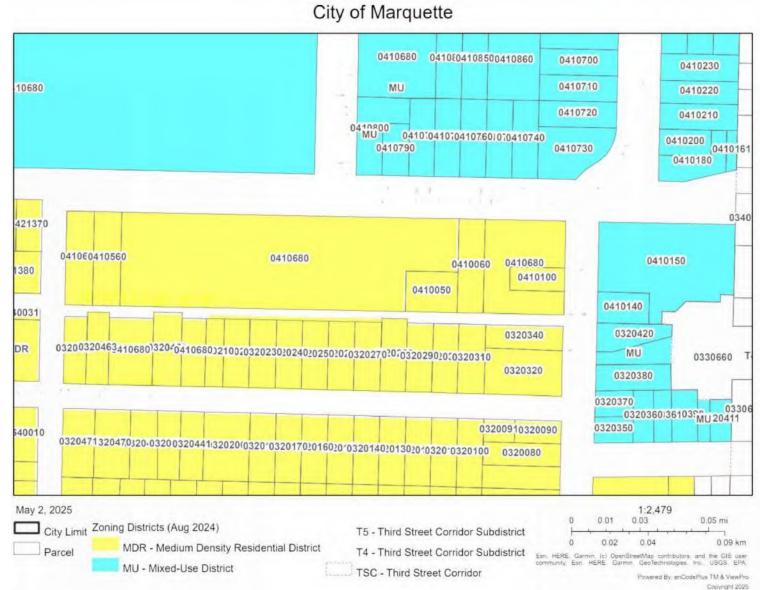
360 PIQUA ST: RESIDENTIAL SINGLE FAMILY

SOUTH OF PIQUA: RESIDENTIAL SINGLE FAMILY

320 310 1201 College Avenue College Avenue College Avenue College Avenue £ 203 € 203 1130

1122 Magnetic Street Magnetic Street Magnetic Street Magnetic Street Figua Street, Figua Street,

Park Street









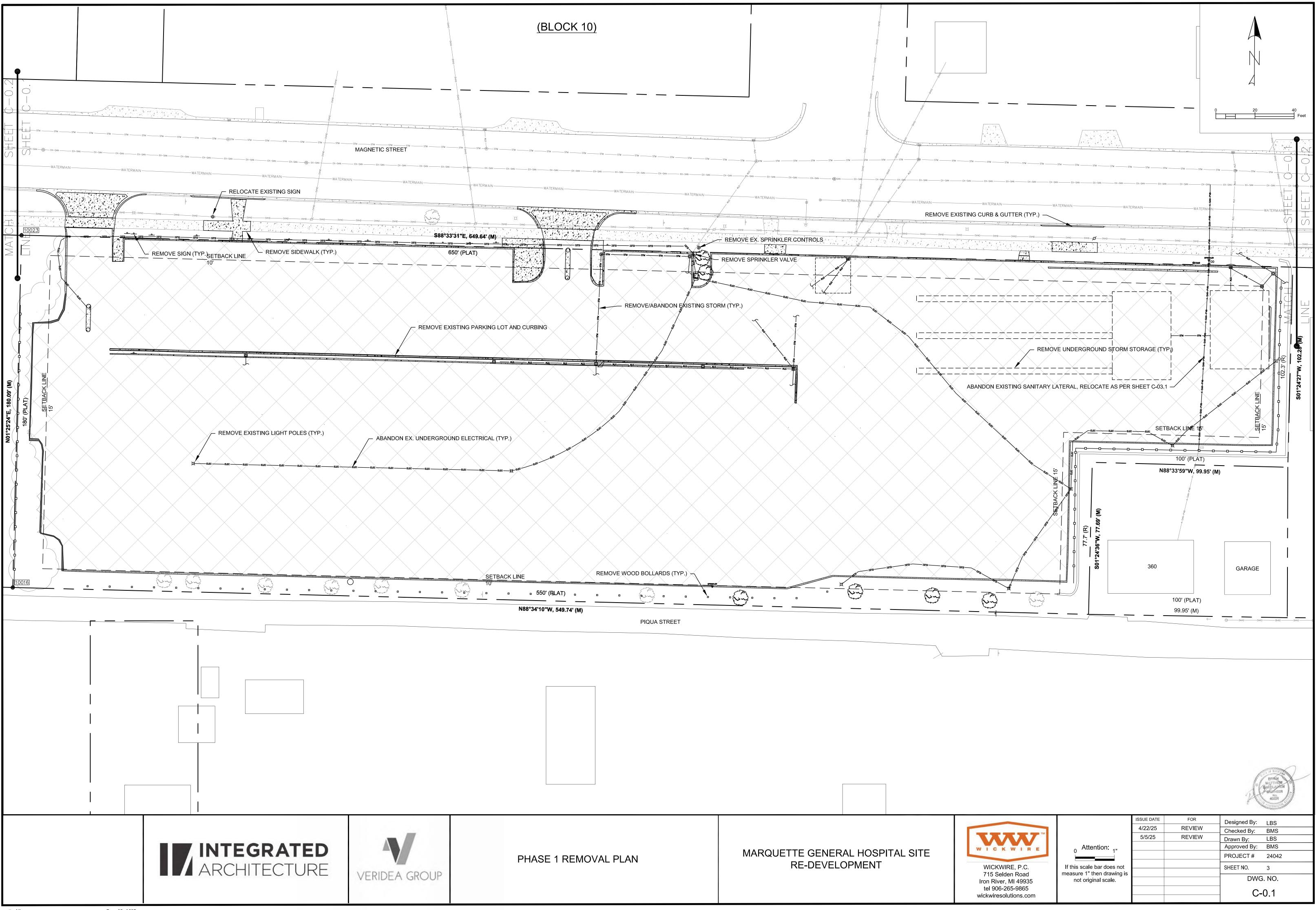
OVERALL EXISTING SITE SURVEY/PHASING

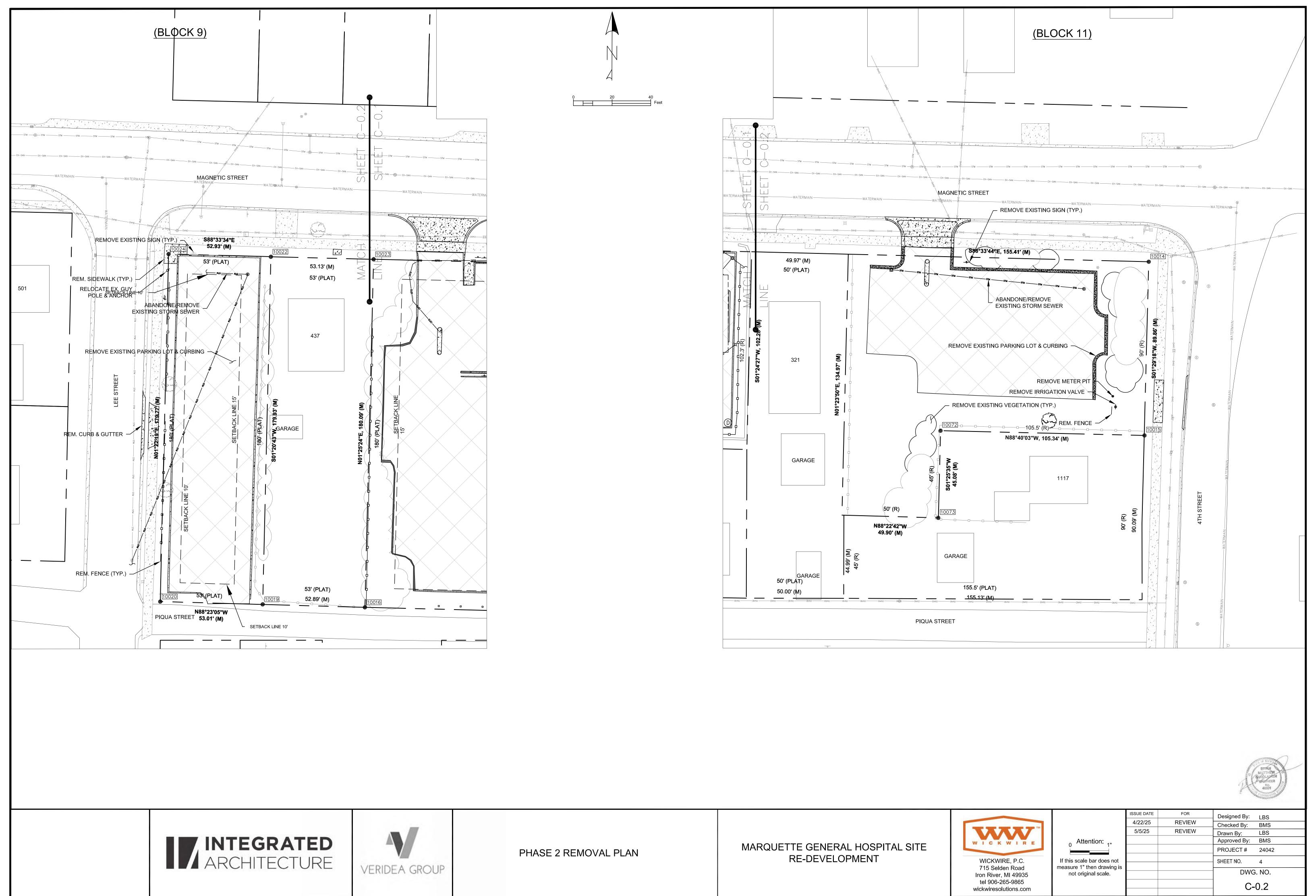
MARQUETTE GENERAL HOSPITAL SITE **RE-DEVELOPMENT**

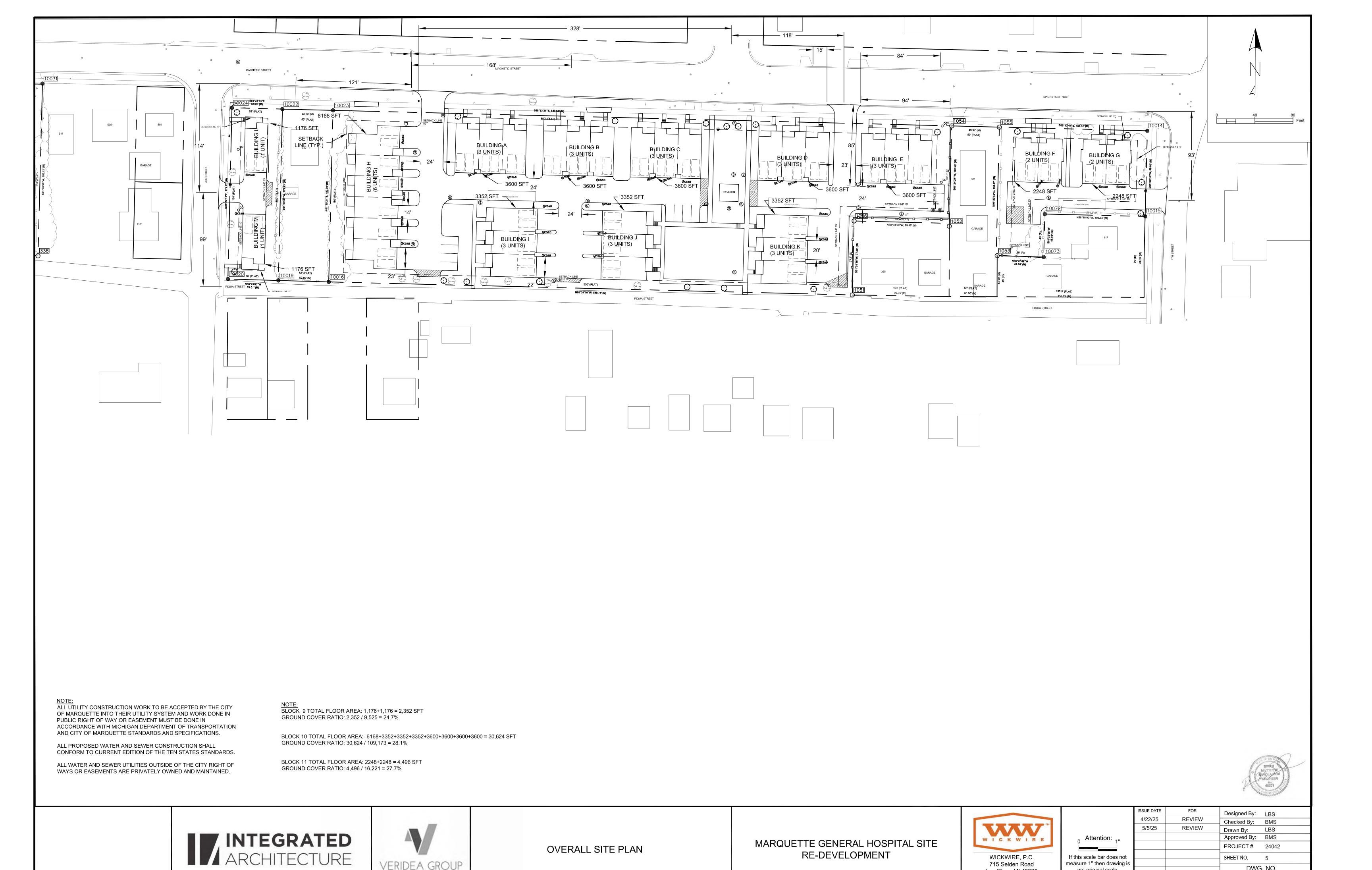


wickwiresolutions.com

	ISSUE DATE	FOR	Designed By:	LBS
	4/22/25	REVIEW	Checked By:	BMS
	5/5/25	REVIEW	Drawn By:	LBS
Attention: 4"			Approved By:	BMS
			PROJECT#	24042
If this scale bar does not measure 1" then drawing is			SHEET NO.	2
not original scale.			DWG. NO.	
			C	:- 0







RE-DEVELOPMENT

WICKWIRE, P.C.

715 Selden Road

Iron River, MI 49935 tel 906-265-9865

wickwiresolutions.com

If this scale bar does not

measure 1" then drawing is

not original scale.

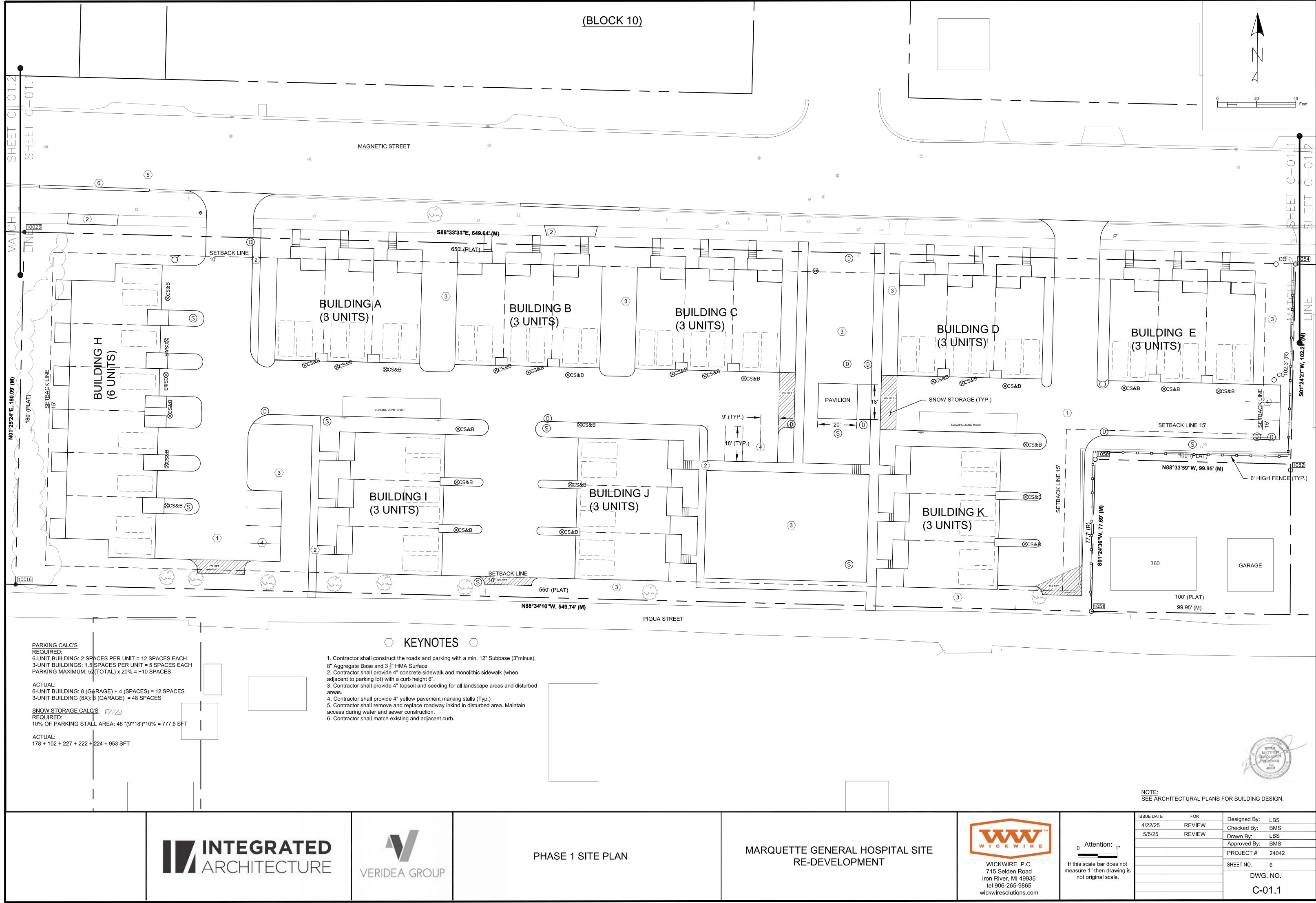
OVERALL SITE PLAN

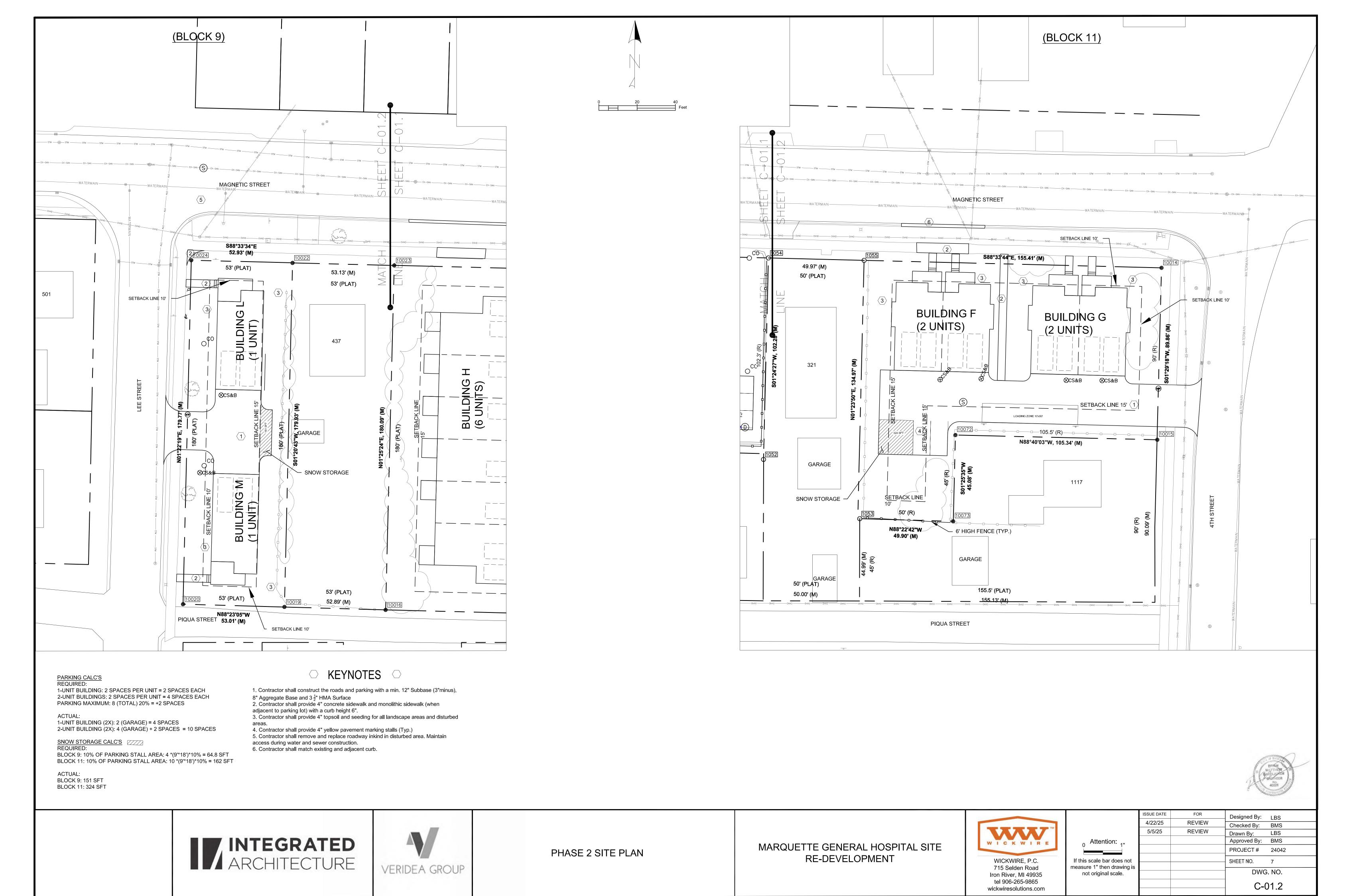
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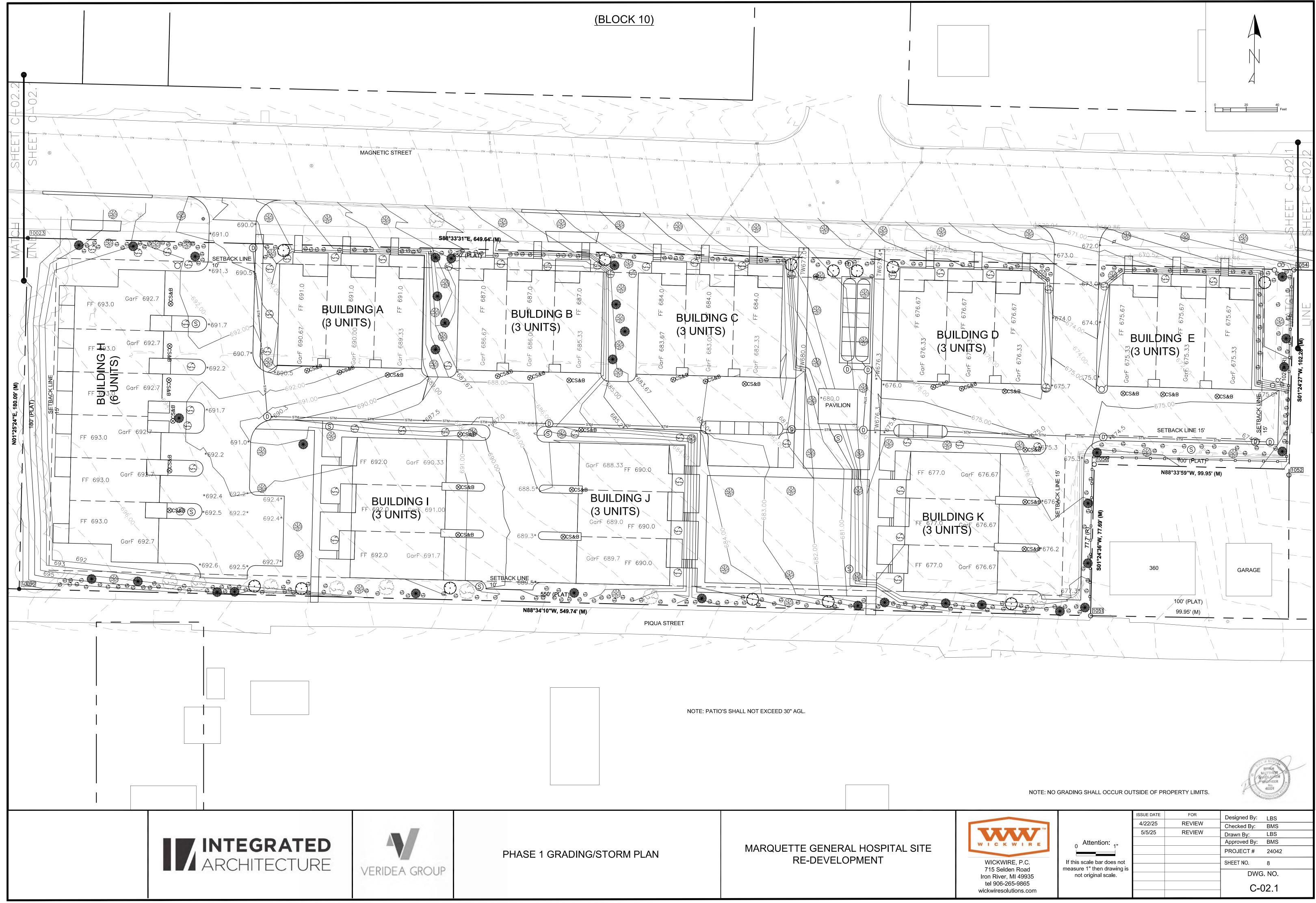
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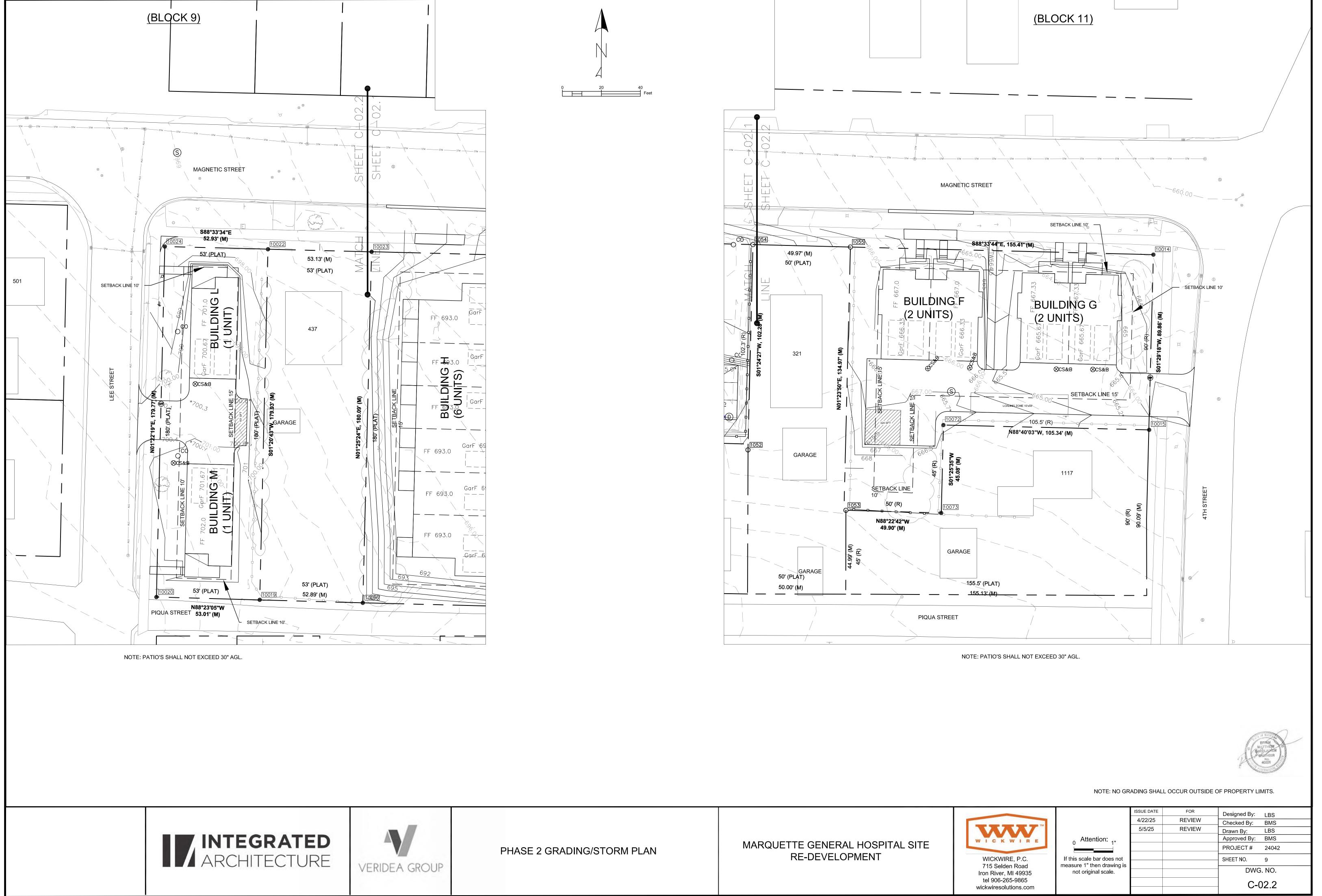
C-01

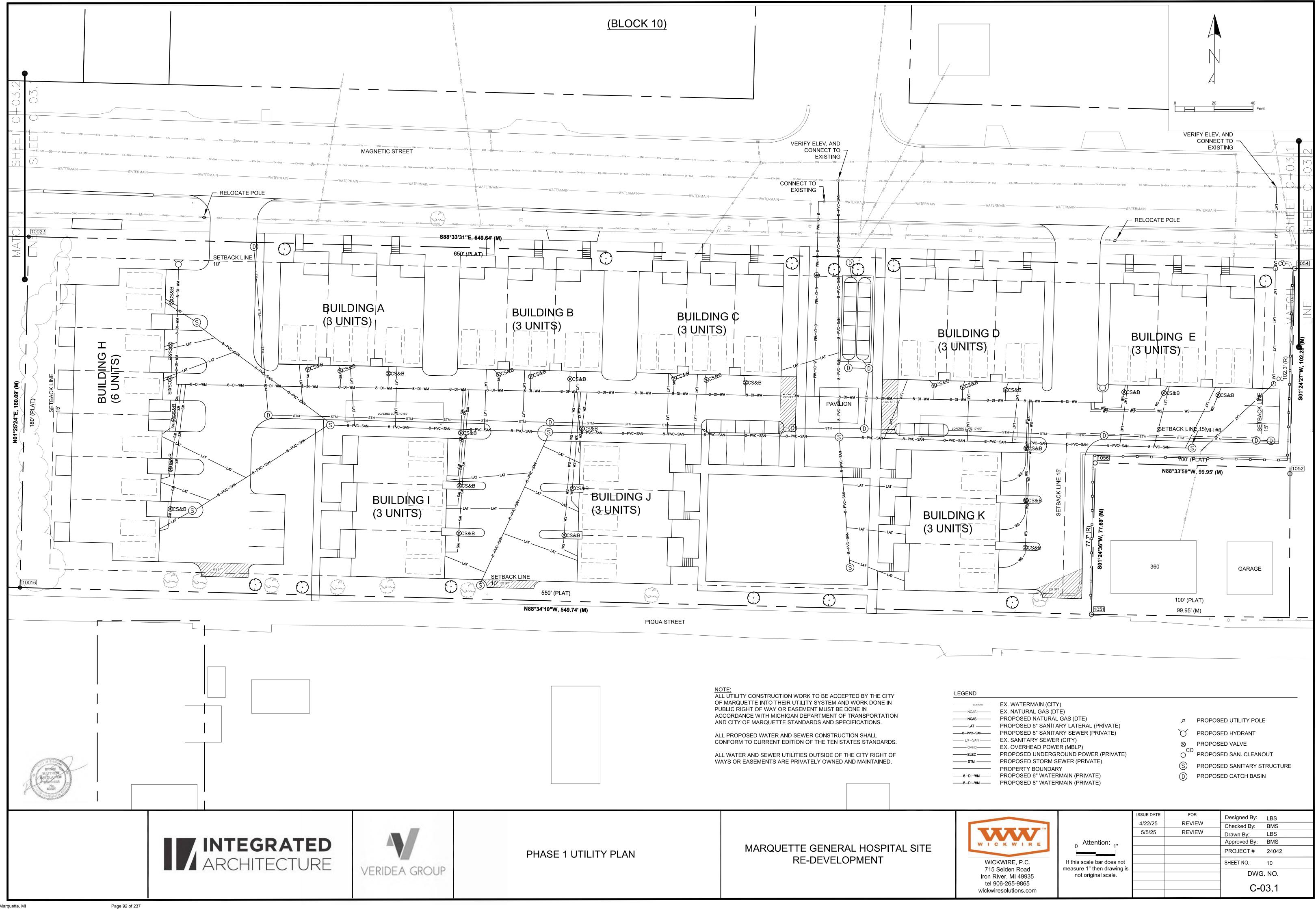
SHEET NO. 5

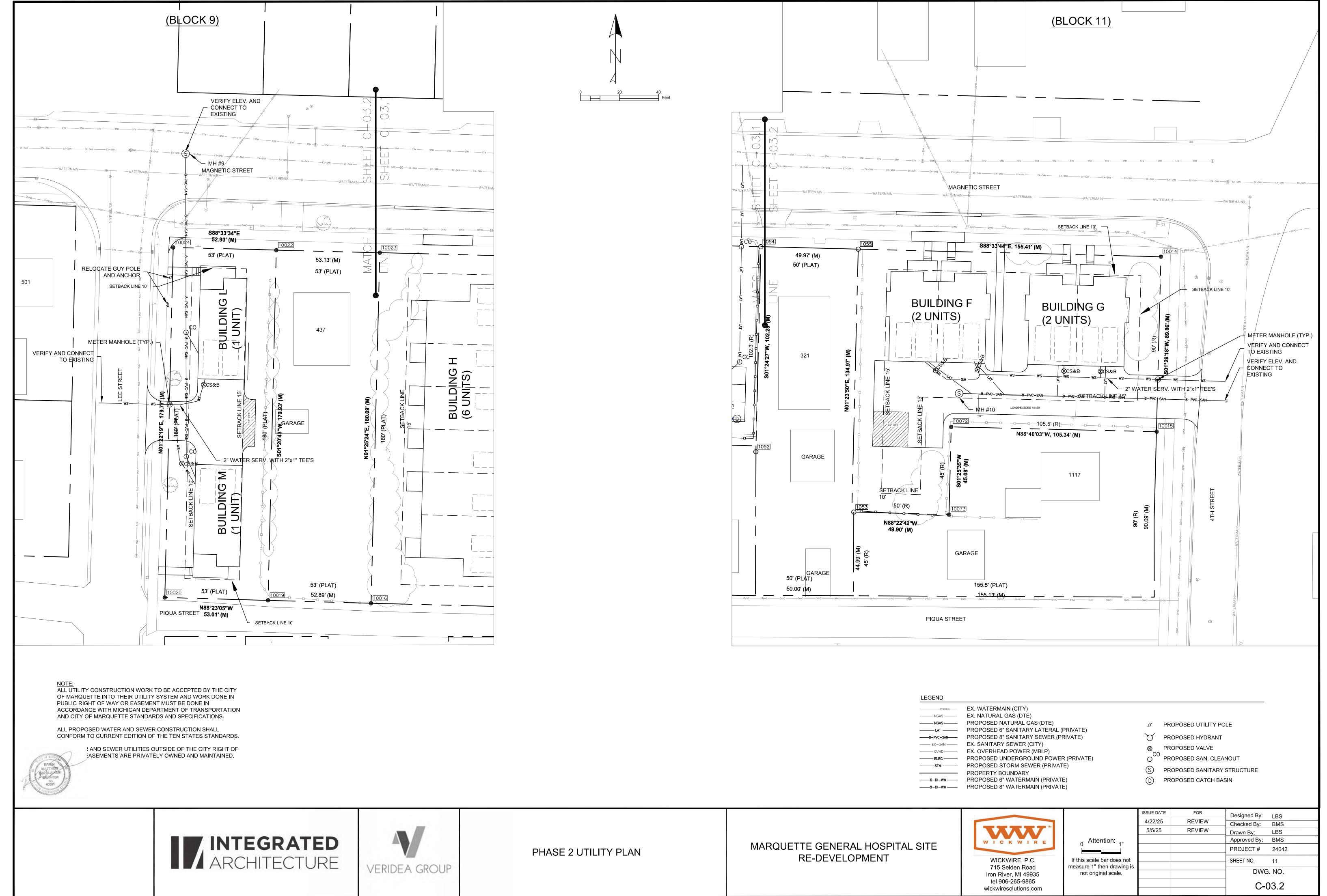


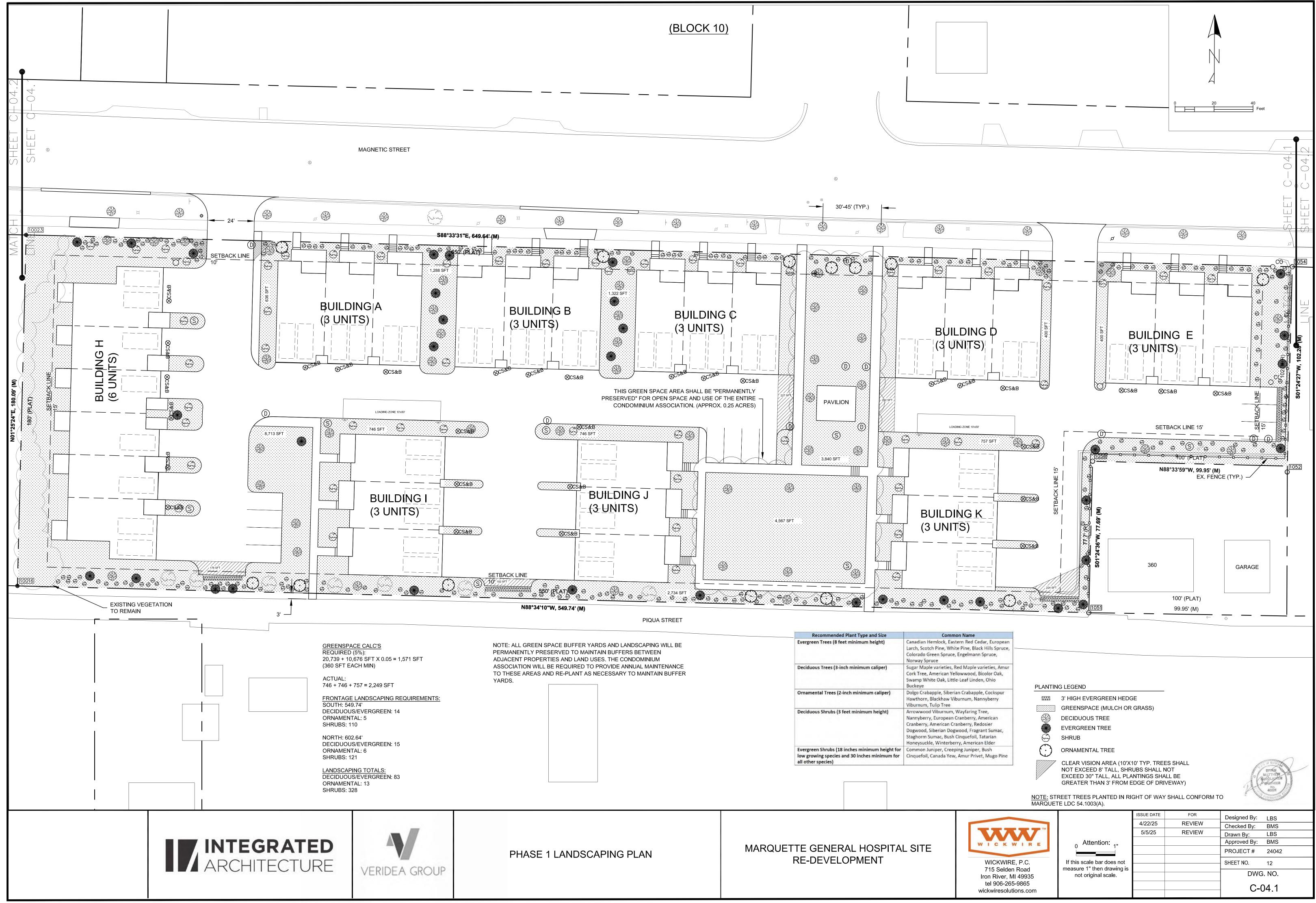


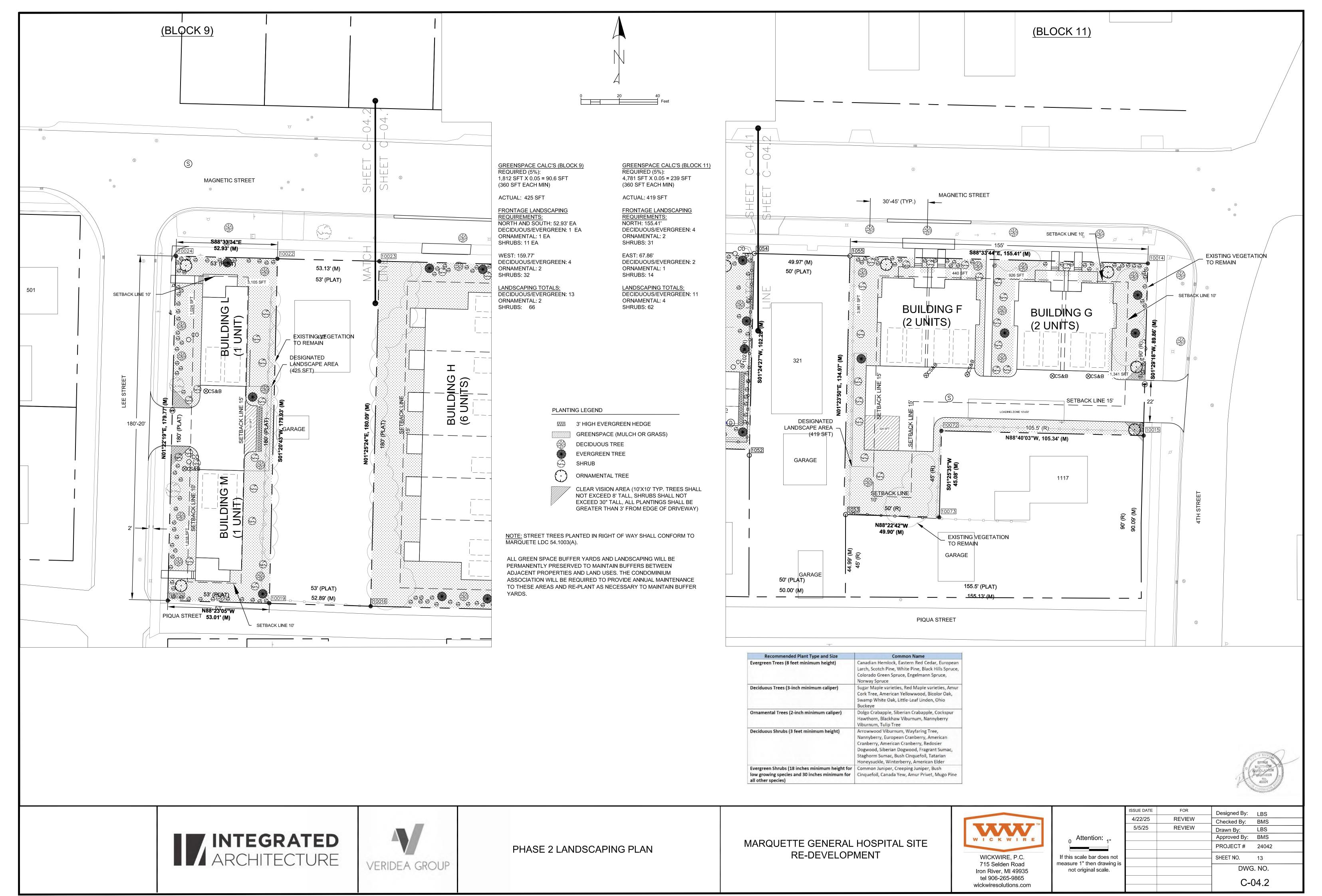


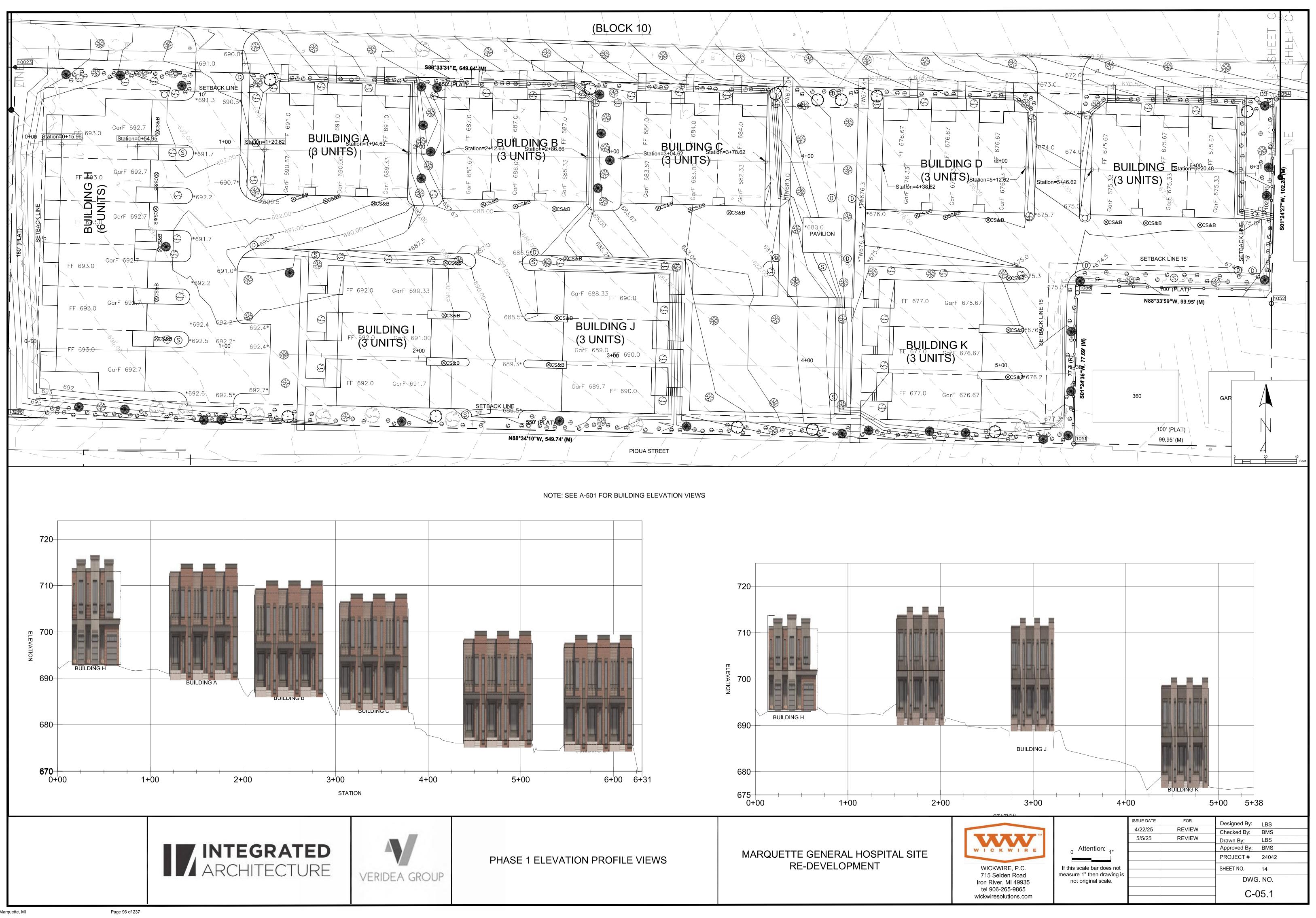


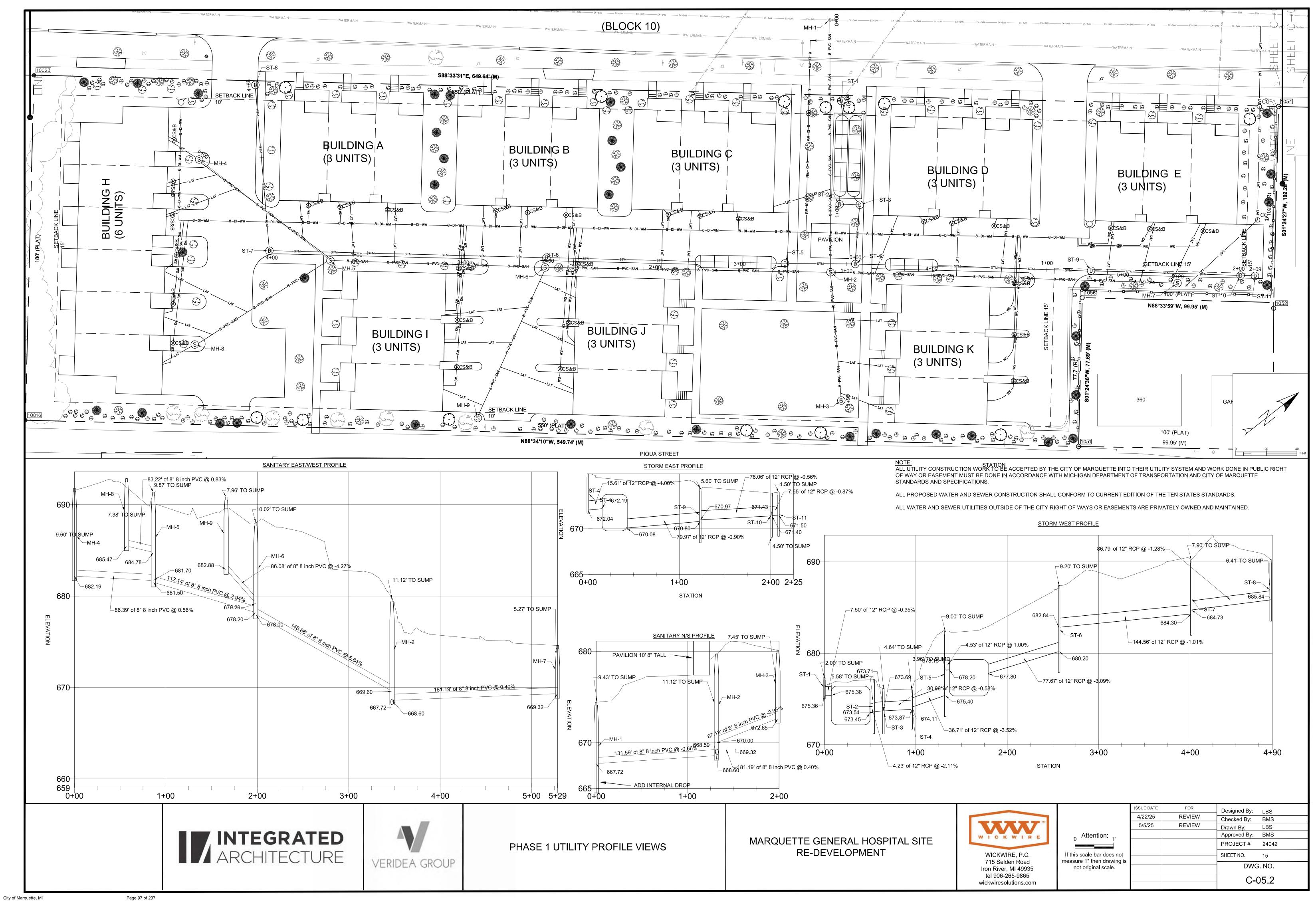


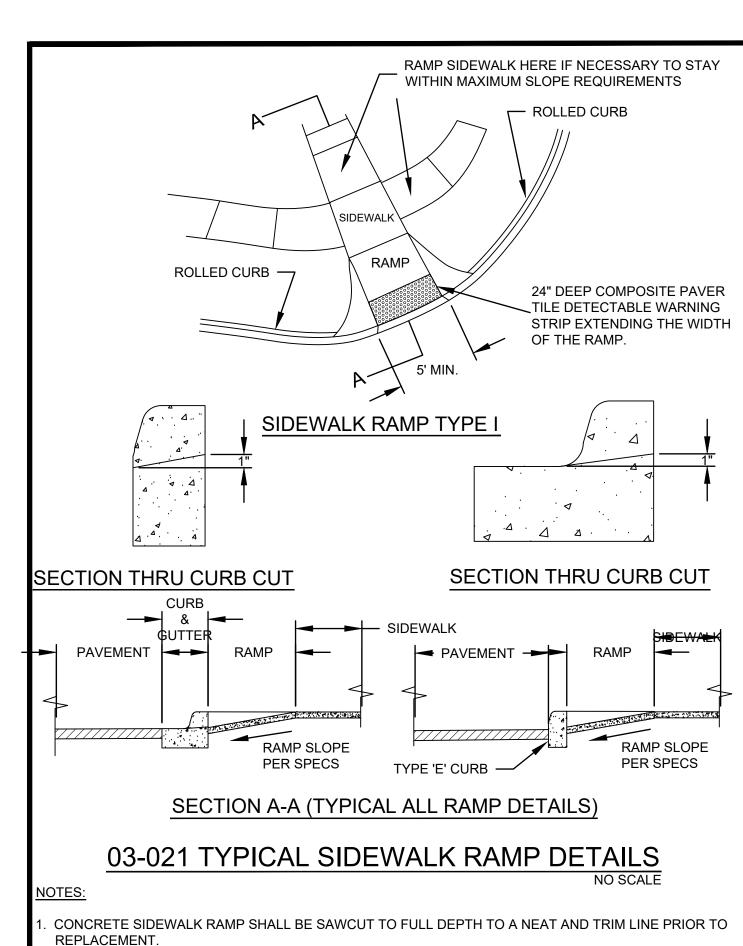












- . CONCRETE SIDEWALK RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN 1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.
- . ANY EXISTING CONCRETE SIDEWALK RAMP WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.

PARKING LOT RECONSTRUCTION REQUIREMENTS:

R-28-G, OR THE LATEST REVISION THEREOF.

- 1. TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR PARKING LOT REPAIR OR CONSTRUCTION.
- 2. THE SLOPE OF THE PROPOSED CROSS SECTION CARIES. SEE GRADING PLAN FOR DETAILS.

TRENCH BACKFILL PER SPECIFICATIONS SLOPES AS PER SPECIFICATIONS ✓ D+36" MAXIMUM / — / ► MDOT CLASS IIIA **GRANULAR MATERIAL** MECHANICAL COMPACTION PER SPECIFICATIONS ∴12" MIN. HAND PLACED AND COMPACTED MDOT CLASS IIIA GRANULAR MATERIAL PER **SPECIFICATIONS** 1/3 Ø PIPE 6" MDOT CLASS IIIA GRANULAR SHAPE TO FIT BARREL MATERIAL BEDDING BELOW - PIPE IN DRY CONDITIONS. IN WET CONDITIONS IN MUCK EXCAVATE TO FIRM USE 6" MDOT 25A SOIL PER SPECIFICATIONS. COARSE AGGREGATE METHOD 2

WHERE NATURAL MATERIAL BENEATH PIPE DOES NOT MEET MDOT CLASS IIIA SPECIRICATIONS OR WHERE NATURAL MATERIAL IS UNDERCUT DURING EXCAVATION TO STABALIZE TRENCH BOTTOM

02-192 PIPE BEDDING DETAIL

NO SCALE

2. CONTRACTOR SHALL INSTALL NON-WOVEN 8 OZ/SYD GEOTEXTILE FABRIC ABOVE MDOT 25A STONE FOR ENTIRE TRENCH WIDTH AND LENGTH OF STONE BEDDING WHEREVER UTILIZED. GEOTEXTILE FABRIC JOINTS SHALL OVERLAP A MINIMUM OF 2.0 FEET.

- 1. WHEN OTHER THAN 7" (4" MIN. TO 9" MAX.) FACE EXPOSURE IS SPECIFIED ON PLANS. VARY TOTAL CURB HEIGHT AND BATTER ACCORDINGLY.
- 2. CURB MAY BE POURED MONOLITHICALLY WHEN ADJACENT TO CONCRETE SIDEWALK.

TRENCH BACKFILL PER SPECIFICATIONS SLOPES AS PER SPECIFICATIONS ── D+36" MAXIMUM ── MDOT CLASS IIIA GRANULAR MATERIAL MECHANICAL COMPACTION PER SPECIFICATIONS 12" MIN. HAND PLACED AND COMPACTED MDOT CLASS IIIA GRANULAR MATERIAL PER SPECIFICATIONS SHAPE TO FIT BARREL

METHOD 1

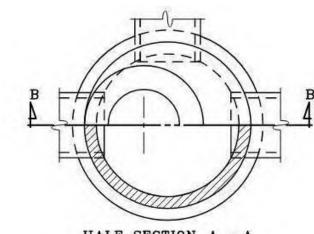
WHERE NATURAL MATERIAL BENEATH PIPE MEETS MDOT CLASS IIIA SPECIFICATIONS.

02-190 PIPE BEDDING DETAIL **NO SCALE**

NOTES:

1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.

- 1. CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
- 2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-J OR THE LATEST VERSION THEREOF.
- 3. ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
- 4. CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H
- 5. NO REINFORCEMENT SHALL BE USED IN CONCRETE SIDEWALK.
- 6. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE.



HALF SECTION A - A

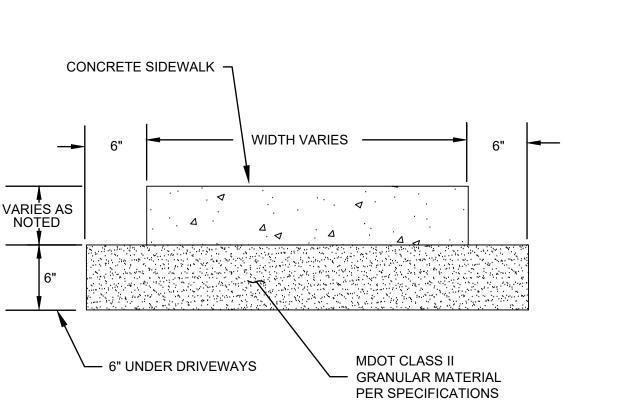
- PLACE CASTING ON CATCH

BASIN AS SPECIFIED ON

TOP OF MASONRY

BOTTOM OF CASTING

STRUCTURE OR



03-022 CONCRETE SIDEWALK

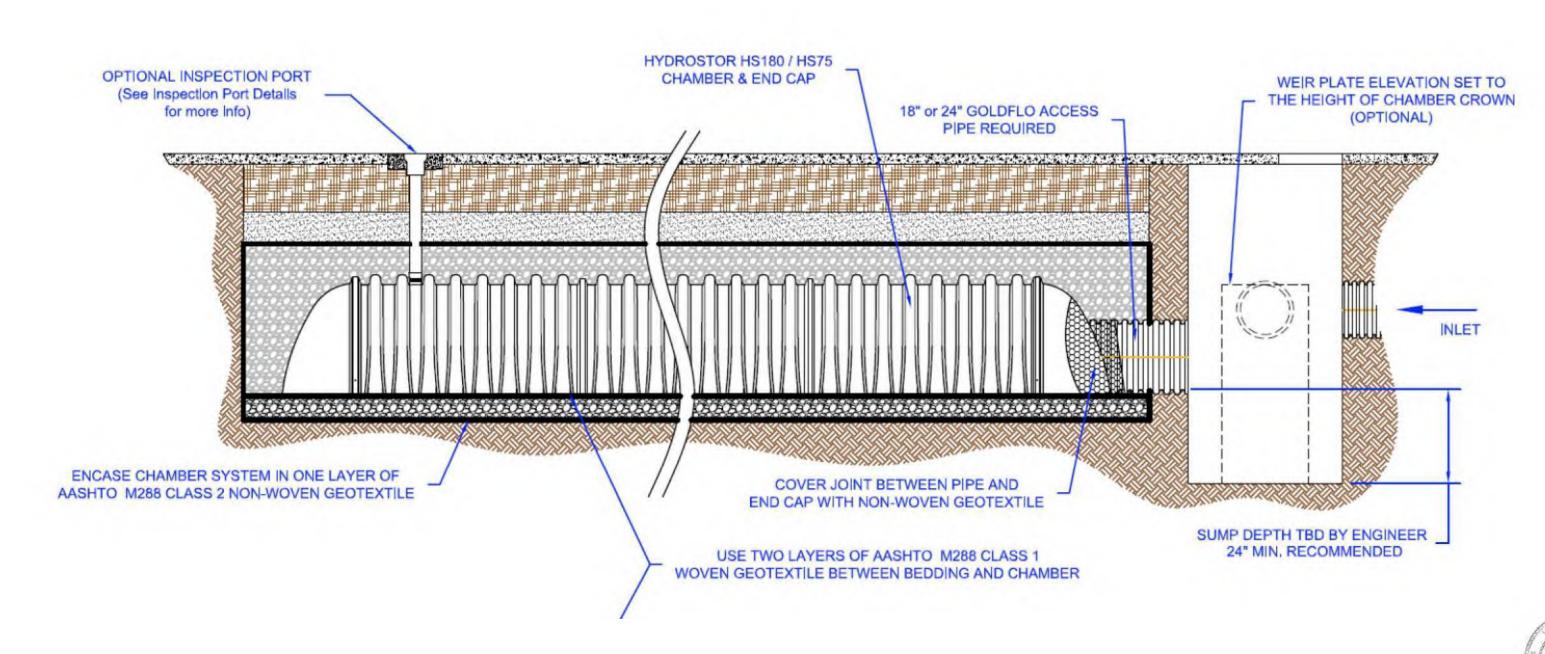
FOR PLACEMENT OF STEPS SEE MANHOLE DETAILS STRUCTURE DIA

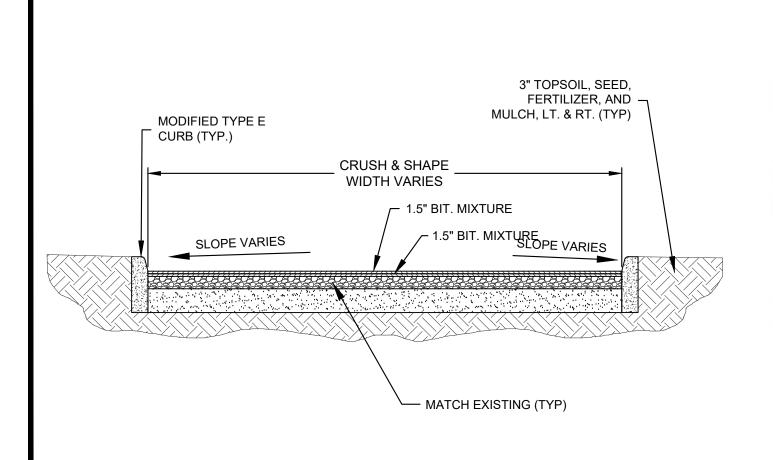
SEE MANHOLE DETAILS FOR SIZE AND BASE OPTIONS SECTION B - B

CATCH BASIN DETAIL

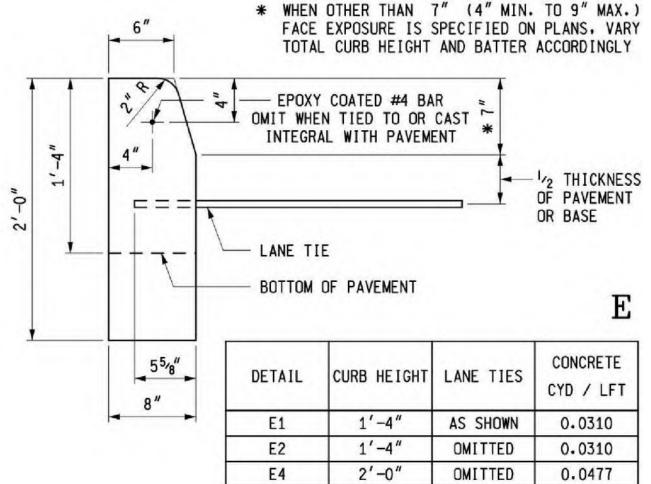
STRUCTURE COVER SHALL BE ROUND STORM CAST IRON.

STORMWATER STORAGE HYDROSTRO CHAMBERS MODEL HS180 = CF NO WEIR NEED. CONTROL IS WITH A 4" PVC OUTLET.





02-050 TYPICAL PAVED PARKING LOT SECTION



03-046 MDOT TYPE E CURB DETAIL



NO SCALE



DETAILS

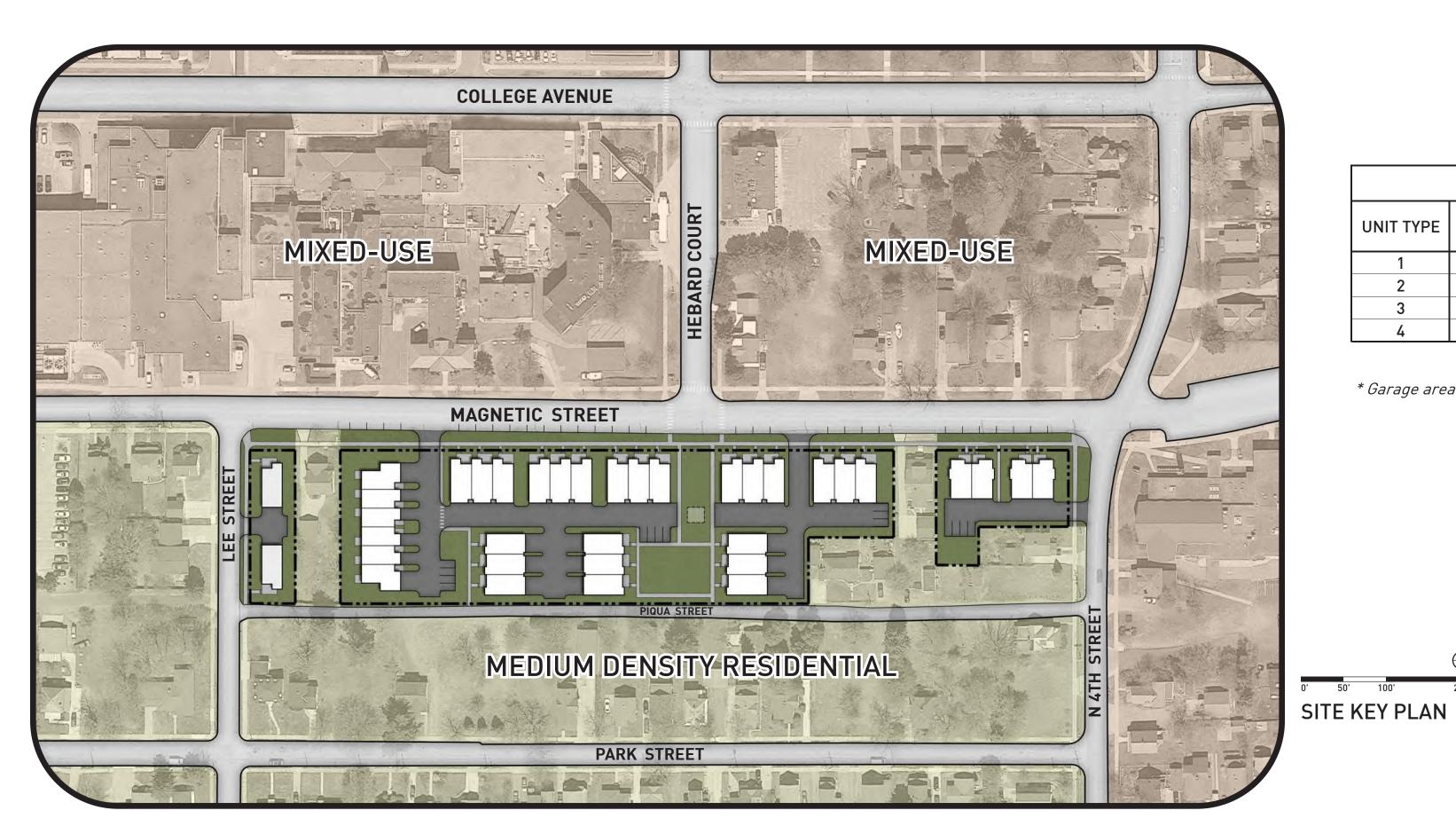
MARQUETTE GENERAL HOSPITAL SITE **RE-DEVELOPMENT**



tel 906-265-9865 wickwiresolutions.com

0	Attention:	1" ∃
measure	cale bar does 1" then drav original scale	ving

	ISSUE DATE	FOR	Designed By:	LBS
	4/22/25	REVIEW	Checked By:	BMS
	5/5/25	REVIEW	Drawn By:	LBS
Attention: 4"			Approved By:	BMS
0 1"			PROJECT#	24042
this scale bar does not easure 1" then drawing is			SHEET NO.	16
not original scale.			DWG	S. NO.
			D)-1



UNIT BREAKDOWN						
UNIT TYPE	# of BEDROOMS	# of BATHS	UNIT FOOTPRINT (sf)	TOTAL UNIT AREA (gsf)	TOTAL UNITS	
1	3	2.5	1170	1540	17	
2	3	2.5	1120	1560	9	
3	3	2.5	950	1510	6	
4	2/3	2.5	1120	1520	4	

* Garage area not included in total unit area

PROJECT BREAKDOWN						
BUILDING	# of UNITS	UNIT TYPE	STORIES	BUILDING HEIGHT	BUILDING FOOTPRINT (gsf)	BUILDING AREA (gsf)
Α	3	1	2	22'-8"	3600	6240
В	3	1	2	22'-8"	3600	6240
С	3	1	2	22'-8"	3600	6240
D	3	1	2	22'-8"	3600	6240
E	3	1	2	22'-8"	3600	6240
F	2	4	2	22'-8"	2250	4190
G	2	4	2	22'-8"	2250	4190
Н	6	3	2	21'-4"	6170	11610
I	3	2	2	22'-8"	3370	6290
J	3	2	2	22'-8"	3370	6290
K	3	2	2	22'-8"	3370	6290
L	1	1	2	22'-8"	1180	2080
М	1	1	2	22'-8"	1180	2080
TOTAL	36	-	-	-	41140	74220



INTEGRATED ARCHITECTURE



MGH REDEVELOPMENT
| BLOCKS 9-11 |
Marquette, MI



ARCHITECTURAL SITE PLAN

SHEET NO: AS-101

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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MGH REDEVELOPMENT | BLOCKS 9-11 | Marquette, MI





N-S SITE SECTION 1



N-S SITE SECTION 2



BUILDING E DRIVEWAY BUILDING D GREEN SPACE (continuation of Hebard Ct)

E-W SITE SECTION 3

PROJECT NO: 20240907

APPLICANT: Veridea Group

DEVELOPER/OWNER: Veridea Group

PREPARED BY: Integrated Architecture

SHEET NO:

PRELIMINARY PUD

SITE SECTIONS

AS-102

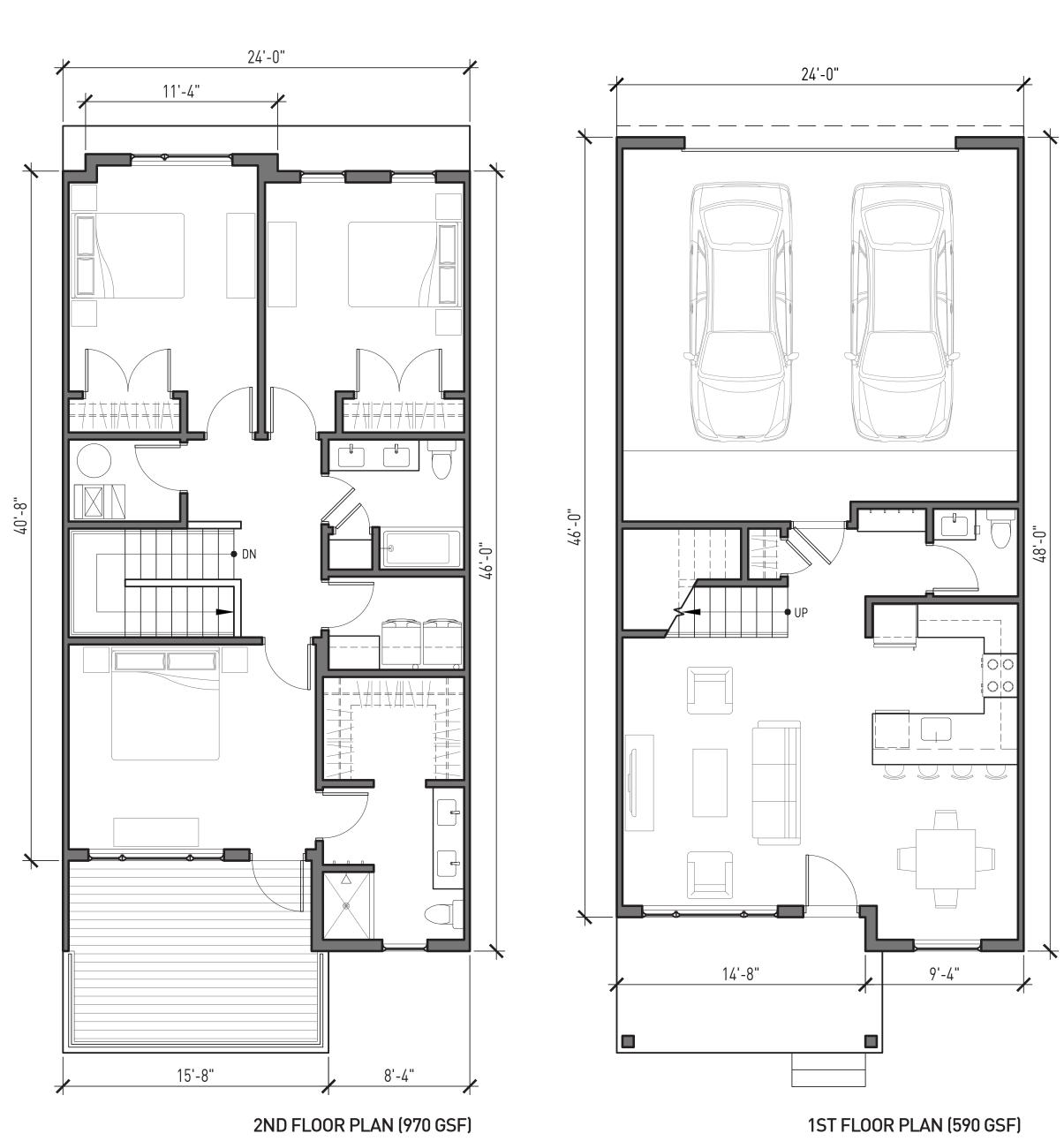
02 MAY 2025





| BLOCKS 9-11 | Marquette, MI







TOWNHOUSE - TYPE 2

3-BEDROOM UNIT2-STORYTOTAL AREA: 1,560 GSF



TOWNHOUSE - TYPE 1

- 3-BEDROOM UNIT2-STORYTOTAL AREA: 1,540 GSF

UNIT FLOOR PLANS

A-101

PRELIMINARY PUD

SHEET NO:

02 MAY 2025

DEVELOPER/OWNER: Veridea Group APPLICANT: Veridea Group PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

City of Marquette, MI Page 101 of 237



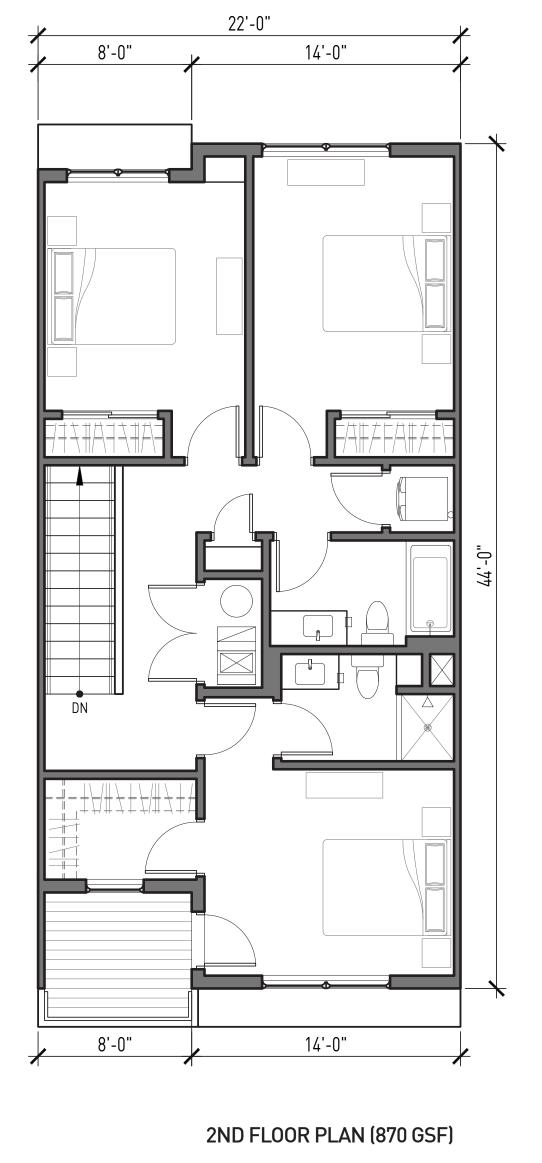


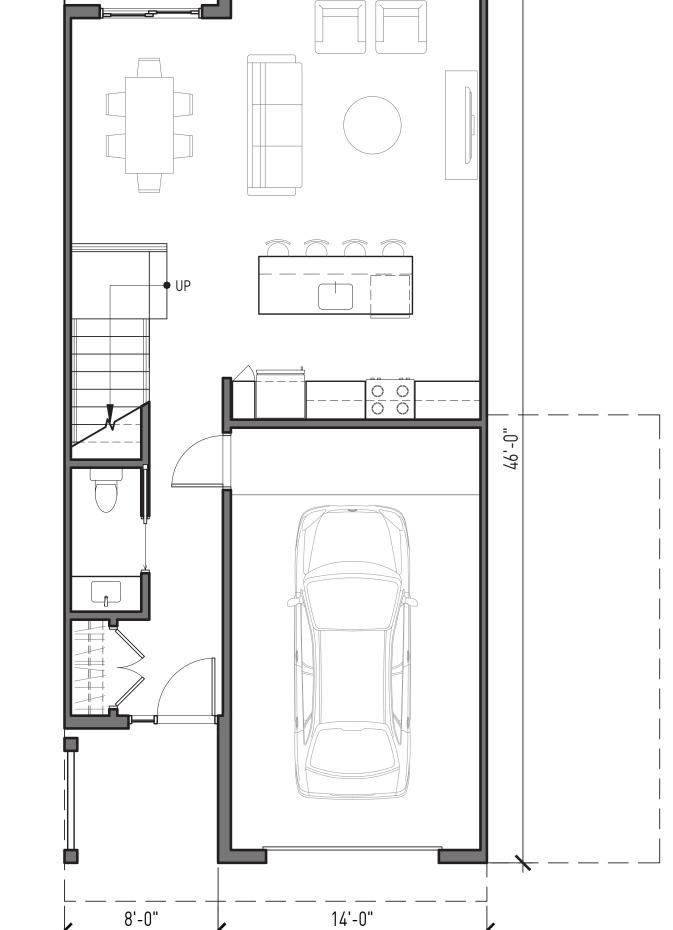


MGH REDEVELOPMENT | BLOCKS 9-11 |

Marquette, MI







22'-0"

12'-0"

10'-0"

TOWNHOUSE - TYPE 4

1ST FLOOR PLAN (560 GSF)

16'-8"

24'-8"

24'-8"

- 2/3-BEDROOM UNIT2-STORYTOTAL AREA: 1,520 GSF

TOWNHOUSE - TYPE 3

1ST FLOOR PLAN (640 GSF)

- 3-BEDROOM UNIT2-STORYTOTAL AREA: 1,510 GSF

UNIT FLOOR PLANS A-102 SHEET NO:

PRELIMINARY PUD

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group PREPARED BY: Integrated Architecture

02 MAY 2025

PROJECT NO: 20240907

Page 102 of 237 City of Marquette, MI

8'-0"

24'-8"

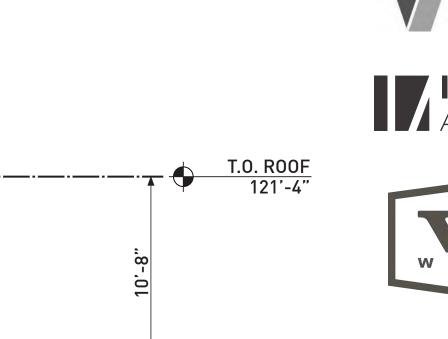
11'-4"

16'-8"

2ND FLOOR PLAN (960 GSF)

24'-8"

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2ND FLOOR 110'-8"

1ST FLOOR 100'-8"

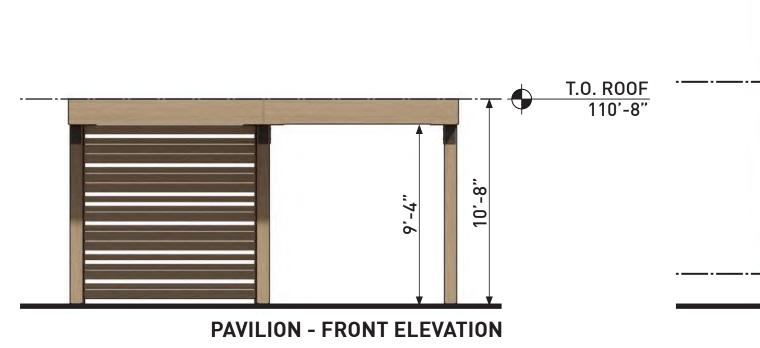






MGH REDEVELOPMENT | BLOCKS 9-11 | Marquette, MI







BUILDING I - FRONT ELEVATION(J & K SIMILAR)



BUILDING F - FRONT ELEVATION (BLDG G SIMILAR)



BUILDING A - FRONT ELEVATION

(B,C,D,E,L & M SIMILAR)

PROJECT NO: 20240907

PRELIMINARY PUD

SHEET NO:

BUILDING ELEVATIONS

DEVELOPER/OWNER: Veridea Group

PREPARED BY: Integrated Architecture

APPLICANT: Veridea Group

A-501

02 MAY 2025

PRE-FINISHED METAL COPING -MODULAR BRICK, RUNNING BOND -TYPICAL, PRE-FINISHED LAP SIDING PRE-FINISHED METAL SHADOWBOX -TYPICAL, RESIDENTIAL WINDOW SYSTEM -GREEN ROOF PLANTER W/ — METAL GUARDRAIL BEHIND WALL SCONCE LIGHT FIXTURE -PRE-FINISHED METAL -COLUMNS & CANOPY CAST-IN-PLACE CONCRETE -PORCH AND PLANTER





MGH REDEVELOPMENT | BLOCKS 9-11 | Marquette, MI





CONCEPT RENDERINGS |
ARCHITECTURAL DETAILS

EET NO:

A-J0

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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PRE-FINISHED METAL GUARDRAIL —

COMPOSITE WOOD – PORCH SOFFIT

MODULAR BRICK, RUNNING BOND —

TYPICAL, RESIDENTIAL WINDOW SYSTEM -

PRE-FINISHED METAL SHADOWBOX -

TYPICAL, PRE-FINISHED LAP SIDING -

PRE-FINISHED METAL – RESIDENTIAL GARAGE DOORS

> PRE-FINISHED METAL -COLUMNS & CANOPY

MODULAR BRICK PLANTER & — CAST-IN-PLACE CONCRETE PORCH







VERIDEA GROUP

INTEGRATED

ARCHITECTURE



MGH REDEVELOPMENT | BLOCKS 9-11 | Marquette, MI

CONCEPT RENDERINGS | ARCHITECTURAL DETAILS

SHEET NO:

· A-502

PRELIMINARY PUD 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

MARQUETTE

DRAWN: SJB CHECKED: SDK APPROVED: SDK

> JOB NUMBER: 2021-2790

> ALTA/NSPS Land Title Survey

1 OF 7

S-6

SHEET NUMBER:

Survey

6 OF 7

ALTA/NSPS LAND TITLE SURVEY

LOTS 60 THRU 72, LOTS 97 THRU 120, LOTS 150 THRU 153 AND LOTS 160 THRU 163 OF THE COLLEGE HEIGHTS SUBDIVISION, LOTS 1 THRU 3, PART OF LOTS 4, 5, 7, 8 AND 9, LOTS 68 THRU 90, LOTS 92 THRU 99, ALL OF EXCLUDED LOTS "B" AND "C" AND PART OF EXCLUDED LOT "D" OF THE NORMAL ADDITION TO THE CITY OF MARQUETTE, PART OF VACATED LEE STREET, SECTION 14, T48N-R25W, CITY OF MARQUETTE, MARQUETTE COUNTY, MICHIGAN

SCHEDULE C - LEGAL DESCRIPTION

Land in the City of Marquette, Marquette County, MI, described as follows:

Parcel 4:

The South 45 feet of the North 90 feet of Lots 8 and 9 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 5:

The North 45 feet of Lots 8 and 9 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 6:

The West 1/2 of Lot 119, and Entire Lot 120, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 8:

A parcel of land in the Northeast Quarter of the Southwest Quarter (NE 1/4 of SW 1/4) of Section 14, Township 48 North, Range 25 West, of the Normal Addition to the City of Marquette, County of Marquette and State of Michigan, described as:

That portion of excluded Lot D beginning at the Southeast corner of West College Avenue and Hebard Court; Thence East 150 feet; Thence South 150 feet; Thence West 150 feet; Thence North 150 feet to the point of beginning, and Also having been described as follows:

That part of that piece of land designated as Parcel D of the Plat of the Normal Addition to the said City of Marquette and more particularly described as follows: Commencing at a point on the South line of College Avenue (formerly Specular Street) 350 feet West of the Southwest corner of the intersection of Program Line Avenue and College Avenue. There are North 150 feet. There are North 150 feet.

described as follows: Commencing at a point on the South line of College Avenue (formerly Specular Street) 350 feet West of the Southwest corner of the intersection of Presque Isle Avenue and College Avenue; Thence South 150 feet; Thence West parallel with College Avenue 50 feet; Thence North 150 feet to the South line of College Avenue; Thence East along the South line of College Avenue 50 feet to the point of beginning.

And, that part of that piece of land designated as Parcel D on the Plat of the Normal Addition to the City of Marquette, more particularly described as: Commencing at the Southeast corner of the intersection of Specular Street and Hebard Court, running thence East on the South line of Specular Street 100 feet; Thence South parallel with the East line of Hebard Court 150 feet; thence West parallel with Specular Street 100 feet to the East line of Hebard Court; Thence North on the East line of Hebard court 150 feet to the place of beginning.

Parcel 9:

Lot 61 through 70, inclusive and the East 1/2 of Lot 71, Also Lots 106 through 111, inclusive including vacated Lee Street lying adjacent to Lots 61, 108 and 109, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 10:

Lot 105, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records. **Parcel 11:**

Lot 104, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 12:

Lot 103, of College Heights, as recorded in Liber 5 of Plats Page 4, Marquette County Records.

Parcel 13:

Lot 102, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records. **Parcel 14:**

Lots 97 through 101, inclusive, of College Heights, as recorded in Liber 5 of Plats, Page 4 Marquette County Records.

Parcel 15:
The West 1/2 of Lot 71, and Entire Lot 72, of C

The West 1/2 of Lot 71, and Entire Lot 72, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 16:

The North 135 feet of Lot 7 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 18:

The North 102.3 feet of Lot 5 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 20:

The North 102.3 feet of Lot 4 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 22:

Lot 3 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 24:

Lot 2 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Lot 1, Excluded Lot B, Lots 68 through 81, inclusive, including adjacent vacated Lee Street, Excluded Lot C, Lots 82 through 89, inclusive, including adjacent vacated Lee Street, and Lots 92 through 99, inclusive, of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marguette County Records, also being premises situated in Section 14, Township 48 North, Range 25 West.

Lot 90 Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.

Parcel 29:

Lot 112, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 30:

Lot 113, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 31:

Lots 153 and 160, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 32:

Lots 152 and 161, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 33:

Lot 162, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 34:

Marquette County Records.

Lot 151, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records. **Parcel 35:**

Lots 150 and 163, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 37:
Lot 114, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 38:

Lot 115_of College Heights, as recorded in Liber 5 of Plats, Page 4, Marguette County Record

Lot 115, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records. **Parcel 39:**

Lot 116, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 41:

Lot 117 and the East 12.5 feet of Lot 118, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

Parcel 42:

The West 37.5 feet of Lot 118, and the East 1/2 of Lot 119, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records. **Parcel 43:**

Lot 60, except the West 24 feet, including vacated street lying adjacent to said lot, of College Heights, as recorded in Liber 5 of Plats, Page 4,

SCHEDULE B, PART II - EXCEPTIONS

Issued through First American Title Insurance Company, Commitment Number NCS-1091568-NAS, Revision No.: 2 with an effective date of September 12, 2022, has been reviewed in conjunction with the preparation of this survey. Notes related to the review of this title policy, Schedule B, Part II Exceptions are as follows:

1-6. Intentionally Omitted.

- Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 109, Page 605.

 (Affects Parcel 29) SHOWN ON PAGE 5 OF 7
- 8. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 115, Page 411.

 (Affects Parcel 38) SHOWN ON PAGE 5 OF 7
- 9. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 116, Page 43. (Affects Parcel 9) SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7
- Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 146, Page 381.

 (Affects Parcel 35) SHOWN ON PAGE 4 OF 7
- 11. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 159, Page 9.

 (Affects Parcel 39) **SHOWN ON PAGE 4 OF 7**
- 12. The terms, provisions and easement(s) contained in the document entitled "Conveyance of Right of Way" recorded November 2, 1993 as Liber 139 of Miscellaneous Records, Page 598.

 (Affects Parcel 34) SHOWN ON PAGE 4 OF 7
- 13. The terms, provisions and easement(s) contained in the document entitled "Permanent Easement Agreement" recorded March 18, 1998 as Liber 153 of Miscellaneous Records, Page 489.
- (Affects Parcel 9) SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7

 The terms, provisions and easement(s) contained in the document entitled "Easement Agreement" recorded October 16, 1998 as Liber 15
- The terms, provisions and easement(s) contained in the document entitled "Easement Agreement" recorded October 16, 1998 as Liber 155 of Miscellaneous Records, Page 582. **NOT MAPPABLE**
- The terms, provisions and easement(s) contained in the document entitled "Deed" recorded February 1, 1979 as Liber 330, Page 952.

 Affected by (Partial) Termination of Encumbrances dated August 30, 2012 and recorded September 6, 2012 in Instrument No. 2012R-10470 of Official Records.
- (Affects Parcel 9) SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7
 The terms, provisions and easement(s) contained in the document entitled "Quit-Claim Deed" recorded September 16, 1980 as Liber 336, Page 376 of Official Records.
- (Affects Parcel 18) SHOWN ON PAGE 5 OF 7
 The terms, provisions and easement(s) contained in the document entitled "Temporary Easement Agreement" recorded September 14, 2005 as Instrument No. 2005R-11811 of Official Records.
- (Affects Parcels 9 through 14, 29 and 30, 37 and 38) **SHOWN ON PAGE 3 OF 7 AND PAGE 5 OF 7**The terms, provisions and easement(s) contained in the document entitled "Easement Agreement" recorded December 22, 2015 as Instrument No. 2015R-12456 of Official Records. **NOT PART OF THIS SURVEY**
- 19-23. Intentionally Omitted.
 24. The terms and provisions contained in the document entitled "Notice of Option to Repurchase and Covenants Running with the Land"
- recorded as Liber 100, Page 415 of Official Records. (Affects Parcel 43)- **NOT MAPPABLE**The terms, provisions and easement(s) contained in the document entitled "Warranty Deed" recorded as Liber 330, Page 952 of Official Records. (Affects Parcel 43) **WARRANTY DEED REFERENCES COVENANTS SUBJECTING PARCEL, BUT DOES NOT SPECIFY WHAT THEY ARE NOT MAPPABLE, WARRANTY DEED ALSO REFERENCES A NEGATIVE EASEMENT TO RESTRICT VEHICLE**
- AND PEDESTRIAN ACCESS TO KAYE AVENUE FROM PARCEL SHOWN ON PAGE 3 OF 7

 Lien(s) for any additional taxes which may become due as a result of a reassessment and retroactive adjustment of taxes. (Affects Parcel 43)
 NOT MAPPABLE

SURVEY NOTES

- 1. Other commitment items not specified hereon may have been considered irrelevant to an ALTA/NSPS Land Title Survey and have not been reviewed in conjunction with preparation of this plat (i.e. Annexation Agreements, Leases, Mortgages, Liens, Special Assessments, Covenants, Trusts, Unspecified or Unrecorded Rights).
- 2. Utility locations derived from observed evidence during field survey, utility facilities mapping provided by utility company and a private
- underground utility locate performed by TriMedia on December 3, 2021.

 (M) indicates TriMedia measured dimensions, (R) indicates record survey dimensions, (PLAT) indicates platted dimensions
- 4. Note to the client, insurer, and lender With regard to Table A, item 11, information from the utility company sources will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 5. Units: International Feet
- 6. Vertical Datum: NAVD88
- Bearings based upon Michigan State Plane Coordinate System, North Zone (2111), NAD83/2011

SURVEYOR'S CERTIFICATE

ALTA / NSPS Land Title Survey

TO MSHDA, Cinnaire Title Services, and the Marquette Housing Commission:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail
Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 4 and 11(b) of Table A thereof. The field work was completed on *December 7, 2021*.

TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC

BY: Staces J. Bluse, P.S. No. 4001050429

DATE: 10/18/2022

PREPARED BY

Trimedia Environmental & Engineering Services, LLC 830 West Washington St.
Marquette, MI 49855
(906)-228-5125
sbluse@trimediaee.com



TABLE A NOTES

- 1. Monumentation has been found or set at all corners of the property and are described in the Schedule of Property Monuments below
- Gross land area for all parcels combined is 17.6000 acres.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by markings coordinated by the surveyor pursuant to a private utility locate request completed by Trimedia on December 03, 2021.

Note to the client, insurer, and lender – With regard to Table A, item 11, information from the utility company sources will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

SCHEDULE OF PROPERTY MONUMENTS (1000 - TYP) 1000 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUTED 0.4' HIGH INTO CONCRETE RETAINING WALL 1001 - SET CAP No. 4001050429 ON FOUND 5/8" IRON 1002 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUTED FLUSH INTO CONCRETE SIDEWALK 1004 - SET 5/8" x 18" IRON W/CAP No. 4001050429. 1.00' EAST OF PROPERTY CORNER POSITION 1005 - SET 5/8" x 18" IRON W/CAP No. 4001050429 1006 - SET 5/8" x 18" IRON W/CAP No. 4001050429 1007 - SET 5/8" x 18" IRON W/CAP No. 4001050429 1008 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUTED FLUSH INTO CONCRETE 1009 - SET 5/8" x 18" IRON W/CAP No. 4001050429 1010 - SET 5/8" x 18" IRON W/CAP No. 4001050429, 3.00' SOUTH OF PROPERTY CORNER POSITION 1011 - SET 5/8" x 18" IRON W/CAP No. 4001050429, 1.00' EAST OF PROPERTY CORNER POSITION 1012 - SET 5/8" x 18" IRON W/CAP No. 4001050429 1013 - SET 5/8" x 18" IRON W/CAP No. 4001050429 10000 - FD. 5/8" IRON W/CAP No. 40167 10002 - FD. 5/8" IRON W/CAP No. 27464 10003 - FD. 1" PIPE 10004 - FD. 1" PIPE 10005 - FD. 5/8" IRON W/CAP No. 40167 10006 - FD. 5/8" IRON W/CAP No. 40167 10008 - FD. 5/8" IRON W/CAP No. 40167 10009 - FD. 5/8" IRON W/CAP No. 40167 10010 - FD. 1" PIPE 10011 - FD. 5/8" IRON W/CAP No. 40167 10012 - FD. 5/8" IRON W/CAP No. 28404 10013 - FD. 3/4" PIPE 10014 - FD. 1" PIPE 10015 - FD. 3/4" PIPE 10016 - FD. 5/8" IRON W/CAP No. 27464 10019 - FD. 5/8" IRON W/CAP No. 27464 10020 - FD. 5/8" IRON W/CAP No. 27464 10022 - FD. 5/8" IRON W/CAP No. 27464 10023 - FD. 5/8" IRON W/CAP No. 27464 10024 - FD. 5/8" IRON W/CAP No. 27464 10025 - FD. 1" PIPE 10026 - FD. 1-1/4" PIPE 10028 - FD. 1" PIPE 10029 - FD. 1/2" IRON W/CAP No. 19616 10030 - FD. 1/2" IRON W/CAP No. 19616 10031 - FD. T-IRON 10032 - FD. 1/2" CAPPED IRON (NOT LEGIBLE) 10033 - FD. 3/4" PIPE 10034 - FD. T-IRON 10035 - FD. T-IRON 10036 - FD. 1" PIPE UNDER ROCK WALL (TOOK SHOT 0.3' WEST) 10038 - FD. 3/8" IRON 10048 - FD. PK NAIL W/WASHER P.S. No. 50454 10049 - FD. IRON W/CAP No. 28404 AT FENCE END 10050 - FD. 5/8" IRON W/CAP No. 28404 10072 - FD. 3/4" PIPE 10073 - FD. 3/4" PIPE

11003 - FD. 5/8" IRON W/CAP No. 40167, N42°10'17"E, 0.20' FROM ACCEPTED PROPERTY CORNER LOCATION

10075 - FD. 5/8" IRON W/CAP No. 40167

10076 - FD. T-IRON

City of Marquette, MI Page 107 of 237

City of Marquette, MI

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

Consent Agenda - Roll Call Vote Schedule Public Hearing- Abatement of a Dangerous Structure - 308 S. Fifth Street

BACKGROUND:

Over the past several years the condition of an outbuilding located at 308 S. Fifth Street has significantly deteriorated, which required City staff to take enforcement action, in the manner allowed under City Code. Staff have attempted to resolve the issue with the owner which has led to issuing numerous warnings and citations. These citations went unpaid for several years, until the Marquette County District Court issued a show cause for nonpayment of the citations last summer.

City staff has continued to make efforts to get the owner to repair or remove the structure since then. The structure is located near the property line and is a danger not both the owner's home and the neighboring property.

Following a recent structural analysis, it was deemed a dangerous structure as outlined in City Code Section 22-20 - Dangerous Structures. During the structural analysis, it was determined that the structure was more dangerous than appeared from prior review of the exterior of the structure.

The owner was notified that the structure was condemned in January 2025, and to date has made no attempt to address the problems. Based on this, City staff determined the best course of action is the formal condemnation process including a recommendation to demolish the structure.

FISCAL EFFECT:

The estimated cost of abatement is \$10,000 with the cost being charged to the property owner with a lien placed on the property until paid.

RECOMMENDATION:

Schedule a public hearing to consider the abatement of a dangerous structure located at 308 S. Fifth Street for the June 30, 2025 Commission Meeting.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Case History

Table of Contents

Page 2	City of Marquette Ordinance in Violation
Page 6	Case History Photographs
Page 10	International Property Maintenance Code (IPMC) Violations
Page 18	Notices of Violation
Page 34	Initial Tickets for Failed Reinspection's
Page 46	Civil Infraction Citations
	(forwarding action to District Court for failure to pay initial tickets)
Page 58	Enforcement Notes
Page 63	District Court Actions
	(non-payments, bench warrants, resolutions)
Page 102	Administrative Warrant
Page 105	Photographs from 01/09/2025 Structural Analysis
Page 118	Structural Analysis Report
Page 123	Marquette Fire Department, Fire Marshal Notice of Condemnation

City of Marquette
Ordinance in Violation

Sec. 22-19. - Defined; prohibited.

Whatever annoys, injures or endangers the safety, health, comfort or repose of the public; offends public decency; interferes with, obstructs, or renders dangerous any street, highway, navigable lake or stream; or in any way renders the public insecure in life or property is hereby declared to be a public nuisance. A public nuisance shall include, but not be limited to, whatever is forbidden by any provision of this article. No person shall commit, create, or maintain any nuisance.

(Code 1999, § 26.01)

Sec. 22-20. - Dangerous structures; declared a public nuisance.

- (a) No person shall maintain any structure which is unsafe or which is a menace to the health, morals, or safety of the public. Every such structure shall be deemed a public nuisance and a dangerous structure.
- (b) As used in this section, the term "dangerous structure" means a building or structure that has one or more of the following defects or is in one or more of the following conditions:
 - (1) A door, aisle, passageway, stairway, or other means of exit does not conform to the approved fire code of the city.
 - (2) A portion of the building or structure is damaged by fire, wind, flood, deterioration, neglect, abandonment, vandalism, or other cause so that the structural strength or stability of the building or structure is appreciably less than it was before the damage and does not meet the minimum requirements of the state construction code and this Code.
 - (3) A part of the building or structure is likely to fall, become detached or dislodged, or collapse and injure persons or damage property.
 - (4) A portion of the building or structure has settled to an extent that walls or other structural portions of the building or structure have materially less resistance to wind than is required in the case of new construction by the state construction code.
 - (5) The building or structure, or a part of the building or structure, because of dilapidation, deterioration, decay, faulty construction, the removal or movement of some portion of the ground necessary for the support, or for other reason, is likely to partially or completely collapse, or some portion of the foundation or underpinning of the building or structure is likely to fall or give way.
 - (6) The building, structure, or a part of the building or structure is manifestly unsafe for the purpose for which it is used.
 - (7) The building or structure is damaged by fire, wind, or flood, is dilapidated or deteriorated and becomes an attractive nuisance to children who might play in the building or structure to their danger, becomes a harbor for vagrants, criminals, or immoral persons, or enables

persons to resort to the building or structure for committing a nuisance or an unlawful or immoral act.

- (8) A building or structure used or intended to be used for dwelling purposes, including the adjoining grounds, because of dilapidation, decay, damage, faulty construction or arrangement, or for other reason, is unsanitary or unfit for human habitation, is in a condition that the health officer determines is likely to cause sickness or disease, or is likely to injure the health, safety, or general welfare of people living in the dwelling.
- (9) A building or structure is vacant, dilapidated, and open at door or window, leaving the interior of the building exposed to the elements or accessible to entrance by trespassers.
- (10) A building or structure remains unoccupied for a period of 180 consecutive days or longer, and is not listed as being available for sale, lease, or rent with a real estate broker licensed under article 25 of the occupational code, Public Act No. 299 of 1980 (MCL 339.2501 et seq.). For purposes of this subsection, the term "building or structure" includes, but is not limited to, a commercial building or structure. This subsection does not apply to either of the following:
 - a. A building or structure if the owner or agent does both of the following:
 - Notifies a local law enforcement agency that the building or structure will remain unoccupied for a period of 180 consecutive days. The notice shall be given to the local law enforcement agency by the owner or agent not more than 30 days after the building or structure becomes unoccupied.
 - 2. Maintains the exterior of the building or structure and adjoining grounds in accordance with the state construction code.
 - b. A secondary dwelling of the owner that is regularly unoccupied for a period of 180 days or longer each year, if the owner notifies a local law enforcement agency that the dwelling will remain unoccupied for a period of 180 consecutive days or more each year. An owner who has given the notice prescribed by this subsection (b)(10)b shall notify the law enforcement agency not more than 30 days after the dwelling no longer qualifies for this exception. As used in this subsection (b)(10)b, the term "secondary dwelling" means a dwelling, including, but not limited to, a vacation home, hunting cabin, or summer home, that is occupied by the owner or a member of the owner's family during part of a year.

(Code 1999, § 26.02)

Sec. 22-21. - Notice and hearing.

The city commission may, after notice to the owner and after holding a public hearing thereon, condemn any structure constituting a public nuisance by giving notice to the owner of the land upon which such structure is located, specifying in what respects said structure is a public nuisance and requiring said owner to alter, repair, tear down or remove same within such reasonable time, not exceeding 60 days, as may be

necessary to do or have done the work required by said notice. Said notice may also provide a reasonable time within which such work shall be commenced. The same procedure shall be followed, where applicable, in the elimination of any condition constituting a public nuisance where the alteration, repair or removal of any structure is not involved. In such cases, the notice shall specify what activity or condition constitutes the public nuisance and in what respect it is to be altered, modified or discontinued.

(Code 1999, § 26.03)

Sec. 22-22. - Abatement.

If, at the expiration of the time limit in any such notice, the owner has not complied with the requirements thereof, the city manager shall carry out the requirements of said notice. The cost of such abatement shall be charged against the premises and the owner thereof in accordance with the provisions of <u>chapter 40</u>, pertaining to special assessments.

(Code 1999, § 26.04)

Sec. 22-23. - Emergency abatement.

The city manager may abate any such public nuisance, if the public safety requires immediate action, without preliminary order of the commission. Thereafter, the cost of abating such nuisance shall be charged against the premises and the owner thereof in accordance with the provisions of <u>chapter 40</u>, pertaining to special assessments.

(Code 1999, § 26.05)

Photos











IPMC

SECTION 202 GENERAL DEFINITIONS

ANCHORED. Secured in a manner that provides positive connection.

APPROVED. Acceptable to the code official.

CODE OFFICIAL. The official who is charged with the administration and enforcement of this code, or any duly authorized representative.

DETERIORATION. To weaken, disintegrate, corrode, rust or decay and lose effectiveness

EXTERIOR PROPERTY. The open space on the premises and on adjoining property under the control of owners or operators of such premises.

INFESTATION. The presence, within or contiguous to, a structure or premises of insects, rodents, vermin or other pests.

STRUCTURE. That which is built or constructed.

SECTION 111

UNSAFE STRUCTURES AND EQUIPMENT

- **111.1 General Unsafe conditions.** When a structure or equipment is found by the code official to be unsafe, or when a structure is found unfit for human occupancy, or is found unlawful, such structure shall be condemned pursuant to the provisions of this code.
- 111.1.1 Unsafe structures. An unsafe structure is one that is found to be dangerous to the life, health, property or safety of the public or the occupants of the structure by not providing minimum safeguards to protect or warn occupants in the event of fire, or because such structure contains unsafe equipment or is so damaged, decayed, dilapidated, structurally unsafe or of such faulty construction or unstable foundation, that partial or complete collapse is possible.
- **111.1.2 Unsafe equipment.** Unsafe equipment includes any boiler, heating equipment, elevator, moving stairway, electrical wiring or device, flammable liquid containers or other equipment on the premises or within the structure that is in such disrepair or condition that such equipment is a hazard to life, health, property or safety of the public or occupants of the premises or structure.
- 111.1.3 Structure unfit for human occupancy. A structure is unfit for human occupancy whenever the code official finds that such structure is unsafe, unlawful or, because of the degree to which the structure is in disrepair or lacks maintenance, is insanitary, vermin or rat infested, contains filth and contamination, or lacks ventilation, illumination, sanitary or heating facilities or other essential equipment required by this code, or because the location of the structure constitutes a hazard to the occupants of the structure or to the public.
- **111.1.4 Unlawful structure.** An unlawful structure is one found in whole or in part to be occupied by more persons than permitted under this code, or was erected, altered or occupied contrary to law.
- 111.1.5 Dangerous structure or premises. For the purpose of this code, any structure or premises that has any or all of the conditions or defects described as follows shall be considered to be dangerous:
- 1. Any door, aisle, passageway, stairway, exit or other means of egress that does not conform to the approved building or fire code of the jurisdiction as related to the requirements for existing buildings.
- **2.** The walking surface of any aisle, passageway, stairway, exit or other means of egress is so warped, worn loose, torn or otherwise unsafe as to not provide safe and adequate means of egress.
- 3. Any portion of a building, structure or appurtenance that has been damaged by fire, earthquake, wind, flood, deterioration, neglect, abandonment, vandalism or by any other cause to such an extent that it is likely to partially or completely collapse, or to become detached or dislodged.
- **4.** Any portion of a building, or any member, appurtenance or ornamentation on the exterior thereof that is not of sufficient strength or stability, or is not so anchored, attached or fastened in place so as to be capable of resisting natural or artificial loads of one and one-half the original designed value.

- 5. The building or structure, or part of the building or structure, because of dilapidation, deterioration, decay, faulty construction, the removal or movement of some portion of the ground necessary for the support, or for any other reason, is likely to partially or completely collapse, or some portion of the foundation or underpinning of the building or structure is likely to fail or give way.
- 6. The building or structure, or any portion thereof, is clearly unsafe for its use and occupancy.
- 7. The building or structure is neglected, damaged, dilapidated, unsecured or abandoned so as to become an attractive nuisance to children who might play in the building or structure to their danger, becomes a harbor for vagrants, criminals or immoral persons, or enables persons to resort to the building or structure for committing a nuisance or an unlawful act.
- **8.** Any building or structure has been constructed, exists or is maintained in violation of any specific requirement or prohibition applicable to such building or structure provided by the approved building or fire code of the jurisdiction, or of any law or ordinance to such an extent as to present either a substantial risk of fire, building collapse or any other threat to life and safety.
- **9.** A building or structure, used or intended to be used for dwelling purposes, because of inadequate maintenance, dilapidation, decay, damage, faulty construction or arrangement, inadequate light, ventilation, mechanical or plumbing system, or otherwise, is determined by the code official to be unsanitary, unfit for human habitation or in such a condition that is likely to cause sickness or disease.
- **10.** Any building or structure, because of a lack of sufficient or proper fire-resistance-rated construction, fire protection systems, electrical system, fuel connections, mechanical system, plumbing system or other cause, is determined by the code official to be a threat to life or health.
- **11.** Any portion of a building remains on a site after the demolition or destruction of the building or structure or whenever any building or structure is abandoned so as to constitute such building or portion thereof as an attractive nuisance or hazard to the public.
- 111.2 Closing of vacant structures. If the structure is vacant and unfit for human habitation and occupancy, and is not in danger of structural collapse, the code official is authorized to post a placard of condemnation on the premises and order the structure closed up so as not to be an attractive nuisance. Upon failure of the owner or owner 's authorized agent to close up the premises within the time specified in the order, the code official shall cause the premises to be closed and secured through any available public agency or by contract or arrangement by private persons and the cost thereof shall be charged against the real estate upon which the structure is located and shall be a lien upon such real estate and shall be collected by any other legal resource.
- 111.2.1 Authority to disconnect service utilities. The code official shall have the authority to authorize disconnection of utility service to the building, structure or system regulated by this code and the referenced codes and standards set forth in Section 102.8 in case of emergency where necessary to eliminate an immediate hazard to life or property or where such utility connection has been made without approval. The code official shall notify the serving utility and, whenever possible, the owner or owner 's authorized agent and occupant of the building, structure or service system of the decision to disconnect prior to taking such action. If not notified prior to

disconnection the owner, owner 's authorized agent or occupant of the building structure or service system shall be notified in writing as soon as practical thereafter.

- **111.3 Record.** The code official shall cause a report to be filed on an unsafe condition. The report shall state the occupancy of the structure and the nature of the unsafe condition.
- **111.4 Notice.** Whenever the code official determines that there has been a violation of this code or has grounds to believe that a violation has occurred, notice shall be given in the manner prescribed in Sections 111.4.1 and 111.4.2 to the person responsible owner or the owner's authorized agent, for the violation as specified in this code. Notices for condemnation procedures shall comply with this section.
- **111.4.1 Form.** Such notice prescribed in Section 111.4 shall be in accordance with all of the following:
- 1. Be in writing.
- 2. Include a description of the real estate sufficient for identification.
- 3. Include a statement of the violation or violations and why the notice is being issued.
- **4.** Include a correction order allowing a reasonable time to make the repairs and improvements required to bring the dwelling unit or structure into compliance with the provisions of this code.
- 5. Inform the property owner or owner's authorized agent of the right to appeal.
- 6. Include a statement of the right to file a lien in accordance with Section 109.3.
- **111.4.2 Method of service.** Such notice shall be deemed to be properly served if where a copy thereof is served in accordance with one of the following methods: delivered personally, or sent by certified or first-class mail addressed to the last known address.
- 1. A copy is delivered personally.
- 2. A copy is sent by certified or registered mail addressed to the owner at the last known address with the return receipt requested.
- 3. A copy is delivered in any other manner as prescribed by local law.

If the certified or registered letter is returned showing that the letter was not delivered, a copy thereof shall be posted in a conspicuous place in or about the structure affected by such notice. Service of such notice in the foregoing manner upon the owner's agent or upon the person responsible for the structure shall constitute service of notice upon the owner.

- **111.5 Unauthorized tampering.** Signs, tags or seals posted or affixed by the code official shall not be mutilated, destroyed or tampered with, or removed without authorization from the code official.
- 111.6 Transfer of ownership. It shall be unlawful for the owner of any dwelling unit or structure who has received a compliance order or upon whom a notice of violation has been served to sell, transfer, mortgage, lease or otherwise dispose of such dwelling unit or structure to another until the provisions of the compliance order or notice of violation have been complied with, or until such

owner or the owner's authorized agent shall first furnish the grantee, transferee, mortgagee or lessee a true copy of any compliance order or notice of violation issued by the code official and shall furnish to the code official a signed and notarized statement from the grantee, transferee, mortgagee or lessee, acknowledging the receipt of such compliance order or notice of violation and fully accepting the responsibility without condition for making the corrections or repairs required by such compliance order or notice of violation.

- 111.7 Placarding. Upon failure of the owner, owner 's authorized agent or person responsible to comply with the notice provisions within the time given, the code official shall post on the premises or on defective equipment a placard bearing the word "Condemned" and a statement of the penalties provided for occupying the premises, operating the equipment or removing the placard. Such notice shall be posted in a conspicuous place in or about the structure affected by such notice. If the notice pertains to equipment, it shall be placed on the condemned equipment.
- 111.7.1 Placard removal. The code official shall remove the condemnation placard whenever the defect or defects upon which the condemnation and placarding action were based have been eliminated. Any person who defaces or removes a condemnation placard without the approval of the code official shall be subject to the penalties provided by this code.
- **111.8 Prohibited occupancy.** Any occupied structure condemned and placarded by the code official shall be vacated as ordered by the code official. Any person who shall occupy a placarded premises or shall operate placarded equipment, and any owner, or owner 's authorized agent or person responsible for the premises who shall let anyone occupy a placarded premises or operate placarded equipment shall be liable for the penalties provided by this code.
- 111.9 Abatement methods. Restoration or abatement. The structure or equipment determined to be unsafe by the code official is permitted to be restored to a safe condition. The owner, owner's authorized agent, operator or occupant of a building structure, premises or equipment deemed unsafe by the code official shall abate or cause to be abated or corrected such unsafe conditions either by repair, rehabilitation, demolition or other approved corrective action. To the extent that repairs, alterations, or additions are made or a change of occupancy occurs during the restoration of the structure, such repairs, alterations, additions, or change of occupancy shall comply with the requirements of the International Existing Building Code.

SECTION 304 EXTERIOR STRUCTURE

- **304.1 General.** The exterior of a structure shall be maintained in good repair, structurally sound and sanitary so as not to pose a threat to the public health, safety or welfare.
- **304.1.1 Unsafe conditions.** The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the International Building Code or the International Existing Building Code as required for existing buildings:
- **1.** The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.
- 2. The anchorage of the floor or roof to walls or columns, and of walls and columns to foundations is not capable of resisting all nominal loads or load effects.
- 3. Structures or components thereof that have reached their limit state.
- 4. Siding and masonry joints including joints between the building envelope and the perimeter of windows, doors and skylights are not maintained, weather resistant or water tight.
- 5. Structural members that have evidence of deterioration or that are not capable of safely supporting all nominal loads and load effects.
- **6.** Foundation systems that are not firmly supported by footings, are not plumb and free from open cracks and breaks, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
- 7. Exterior walls that are not anchored to supporting and supported elements or are not plumb and free of holes, cracks or breaks and loose or rotting materials, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
- **8.** Roofing or roofing components that have defects that admit rain, roof surfaces with inadequate drainage, or any portion of the roof framing that is not in good repair with signs of deterioration, fatigue or without proper anchorage and incapable of supporting all nominal loads and resisting all load effects.
- **9.** Flooring and flooring components with defects that affect serviceability or flooring components that show signs of deterioration or fatigue, are not properly anchored or are incapable of supporting all nominal loads and resisting all load effects.
- **10.** Veneer, cornices, belt courses, corbels, trim, wall facings and similar decorative features not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
- 11. Overhang extensions or projections including, but not limited to, trash chutes, canopies, marquees, signs, awnings, fire escapes, standpipes and exhaust ducts not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
- **12.** Exterior stairs, decks, porches, balconies and all similar appurtenances attached thereto, including guard s and

handrails, are not structurally sound, not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.

13. Chimneys, cooling towers, smokestacks and similar appurtenances not structurally sound or not properly anchored, or that are anchored with connections not capable of supporting all nominal loads and resisting all load effects.

Exceptions:

- 1. Where substantiated otherwise by an approved method.
- Demolition of unsafe conditions shall be permitted where approved by the code official.

SECTION 302 EXTERIOR PROPERTY AREAS

302.5 Rodent harborage. Structures and exterior property shall be kept free from rodent harborage and infestation. Where rodents are found, they shall be promptly exterminated by approved processes that will not be injurious to human health. After pest elimination, proper precautions shall be taken to eliminate rodent harborage and prevent reinfestation.

302.7 Accessory structures. Accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

304.2 Protective treatment. Exterior surfaces, including but not limited to, doors, door and window frames, cornices, porches, trim, balconies, decks and fences, shall be maintained in good condition. Exterior wood surfaces, other than decay-resistant woods, shall be protected from the elements and decay by painting or other protective covering or treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints, as well as those between the building envelope and the perimeter of windows, doors and skylights, shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion, and surfaces with rust or corrosion shall be stabilized and coated to inhibit future rust and corrosion. Oxidation stains shall be removed from exterior surfaces. Surfaces designed for stabilization by oxidation are exempt from this requirement.

304.4 Structural members. Structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads.

304.6 Exterior walls. Exterior walls shall be free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

Notices of Violation

11/06/2020

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent survey of your property located at <u>308 S FIFTH ST</u> is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and <u>walls</u>, shall be maintained structurally sound and in good repair.

The ordinance is designed to protect the public health and safety, protect property values, and ensure that Marquette presents a positive and aesthetically pleasing image to visitors and residents alike.

Please bring your property into compliance with the ordinance. Your cooperation in correcting this violation will be greatly appreciated. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage. Due to the extent of work, please contact me by 11/23/2020 to discuss your intent and schedule further inspections.

Failure to comply before this date will result in the issuance of a Municipal Civil Infraction Citation. This will be the only warning.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely.

Eric Paupore

Planning/Zoning Technician

Community Development Department

07/26/2021

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

A recent survey of your property located at <u>308 S FIFTH ST</u> is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

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Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and <u>walls</u>, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **08/06/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely.

Eric Paupore

Planning/Zoning Technician

Community Development Department

Enclosure: VN# 8845

03/26/2021 08/20/2021

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE. MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

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Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage. 69/06/202

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on 08/06/2021. Failure to meet compliance on each inspection will result in additional citations being issued.

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If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore Planning/Zoning Technician **Community Development Department**

Enclosure: VN# 8845 8859

www.marquettemi.qov

1100 Wright Street, Marquette, MI 49855

09/06/2021

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



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In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **09/21/2021**. Failure to meet compliance on each inspection will result in additional citations being issued.

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If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore

Planning/Zoning Technician

Community Development Department

Enclosure: VN# 8864

09/06/2021 09/22/2021

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



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If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (90 225-4021.

Sincerely

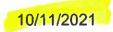
Éric Paupore

Planning/Zoning Technician

Community Development Department

Enclosure: VN# 899+ 1971

1100 Wright Street, Marquette, MI 49855



MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

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Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on 10/27/2021. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore

Planning/Zoning Technician

Community Development Department

Enclosure: VN# 8876

10/27/2021

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

A recent survey of your property located at <u>308 S FIFTH ST</u> is in still violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, adopts by reference the International Property Maintenance Code (IPMC), the following section is from the IPMC:

Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and <u>walls</u>, shall be maintained structurally sound and in good repair.

Per your email on 11/23/2020, an extension for completion was given at your requested date of 07/23/2021. Failure to meet compliance on reinspection has resulted in the issuance of a municipal civil infraction.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include: repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on 11/12/2021. Failure to meet compliance on each inspection will result in additional citations being issued.

The set schedule for municipal civil infraction citations is: \$50 for the first, \$100 for the second, and \$500 for each additional.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore

Planning/Zoning Technician

Community Development Department

Enclosure: VN# 8880

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855 ATICHIGA TO

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison,

I would like to first thank you for taking the time to speak with me about your property located at 308 S FIFTH ST.

As I had mentioned when we spoke on March 28, 2024, while at your property at 529 N Fourth St, the International Property Maintenance Violation pertaining to your damaged garage located at 308 S Fifth St remains unresolved. Copies of all prior correspondence regarding this violation are enclosed. This includes documentation from the Marquette County District Court showing that all unpaid tickets have been converted to bench warrants for arrest. I suggest you contact them to discuss this.

Reinspection's will resume on a biweekly basis starting **04/15/2024**. If the project is not completed or you have not contacted me by this date to schedule a timeline for completion, Municipal Civil Infractions will resume being issued. If scheduling a timeline is the chosen option, strict deadlines will be upheld to ensure compliance to this ordinance. Also, any plans that may exceed this date must be detailed and with a receipt and acknowledgment of this specific plan from me. Failure to do so will result in ticketing at the \$500 tier, as this is where ticketing and enforcement was paused due to your lack of response to prior notices.

This letter constitutes notice and is intended to provide you with a fair and reasonable opportunity to correct apparent violations. Please contact me at erpaupore@marquettemi.gov or (906) 225-4021 to schedule a timeline for completion.

Sincerely.

Eric Paupore

Planning/Zoning Specialist

Community Development Department

Enclosure: Previous violation correspondence, district court documentation

CC: 529 N Fourth St, Apt #2



MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison:

A recent survey of your property located at **308 S FIFTH ST** remains in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code. See below for details.

Section 10-40 of the City's Property Maintenance Code, Section 302.7 Accessory structures. All accessory structures, including detached garages, fences and walls, shall be maintained structurally sound and in good repair.

In order to meet compliance, the large hole in the side of your garage must be repaired to prevent further deterioration as well as to weatherproof it. Correcting the violation includes all improvements necessary to make each structure sound and safe in construction to include repairs to the fascia of the main structure, improvement to the main structure's roof, and an improvement or demolition of the damaged garage. So far, no changes have been made since this violation was first identified on 10/15/2021.

Future inspections will resume on a bi-weekly schedule with the next reinspection occurring on **05/01/2024**. Failure to meet compliance on each inspection will result in additional citations being issued. As was previously stated to you in person and in the mail delivered by certified mail to your properties at 308 S Fifth St and 529 N Fourth St, as well as in an email delivered to cwmorrison1@gmail.com, this offense has reached the top tier of ticketing and all tickets issued will be at the \$500 level.

If you have any questions, including what is necessary to bring the property into compliance, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: VN# 10043



05/01/2024

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

A recent inspection has shown that your property located at <u>308 S FIFTH ST</u> is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of 05/16/2024. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore

Planning/Zoning Specialist

Community Development Department

Enclosure: VN# 10052

-05/01/2024 O5/15/2024

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)

Dear Property Owner:

A recent inspection has shown that your property located at **308 S FIFTH ST** is in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of **05/29/2024**. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Enc Paupore

Planning/Zoning Specialist

Community Development Department

Enclosure: VN# 10059

04/15/2024 06/04/2024

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE, MI 49855

Re: EN20-0327 for 308 S FIFTH ST (PIN: 0240030)



Dear Property Owner:

A recent inspection has shown that your property located at <u>308 S FIFTH ST</u> remains in violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

In order to bring your property into compliance and avoid a citation, you must take the appropriate measures to ensure that the premises comply with the ordinance, including repairing the hole and siding the garage on your property.

Given the extent of the damage, it may not be possible to complete the necessary repairs by the reinspection date of 06/18/2024. However, I would ask that you contact me before this date to discuss a reasonable timeframe and schedule for repair. Failure to contact me and/or correct the violation before this date will result in a Municipal Civil Infraction Citation being issued.

If you have any questions, including what is necessary to bring the property into compliance, please contact me at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore

Planning/Zoning Specialist

Community Development Department

Enclosure: VN#10071

07/03/2024

MORRISON, CHARLES W 308 S FIFTH ST MARQUETTE MI 49855

Re: EN24-0137 for 308 S FIFTH ST (PIN: 0240030)

Dear Mr. Morrison:



Today, while near City Hall, I approached you at your property at 308 S Fifth Street to discuss the many outstanding Land Development Code and City Ordinance violations regarding this property. We discussed in length the requirements to bring these violations into compliance and avoid additional ticketing and set due dates for each of these violations to be resolved by. These were dates that you provided for me, and I agreed upon. Below is specific information on each violation, the requirements to meet compliance, the due date for each offense, and the penalty for non-compliance to the ordinances upon reinspection.

Your property located at <u>308 S FIFTH ST</u> in violation of the Marquette City Code of Ordinances, in particular Chapter 22 Environment, Article II Nuisances.

Section 22-33 Prohibited Accumulations states: It shall be unlawful for any person to accumulate or permit the accumulation on any yard, alley, vacant lot or other spaces in the city of any lumber, boxes, barrels, bricks, stone, scrap metal, motor vehicle bodies or parts, or similar materials, or rubbish or any articles or junk, except as may be necessary and incidental to construction work or the normal course of a business or trade.

To bring your property into compliance and avoid additional citations for this offense, you must remove or properly store all unlawful materials and items from the exterior of the buildings and yard, including bikes, propane fuel containers, tools, materials, lumber trash, and all other items throughout the yard and on the front porch. This violation must be corrected by the agreed reinspection of Tuesday, July 9, 2024 at 10:00 AM. Failure to do so will result in tickets continuing at the tier in which the last ticket was issued. Therefore, all tickets for this violation will be at the \$500 level.

Also discussed today was that the front stairs are actively being repaired structurally and require a Zoning Compliance Permit and likely, a Marquette County Building Codes permit. This is in violation of the City of Marquette Land Development Code, specifically Article 14, Section 54.1401 Zoning Permits and Zoning Compliance Review. Please see below for details.

Section 54.1401 Zoning Permits and Zoning Compliance Review
(A) Submission of Zoning Compliance Application Required. No person shall commence to erect, alter, or repair any structure or to replace or enlarge any of

1100 Wright Street, Marquette, MI 49855

the uses listed in Section 54.1401(B), without first obtaining Zoning Compliance and approval of plans. No use shall be carried on, nor construction undertaken, except as shown upon an approved Zoning Compliance application and plan. Plans shall be submitted to the Zoning Administrator or designated official.

I am providing you with a Zoning Compliance Permit application that must be completed and returned to our office by Tuesday, July 9, 2024, at 10:00 AM.

Failure to do so will result in a municipal civil infraction citation being issued. This is a new violation and will be ticketed at the \$50 level. To determine whether this will require if this requires a County Building Permit, you should contact the Marquette County Building Codes at 906-225-8180 or at their offices at 234 W Baraga Avenue. This letter will also be copied to their office as notice of the ongoing construction.

Also discussed in our conversation today was the violation of the Marquette City Code of Ordinances, Chapter 22 Environment, Article II Nuisances. See below for details.

Ordinance Section 22-34 – Storage of unlicensed vehicles: No person in charge or control of any property within the city, whether as owner, tenant, occupant, lessee or otherwise, shall allow any partially dismantled, non-operating, wrecked, or junked vehicle on any property within the city for a period in excess of one week; provided, however, that this article shall not apply to said motor vehicles which are stored in an enclosed building or vehicles on the premises of a business enterprise that stores or repairs such vehicles.

In order to bring your property into compliance and avoid a citation, you must properly license and make operable *all* vehicles located on your property, place any non-compliant vehicles in an enclosed building, or remove them from the property. Specifically, the gray Dodge truck. **Re-inspections will occur on the agreed upon date of Friday August 2, 2024 by 10:00 AM**. If the vehicle is to remain, proof of valid and current vehicle registration must be provided to our office by the inspection date. Failure to correct the violation before the reinspection date will result in a Municipal Civil Infraction being issued. This is a new violation and will be ticketed at the \$50 level.

Also discussed today was the outstanding violation of the Marquette City Code of Ordinances, in particular Chapter 10 Buildings and Building Regulations, Article III Property Maintenance Code.

Section 304.6 states: All exterior walls shall be maintained free from holes, breaks, and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration.

In order to bring your property into compliance and avoid additional citations, you must take the appropriate measures to ensure that the premises comply with the ordinance, including repairing the large hole in the side of your garage.

Given the extent of the damage we agreed to an extended reinspection date of Friday, November 29, 2024, by 10:00 AM. Failure to correct the violation before this date will result in additional municipal civil infractions being issued at the tier in which

the last ticket was issued. Therefore, all additional tickets for this violation will be at the \$500 level.

Also, many tickets have been issued for this offense since the case opened on October 15, 2020. Failure to pay for those tickets has resulted in them being forwarded to the Marquette County District Court. Per discussions with their office, many of these have been converted to bench warrants for arrest. I am providing with this letter a list of these outstanding tickets and their status with the Marquette County District Court. To resolve these, you should contact them at 906-225-8235 or at their offices at 234 W Baraga Avenue.

Municipal civil infractions are issued at rate of \$50 for the first, \$100 for the second, and \$500 for each additional failed reinspection and can be issued each day the violation exists.

If you have any questions, please do not hesitate to contact me. I can be reached at erpaupore@marquettemi.gov or (906) 225-4021.

Sincerely,

Eric Paupore
Planning/Zoning Specialist
Community Development Department

Enclosure: Zoning Compliance Permit application, Marquette County Courts violations status, aerial image of property for zoning permit

Initial Tickets

☐ Township
☐ City ☐ Vittage ☐ County At approximately A.M. Date Month Day THE UNDERSIGNED SAYS THAT ON: 14.00 P.M. Birth State Open/Chauff, Driver License Number CDL Race Height Weight Hair Sent Eyes Occupation/Employer Name (First, Middle, Last) CHARLES WILLBAM MURRETON Supplied & EFFTH IT MI State Vehicle Description (Year, Make, Color) THE PERSON NAMED ABOVE, in violation of & OND -CH 10 ANTILL . 10-10-SLocal Ordinance State Law Administrative Rules FLFTH 13 AT OR NEAR. WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE MARQUETTE COUNTY OF. DID THE FOLLOWING ☐ Nuisance Ordinance **Building Code** Licenses Ordinance **Plumbing Code** Zoning Ordinance
Sign, Lighting & Display Ordinance
Animal & Fowl Ordinance **Electrical Code Mechanical Code** Other. IPMC- FATLLAE TO BRING Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, INFRACTION and is your. JUV. ty 5:00 p.m on 08/6/2011 unless you contact the violations bursey before this time. SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS. <u></u> WARNING: If you fall to pay the fine specified above or fall to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility. 0 ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so 0 by appearing in person or by mailing your fine along with this notice to the violations bureau. 4 ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to Ċ admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the data specified above. A citation will be issued and filed MORRESUN with the court where you have the right to an informal hearing before a megistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475 I personally served a party of this notice upon the defendant I declare under the penalties of perjury that the statements above are true to the best of my to gradien, knowledge, and belief. Signature and receipt if applicable Date 07 1505 Officer's ID No.

Page 144 of 237 35

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Unense Code

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Local Use/Arrest No.

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Notice of Violation

The People of: the State of Michigan
Township City Village County

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ette, MI	Page 148 of 237		39

DKC.I.	State of Michigan	Ticket No. 8876	Dept. No. MVB
☐ JUV.	Municipal Civil Infraction Notice of Violation	Complaint No.	Offense Code
	of: X the State of Michigan	Local Use/Arrest No.	
OF MA	Paisite .		of
THE UNDE		At approximately DA.M Date of Onthe Delta	Month Day Year
	Oper/Chauff Driver License Number CDL		SSN (last 4 digita
Race	Sex Height Weight Hair E	res Occupation/Employer	
CHAI	Middle, Lest)	LISTAN	
Street	S FEFTH IT		
City	WETE	State	Zip Code
Vehicle Plat		de Description (Year, Make, Color)	Veh Typs
	ON NAMED ABOVE, in violation of § _ rdinance		165 DAG
AT OR NEA	R JUB S FIFTH S	7	
WITHIN [CITY VILLAGE TOWNS	HIP OF MARQUETTE	
Licenses Zoning (e Ordinance Built Ordinance Plus Ordinance Elec	ding Code nbing Code ctrical Code chanical Code	ID THE FOLLOWIN
Describe:	- FATLURG 70 I		7.W10
	GUUD REPATR	The state of the s	7,7.10
	COOL ICOPALE		
Person in A	ctive Military Service Yes No		
THIS VIOLA	TION IS A CIVIL, INFRACTION and is you		
by 5.00 pm.	his violation is \$unless yo	and must be paid at the violations but a contact the violations bureau before the	16. 07 .
SEE BELOW	FOR AN EXPLANATION OF YOUR RIG	HTS AND INSTRUCTIONS.	
	If you fall to pay the fine specified		
	the date and time specified above, i ged to be responsible for a civil infrac		
	ponsibility with explanation; or 3) den		
ADMIT R	ESPONSIBILITY: If you wish to admit res	consibility and new your fine, you may do	
by appea	ring in person or by mailing your fine along	g with this notice to the violations bureau	. 7
	ESPONSIBILITY WITH EXPLANATION Opensibility with explanation or deny respon		
the violet	ons bureau on or before the date specifie	d above. A citation will be issued and file	
	ourt where you have the right to an inform court for a formal hearing before a judge.		Motherson
Violations to	uresu address & phone number		\\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\
	CITY OF MARQUE	TTE, MICHIGAN	20
	300 W. BARAGA AVE., M	ARQUETTE, MI 49855	5
	(906) 721	3-0475	

Page 149 of 237 40

⊠(c.i.	Stat	e of Mic	higan	Ticket No.	88	0 U		Vo.
☐ MIS			Infraction	Complaint	No.		Offens	e C
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by 5:00 p.m	1 40.1	I COLORA			e violations bureau		
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Page 152**43**237

ZC.I.	State of Michigan	TicketNo 1005	The second second		
MIS.	Municipal Civil Infraction	Comptant No Offer			
JUV.	Notice of Violation of X the State of Michigan	Local Use/Arrest No			
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	RQUETTE		lo		
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THE PERS	SON NAMED ABOVE in violation of §	ORD 10-40 1	7-76-7		
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WITHIN (CITY VILLAGE TOWNSHIP	P OF MARQUETTE			
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by 5:00 p.m	1, on 05 24 / Col 4 unless y	ou contact the violations bure	sau before this time.		
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You are all	eged to be responsible for a civil infract	ion You must either: 1) ad	mit responsibility;		
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violations!	CITY OF MARQUE	TTE MICHIGAN			
	300 W. BARAGA AVE., MA		55		
	עכל ואחם/	VITIV	I		
personal	(906) 228				
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Camplaine	y served a copy of this notice upon the under the penalties of perjury that the auton, knowledge, and belief. It's Signature and receipt if applicable ame (printed)	defendant. a statements above are tr Month Officer's ID N	Day Year Zul4		
Officer of	y served a copy of this notice upon the under the penalties of perjury that the author, knowledge, and bellet. Of a Signature and receipt if applicable ame (printed)	defendant. a statements above are tr	Day Year Zul4		
Officer of	y served a copy of this notice upon the under the penatties of perjury that the aption, knowledge, and bellef. Of a Signature and receipt if applicable ame (printed) Application of the printed of the	defendent. a statements above are tr Month Officer's ID N	Day Year 15 Zol4		
Camplaine	y served a copy of this notice upon the under the penalties of perjury that the author, knowledge, and bellef. Of a Signature and receipt if applicable ame (printed) APOLE RI Agency Name	defendant. a statements above are tr Month Officer's ID N	Day Year 2024		

Page 153**44**237

TicketNo.

State of Michigan

MIS.

10071

Offense Code

State Op		uff Driv	er License	Numb	er				
Race	Sex	Height	Weight	fair	Eyes	Occupa	tion/Employe	er .	
Name (First	Middle	Last		-		. N O T	C.c.		
C #4P	CEZ	لايها	CLSA		/m(Me Ic c	3010		_
308	2	5 E.H	57						
City		_				State			Zip C
MARQ E-mail Addre		16				M3	ellular Phone		448
C-1191 MOOIS	22					ľ	dilate i nom		
Vehicle Plate	No.		Year	State	Vehic	e Descri	ption (Year, M	lake, Cok	x)
			<u> </u>			an k)-40 <u>,</u> I	P/Y	302.7
Cocal On						trative F			7 7
UPON	, magning								
AT OR NEAR	×	B	12 2	7 7	17				
WITHIN X		☐ VILL	AGE 🗆	TOWN	SHIP	OF N	IARQUET	TE	
COUNTY OF	6.4.4	RQUE							DID THE FO
Nuisance (iding (mbing				
Coning On				_	ctrical				
Sign, Light Animal & F			rdinance	Me Ott		al Code			
				-		90.0		~ ~	e . (11)
		- FA	EPA:	<u>- 71</u>	<u></u>	A. T. IA.	SAR .		INN
	001	h 1.	C FA.	T-14					
VIN: Person in Acti		ani Pani	-	- De					
THIS VIOLAT	ION IS	ACIVLI	NFRACTIC	2N and	rs you	1/2	violati	ion.	
The fine for thi	is violat	ion is \$ _	17 Od			and m	ust be paid at	the violetic	
by 5:00 p.m. o	n <u>C</u>	K 10	LOC 4				he violations b ND INSTRUC		ore this time.
							il to contact		tions
bureau on th	e date	and tim	e specifie	d abov	/e, a C	ivil Infra	ction citation ust either: 1)	ı will be i	asued.
2) admit resp	onsibili	ty with e	cplanation	; or 3) c	leny re	sponsibi	lity.		
If you are no request a pa				ncial h	ardshi	ip, conte	ct the court	kmmedia	tely to
				h to ade	nil ness	nneihility	and pay your	fine you	may do so
by appear	ing in p	erson or l	y mailing y	your fine	along	with this	notice to the v	lolations b	ureau.
							RESPONS B and have a hi		
							above. A citat		
and filed v	vith the	court wh	ere you will	have t	ne right	l lo an inf	ormal hearing		
	-		url for a for		anng b	BIORE A JU	age		
Violations but	198U ac				te I T	E MIC	HIGAN		
	300						TE, MI 49	855	
						0475	,		
personally s	erved a	oo by of	this notice	upon	the de	fendant.			
declars and	ion, kn	owledge	, and bell	lef.		Letemen	ts above are	true to t	ne pest or
Cornolament	8 signe	ture and	receipt if	applica	bile		Month	Day	Year
Office 's Nam	1	- 41					06	<u> </u>	CT
Unice & Nam	e forin	C (ALPU(té			Officer s	0 1	
Agency ORI				у Магн	,				
MI- 525590	00				(CITY C	F MARQ	JETTE	
UC-02, Rev. 3	3/21	VI	OLATIC	SNC	BUF	REAU	COPY		
		• • • • • • • • • • • • • • • • • • • •		•					

Civil Infraction Citations
(forwarded to District Court for non-payment)

Township ⊠CityViltageCounty			Township City Village County L	
OF: MAFRICHE		of	OF: MARQUETTE	4
SAYS THAT ON: UT 6 7001	t approximately A.M. Date Month	20,00	SAYS THAT ON: 08 13 7071 CA:00 P.M. Birth 11 30	Year 66
State Oper/Chauff, Driver License Number	SSN	(last 4 digits)	State OpenChauff, Driver License Number SSN (last 4	digits
Race Sex Height Weight Hair Eyes (Occupation/Employer		Race Sex Height Weight Hair Eyes Occupation/Employer	
	RESON		Name (First Middle Last) C HARLES WILLIAM MORRESON	
208 2 ETETH IT			Street 308 S FIFTH ST	
MARUETTE	State 4	7855°	MAZQUETTE SINTO 4985	3
	scription (Year, Make, Color)	Veh. Type	Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh.	Тура
THE PERSON NAMED ABOVE, in violation of §	the Rules (SC-	7-40	THE PERSON NAMED ABOVE, in violation of & QLD -CHI O, ALT TIL , SEC 10-40	<u>'</u>
State Law Administra UPON	tive Rules SEC-	30 C. 	SLocal Ordinance Stats Law Administrative Rule SEL 3017	•
ATORNEAR 308 J FRETH J	7	11	ATORNEAR 348 S FIFTH IT	
WITHIN CITY VILLAGE TOWNSHIP	MARQUETTE		WITHIN MICITY VILLAGE TOWNSHIP OF MARQUETTE	
COUNTY OF MARQUETTE		FOLLOWING	COUNTY OF MARQUETTE DID THE FOLLO	TAILM!
Nuisance Ordinance Building (Licenses Ordinance Plumbing	Code		☐ Nulsance Ordinance ☐ Building Code	AND INC.
Zoning Ordinance Electrical	Code 1065		☐ Licenses Ordinance ☐ Plumbing Code ☐ Electrical Code	
Sign, Lighting & Display Ordinance Mechanic Animal & Fowl Ordinance Other	al Code		Sign, Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other Other	
Describe	SV.			_
TPMC- FATCINE TO BE	ING GARAGE IN	10	Describe: 1276-FAILURE TO BRANG QARAGE INTO	
Chan (CC) 1/2K			GOOP REPAIR	
				—
Person in Active Military Service Yes No	violation.		Person in Active Military Service Yes No	
THIS VIOLATION IS A CIVIL, INFRACTION and is your The fine for this violation is \$ an	must be paid at the violations bureau	MIS JUV.	THIS VIOLATION IS A CIVIL, INFRACTION and is your violation. The fine for this violation is \$ and must be paid at the violations bureau by \$100 p.m. 600 j.m. 600 j.m. 600 j.m. 600 p.m. 600 p	□ MIS
by 5:00 p.m. on UNITO COL unless you cont	act the violations bureau before this time.	< 00 .	by 5.00 p.m. oil this time.	က −
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS A	IND INSTRUCTIONS.	2 :	Note: This is a copy of the Notice of Violation served on the defendant.	<u>_</u>
WARNING: If you fall to pay the fine specified above		No.	I state that the above notice of violation was served on the defendant. The defendant failed to pay the	
bureau on the date and time specified above, a civil		8	fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issue.	3
You are alleged to be responsible for a civil infraction, y 2) admit responsibility with explanation; or 3) deny resp			1 2 2	-
The state of the s		00	TO THE DEFENDANT: You are required to appear as follows to answer this citation.	
ADMIT RESPONSIBILITY: If you wish to admit responsib by appearing in person or by meiling your fine along with		8	SEE DATE BELOW, SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.	<u>ی</u>
ADMIT RESPONSIBILITY WITH EXPLANATION OR DE	NY RESPONSIBILITY: If you wish to	55	Appearance Date on or before	D
admit responsibility with explanation or deny responsibility the violations bureau on or before the date specified above		z	Hearing Date (if applicable) on Contact Court	
with the court where you have the right to an informal has		3	A formal hearing may be requested by either party.	3 ,
appear in court for a formal hearing before a judge.		OR	in the 96th DISTRICT Court of MARQUETTE	
Violations bureau address & phone number		OFFERN	Violations bureau address & phone number	OKT TSON
CITY OF MARQUETTE		12	234 W BARAGA AVE MARROUNTTE AU 40055	2
300 W. BARAGA AVE., MARC		8	234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235	20
(906) 228-04	175	2	(3007 223-0235	
EUPORSANT REMOVE TOP 2 COPIES E		9	I served a copy of this complaint upon the defendant by first class mail at the defendant's tast	
I personally served a copy of this notice upon the defer I declare under the panalties of perjury that the stat		Case	known address and filed a copy of this complaint with the court, I declare under the penalties of perjury that the statements above are true to the best	2
of my idiformation, knowledge, and belief.		₹	of my information, knowledge, and belief.	8
Companies Signature and receipt if applicable	Month Date Year 707		Compliance and receipt if applicable Month Date Year	8
Officer's Name (perhadge 156 of 237	Officer's ID No. 47	-		
FELC PAINOZC	0204		Officer's Name (printed) ###################################	

Township City Village County			☐ Township				
of: MARQUETTE		of	OF. MARQUETTE	lo			
THE UNDERSIGNED Month Day Co. 2GU Al approximation of the University of the Universi	oximately M. Date Month	30 '66	SAYS THAT ON: 08 23 WILL 10:	Cit and DRING \$1			
CDL COL	SSN	(last 4 digits)	State Oper/Chaust Oriver License Number	SSN (test 4 digits			
	etion/Employer			pation/Employer			
Name (First, Middle, Last) CYAPLES WELLTAN MORRE Street	NG 1		Name (First Middle Last) CMARLES WILLIAM NORRE	TON .			
308 S FIFTH 17			Street ST SUS S FEFTH ST				
MAROUTE	II 49	Zip Code	MARQUETTE /	State Zip Code			
	on (Year, Make, Color)	Veh. Type		tion (Year, Make, Color) Veh. Type			
THE PERSON NAMED ABOVE, in violation of § CRD—C ALocal Ordinance State Law Administrative F UPON AT OR NEAR 306 2 FEFTH 5		6-7-	THE PERSON NAMED ABOVE in violation of §	CH ID, ARTIL -SEC 10.40 Rule SEC 3VL-7			
AI OILLO			ATOR NEAR DUS 5 FIFTH ST				
WITHIN CITY VILLAGE TOWNSHIP OF	MARQUETTE		WITHIN CITY VILLAGE TOWNSHIP OF	MARQUETTE			
COUNTY OF MARQUETTE Nuisance Ordinance Building Code Licenses Ordinance Plumbing Code Plumbing Code Sign, Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other Other		FOLLOWING	COUNTY OF MARQUETTE Nuisance Ordinance	6 0			
alai 771787 L	violation. Ibe paid at the violations bureau violations bureau before this time.	JUV.	CPA LIMITA ATA	violation. at be peid at the violations bureau be violations bureau before this time.			
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND IN WARNING: If you fall to pay the fine specified above or I bureau on the date and time specified above, a civil infra	all to contact the violations	No.	Note: This is a copy of the Notice of Violation served on the defendant I state that the above notice of violation was served on the defendant. The defendant failed to pay the				
You are alleged to be responsible for a civil infraction. You m 2) admit responsibility with explanation; or 3) deny responsib	The state of the s		Therefore, this civil infraction citation is being issue				
ADMIT RESPONSIBILITY If you wish to admit responsibility are by appearing in person or by mailing your fine along with this ne	d pay your line, you may do so	885	TO THE DEFENDANT: You are required to appear as follows to a SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION.				
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RE	SPONSIBILITY: If you wish to	N	Appearance Date on or before	No.			
admit responsibility with explanation or deny responsibility and the violations bureau on or before the date specified above. A c with the court where you have the right to an informal hearing t	tation will be issued and filed	3 %	Hearing Date (if applicable) on				
appear in court for a formal hearing before a judge.		2	In the 96th DISTRICT Court	MARQUETTE &			
Violations bureau address & phone number	CHICAN	office	Violations bureau address & phone number	Ş			
CITY OF MARQUETTE, MI 300 W. BARAGA AVE MARQUE (906) 228-0475		205	234 W. BARAGA AVE., MARQUE (906) 225-8235				
I personally served - copy of this notice upon the defendant. I declare under the peneities of perjury that the statement of my paragraph, knowledge, and belief.	ts above are true to the best	Case No	I served a copy of this complaint upon the defendant by first known address and field a copy of this complaint with the co I declare under the penatites of perjury that the statume of my interphysion, knowledge, and belief.	ourt.			
Companies Signature and receipt if applicable	Month Date Year 1071		Complaints it's Signature and receipt if applicable	Month Date Vear			
Office Control (printed) Paye 157 of 237	Officer's ID No.		Officer Wierre (printed) PAUPORE	Officer's ID No.			

☐ Township 【 City ☐ Village ☐ County ☐		Township City Village County				
OF MARQUETTE	of	OF: MARQUETTE of				
THE UNDERSIGNED Month Company	Oay Year (last 4 digits)	THE UNDERSIGNED Month Day Year 1 At approximately A.M. Date Month Day X SAYS THAT ON: State Department, Driver License Number SSN (ast 4 c				
Race Sex Height Weight Hair Eyes Occupation/Employer		COL Race Sex Height Weight Hair Eyes Occupation/Employer				
Name (First, Middle Last) CHARLES WELLIAM MORRISON		Name (First, Middle, Last)				
Street STEFTH ST		STORY OF PEFTH ST				
	Zip Code	City State Zip Coo				
Vehicle Plate No Year State Vehicle Description (Year, Make, Color)	Veh. Type	Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh. T				
THE PERSON NAMED ABOVE, in violation of § GRO - CW to ART III - TO CART	501.7	THE PERSON NAMED ABOVE, in violation of § ORD - CHO, ART III - AGC, MANO, SO [Mocal Ordinance Stata Law Administrative Rule UPON AT OR NEAR 308 S FE FTH ST				
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE COUNTY OF MARQUETTE DID THE Nuisence Ordinance Building Code Licenses Ordinance Plumbing Code Sening Ordinance Electrical Code	FOLLOWING	WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE COUNTY OF MARQUETTE Nuisance Ordinance Building Code Licenses Ordinance Plumbing Code				
Sign. Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other Describe: C - FAILURE TU BEZNE GARAGE DAMAGE TVTO GOOD REPATE		Describe TO GOO (LEPATR				
Person in Active Military Service Yes No THIS VIOLATION IS A CIVEL, INFRACTION and is your violation. The fine for this violated is not unless you contact the violations bureau by 5.00 pm on unless you contact the violations bureau before this time SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.	D JUV.	Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL INFRACTION and is your violation The fine for this violation is and must be peid at the violations bureau by 5:00 p m on 101600000 unless you contact the violations bureau before this time. Note: This is a copy of the Notice of Violation served on the defendant.				
WARNING: If you fall to pay the fine specified above or fall to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility; 2) admit responsibility with explanation; or 3) deny responsibility.	Ticket No.	I state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore this civil infraction citation is being issue.				
ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so by appearing in person or by mailing your fine along with this notice to the violations bureau.	885	TO THE DEFENDANT You are required to appear as follows to answer the citation SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS				
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informal hearing before a magistrate or judge or to	9 Nam	Appearance Date on or before				
appear in court for a formal hearing before a judge.	\$ °	In the 96th DISTRICT Court of MARQUETTE				
Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475	RRIJON	In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 226-8235				
I personally served a copy of the notice upon the defendant. I declare under the penetties of perjury that the statements above are true to the best of my information, knowledge, and belief.	Case No.	served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court. I declare under the penalties of perjury that the statements above are true to the best of my intermedian, knowledge, and belief.				
Comparing Signature and receipt if applicable North Page 158 of 237 Page 158 of 237		Complement's Signature and receipt if applicable Month Date Year 77 701				
Officer Name (printing 158 of 237		Officer's Name (printed) EREC PARORE OFD 1				

Township X City Village County		Township City Village County	
OF MAFRICITE	lo	OF: MARQUETTE	of
THE UNDERSIGNED Month Day Year At approximately GDA.M. Date Month SAYS THAT ON: State Oper/Chauff Driver License Number Issue	30 50	Tay in leaft 1	
State Oper/Chauff, Driver License Number SS	SN (tast 4 digits)	State Oper/Chauff, Oriver License Number SSN (last 4 digit
Race Sex Height Weight Hair Eyes Occupation/Employer		Race Sex Height Weight Hair Eyes Occupation/Employer	
Name (First, Middle, Last) CHAPLES WELLTAN NURRETON		Name (First, Middle, Last) CHARLES WILLIAM MORRESON	
308 S FLETH ST		DOB 3 FEFTH FT	100
MARRIETTE MI	4985	MARGUETTE ME 94	Code
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color)	Veh. Type	Vehicle Ptate No. Year State Vehicle Description (Year, Make, Color)	Voh. Type
	1040	THE PERSON NAMED ABOVE, in violation of & ONO-CH D ALT IE SECTORED	3063
UPON	205.3	☑trdcal Ordinance State Law Administrative Rule	
ATORNEAR JUB S FIFTH ST		ATOMMEND 348 S PIFTH ST	
WITHIN MICHTY TIVILLAGE TOWNSHIP OF MARQUETTE		ALON REAR	
MAPOUETTE	E FOLLOWING	WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE	
Nuisance Ordinance Building Code	e roctowing	COUNTY OF WARRANCE TE DID THE FO	OLLOWIN
Licenses Ordinance Plumbing Code 2-Zoning Ordinance Electrical Code		Licenses Ordinance Plumbing Code Di-Zoning Ordinance Electrical Code	
Sign, Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Cther		Sign, Lighting & Display Ordinance Electrical Code Sign, Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other	
Describe: IPMC- PATILIZE TO BRING GALAGE TAM	7.0	Describe:	
		IPAC-PATURE TO BETWY GARAGE FATO	
GOD REPAIR		GOOD REPARK	
Person in Active Military Service Yes No	000	Person in Arthur Milliam Consiss I Van Blig	τ—
THIS VIOLATION IS A CIVIL, INFRACTION and is your violation	드리스	Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL. INFRACTION and is your	SIW C
The fine for this violation is \$ 0.00 and must be paid at the violations bureau by 5 ou p m on	MIS JUV.	The fine for this violation is \$ and must be paid at the violations bureau	NOT WIS
SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.		by 5:00 p.m. onunless you contact the violations bureau before this time. Note: This is a copy of the Notice of Violation served on the defendant.	
WARNING: If you fall to pay the fine specified above or fall to contact the violations	Ticket		
burssu on the date and time specified above, a civil infraction citation will be issued. You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility.	. ₹	I state that the above notice of violation was served on the defendant. The defendant falled to pay the fine specified above or failed to contact the violations bureau on the date and time specified above. Therefore, this civil infraction citation is being issue.	
2) admit responsibility with explanation; or 3) deny responsibility.	00	TO THE DEFENDANT: You are required to appear as follows to answer this citation.	ហ
ADMIT RESPONS BILITY If you wish to admit responsibility and pay your fine, you may do so	00	SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.	4
by appearing in person or by mailing your line stong with this notice to the violations bureau ADMIT RESPONS BILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to	64		2
admit responsibility with explanation or deny responsibility and have a hearing, you must contact		Appearance Date on or before	ထ
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informal hearing before a magistrate or judge or to	3 8	Hearing Date (if applicable) on Contact Court	3
appear in court for a formal hearing before a judge	0 3	A formal hearing may be requested by either party.	Op.
Violations bureau address & phone number	232	In the 96th DISTRICT Count of MARQUETTE	7
CITY OF MARQUETTE, MICHIGAN	(+)	Violations bureau address & phone number	* KTJON
300 W. BARAGA AVE., MARQUETTE, MI 49855	50	234 W. BARAGA AVE., MARQUETTE, MI 49855	>
(906) 228-0475	7	(906) 225-8235	<
REPORTAGE REMOVE TOP 2 CORRES BEFORE SIGNING MOTICE		served a copy of this complaint upon the defendant by first class mail at the defendant's last	1
I personally served a copy of this notice upon the defendant I declare under the penalties of perjury that the statements above are true to the beat	Cass	known address and fijeth a copy of this complaint with the court.	
of my information, knowledge, and belief.	8	I declare under this penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.	
Comparison's Signature and receipt if applicable Month Date Year		Companient Signature and receipt if applicable Month Date Year	
Page 150 of 237]
Officer's ID No.		Officer's Name (printed) F. L. Parant F.	

UJUV. Civil Infraction Citation 6249030	se Code	□ JUV. Notice of Violation 02 400 70	
The People of the State of Michigan Local Use/Arrest No.		The People of: XX the State of Michigan	
☐ Township 【XI City ☐ Village ☐ County		Township City Village County OF: MARKIFITE	
OF MARQUETTE	of	THE INDEDSIGNED Month Day Year At approximately Class Month Day	of Year
THE UNDERSIGNED Month 10 Day Year 2011 At approximately A M Date Month 12 100 Sep M. Birth 11	th Day Year	SAYS THAT ON: OR ZZ WCI P.M. Birth IL 30	60
	SN (last 4 digits)	State Oper/Chauff. Driver License Number SSN (last	t 4 digit
Race Sex Height Weight Hair Eyes Occupation/Employer		Race Sex Height Weight Hair Eyes Occupation/Employer	
Name (First, Middle, Last)	_ 1 = 1	Name (First, Middle, Last)	
CHAPLES WILLIAM MOLRISON		CHARLES WILLIAM MORRITON	
Street ST		308 S FIFTH ST	
Title .	1018 Fodo	CANARQUE TTE State A28E	Code
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color)	Voh. Type		h. Type
	1 1" 1	THE PERSON NAMED ABOVE, in violation of SOLO, CH D. ALT III - SEC. W. 10 SO	
THE PERSON NAMED ABOVE, in violation of § COLO C + 10. ALT TILL - TO CO Shocal Ordinance State Law Administrative Rule	EC 3027		- L- J4
UPÓN		UPON	
ATORNEAR SUB 1 PIFIH IT		ATORNEAR 308 5 FIFTH ST	
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE		WITHIN CCITY VILLAGE TOWNSHIP OF MARQUETTE	
COUNTY OF MARQUETTE DID THI	E FOLLOWING		LOWIN
Licenses Ordinance Plumbing Code		Licenses Ordinance Plumbing Code 1 1 / C	
Zoning Ordinance	4	Sign, Lighting & Display Ordinance Mechanical Code	
Sign Ughting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other	<u> </u>	Animal & Fowl Ordinance Other	
DOSCORDO: TOMO-FAZLULE TO BRING GALAGE PATO	N I	IPAC-FATURE TO BRENG GARAGE PATO	
		GOUP REPART	
COUR REPATIL			
		Conson in Addition Malfarry Consists The Table	
Person in Active Midsay Service Yes No		Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, INFRACTION and is your violation.	108
THIS VIOLATION IS A CIVIL, INFRACTION and is your violation. The fine for this violation(s.s. and must be peid at the violations bureau	SIM	THIS VIOLATION IS A CIVIL, INFRACTION and is your violation. The fine for this violation is \$ 900,000 and must be paid at the violations bureau	M N
by 5:00 p.m. on O CA CEVI unless you contact the violations bureau before this time.	≥ <u>0</u> –	SEE BELOW FOR AN EXPLANATION OF YOUR DIGHTS AND INSTRUCTIONS	
Note: This is a copy of the Notice of Violation served on the defendant.			3
state that the above notice of violation was served on the defendant. The defendant failed to pay the fine specified above or failed to contact the violations bureau on the date and time specified above.		WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued.	0
Therefore, this civil infraction citation is being issue.	7 8	You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility;	5
TO THE DEFENDANT: You are required to appear as follows to answer this citation:	- G	admit responsibility with explanation; or 3) deny responsibility.	ග
SEE DATE BELOW SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.	4	ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your line, you may do so	00
Appearance Date on or before	_ <u>w</u>	by appearing in person or by meiting your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to	71
The state of the s	- •	admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A citation will be issued and filed	
Mearing Date (if applicable) on Contact Cour. A formal hearing may be requested by either purty.	" Z		3
n the 96th DISTRICT Count of MARQUETTE	Name Name	appear in court for a formal hearing before a judge.	John Stone
Violations bureau address & phone number	15	Violations bureau address & phone number	T.
234 W. BARAGA AVE., MABQUETTE, MI 49855	5	CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855	8
(906) 225-8235	٦	(906) 228-0475	>
		INTERCOLL IS NOW TORY CHARLES HEROEVE SIGNATURE	
known address and filed a celly of this complaint with the court		INFORTAME BEADOVE TOP & COPIES BEFORE SIGNING NOTICE personally served a copy of this notice upon the defendant.	
served a copy of this complains upon the defendant by first class mail at the defendant's last known address and filed a capy of this complaint with the court. I declare under the position of perturb that the statements above are true to it best of my jurgination, knowledge, and belief.	Сам	personally served a copy of this notice upon the defendant.	

Township K City Village County			Township City Village County		
OF: MARRIETTE		of	OF: MARQUETTE		of
SAYS THAT ON: 10 11 COCI 09	CO P.M. Date Mon	30.60	SAYS THAT ON:	P.M. Date of Birth	11 20.60
State Open/Chauff, Driver License Number	S	SN (last 4 digits)	State Oper/Chauff, Driver License Number	Artematic Expenses	SSN (lest 4 digits
	tion/Employer			pation/Employer	
Name (First, Middle, Lest) C 44 FLGS WELLEAM 10 LLESA	U	-	Name (First, Middle, Last) CHARCS WILLIAM MORRE	FION	
BUB S FIFTH IT			Street 208 5 FIFT H 15		
MARRITE SU	ate L	Zip Code		State	Zip Code
Vehicle Plate No. Year State Vehicle Description	on (Year, Make, Color)	Veh. Type		tion (Year, Make, Color)	Veh. Type
THE PERSON NAMED ABOVE, in violation of § OU) -	TO ALP EL SE	2/0-40	THE PERSON NAMED ABOVE, in violation of § O(L)		16000
Local Ordinance State Law Administrative Ru	iles /C-		Stote Law Administrative f	Rule	2017
ATORNEAR DUS S FIFTH IT			ATORNEAR DUB S FIFTH ST		
MAROUETTE	MARQUETTE	.	WITHIN CITY VILLAGE TOWNSHIP OF	MARQUETTE	
COUNTY OF MARQUETTE Nuisance Ordinance Ruilding Code	DID TH	E FOLLOWING	COUNTY OF MARQUETTE		DID THE FOLLOWING
Licenses Ordinance Plumbing Code			Nuisance Ordinance		
☐ Zoning Ordinance ☐ Electrical Code ☐ Sign, Lighting & Display Ordinance ☐ Mechanical Cod			Zoning Ordinance Electrical Code	a	
Animal & Fowl Ordinance Other			Sign, Lighting & Display Ordinance Mechanical Co Animal & Fowl Ordinance Other	xde	
TPAC - FATLURE TO BRZ-NO	GALAGE FA	170	TPIC-FATCULE TO BUTNE	GARAGE	7M3
GUUD REPATR			SOUD REPATR		
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Beneau in Anti-a Miller, Garden Diver Tate		-	2 20 20 20 20 20 20 20 20 20 20 20 20 20		
Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, INFRACTION and is your	violation.		Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, INFRACTION and is your	violation.	——————————————————————————————————————
The fine for this violation is \$ 500 and must I	on paid at the violations bureau	MIS C.I.	The fine for this violating is \$ and mus	at be paid at the violations b	Sureen S W.C.
by 5:00 p.m. onunless you contact the SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INS	violations bureau before this time	-		e violations bureau before t	this time.
		- No Hicker			D =
WARNING: If you fail to pay the fine specified above or fer bureau on the date and time specified above, a civil infrac-			I state that the above notice of violation was served on the defends fine specified above or falled to contact the violations bureau on the		
You are alleged to be responsible for a civil infraction. You must	it either; 1) admit responsibility	8	Therefore, this civil infraction citation is being issue.		i i
2) admit responsibility with explanation; or 3) deny responsibility	ty.	ထ	TO THE DEFENDANT: You are required to appear as follows to ar	nswer this citation.	U
ADMIT RESPONSIBILITY: If you wish to admit responsibility and by speeding in person or by mailing your line along with this not		87	SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION	ON AND INSTRUCTIONS.	43
ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RES	PONSIBILITY: If you wish to	6	Appearance Date on or before		8
admit responsibility with explanation or deny responsibility and he the violations bureau on or before the date specified above. A cits			Hearing Date (if applicable) on		stact Court
with the court where you have the right to an informal hearing bei		Name	A formal hearing may be requested by either party.) i
appear in court for a formal hearing before a judge.		Mostrary	In the 96th DISTRICT Court	MARQUETT	E 7 1
Violations bureau address & phone number		£3	Violations bureau address & phone number		7
CITY OF MARQUETTE, MIC 300 W. BARAGA AVE., MARQUET		Q >	234 W. BARAGA AVE., MARQUE	TTE. MI 49855	🔀
(906) 228-0475	- L, WI 78033		(906) 225-8235)	THE FROM
MARCHANT RESOURTOR & CORES BUT ON	FSICESPIT PARTE				
I personally served a compositivis notice upon the defendant.		Case	I served a copy of this complaint upon the defendant by first known address and filed a copy of this complaint with the co	ourt.	
I declare under the penalties of perjury that the statements of my infermation, knowledge, and belief.	s above are true to the best	\$ X	I declare under the penalties of perjury that the statemer of my information, knowledge, and belief.	nts above are true to the	e best
Complaint's Signature and receipt if applicable	Month Date Year		Completoarth Signature and receipt if applicable	Month Date	700 E
on Page 161 of 237	Officer's ID No. 52		Office a Normal (windows)		COCI
PAYOUR	OLD 1		Office(s Name (printed) EFTC PAROLE	Officer's ID No.	

As a C of our maner			
OF MARQUETTE	of	of MARQUETTE	of
THE UNDERSIGNED Month Day Year At approximately AM Date Month SAYS THAT ON: 27 21 09:00 P.M. Birth II	Clast 4 digits)	D. W. D. D.	Year Year Rest 4 digits
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Race Sex Height Weight Hair Eyes Occupation/Employer		Race Sex Height Weight Hair Eyes Occupation/Employer	
Name (First, Middle, Leat) (HALVES STUZAN NOUTTSON		Name (First, Middle, Last) Clf Affects Scuttan nurless on	
TETH ST		Source of Feeth ST	
THAT QUETTE State 4	Zip Code	MALONE TE Stole	Zip Code
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color)	Veh Type	Vehicle Plate No. Year State Vehicle Description (Year, Make, Color)	Veh, Type
	302.7	THE PERSON FRANCE AGOVE, III MANAGORI OF STATE OF THE STA	5-10-40 -C 3/L7
AT OR NEAR JUD J PIFTH ST		AT OR NEAR DUB 5 FEFTH ST	2011
WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE		WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE	
	FOLLOWING	COUNTY OF MARQUETTE DID THE F	OLLOWING
Nuisance Ordinance Building Code Licenses Ordinance Plumbing Code		Nuisance Ordinance Building Code Licenses Ordinance Plumbing Code Nizoning Ordinance Electrical Code	
Zoning Ordinance Electricat Code Sign, Lighting & Display Ordinance Mechanical Code		Sign, Lighting & Display Ordinance Sign, Lighting & Display Ordinance Mechanical Code	
Animal & Fowl Ordinance Other		Animal & Fowl Ordinance Other	
PROPOSITION TO BRANC GARAGE INTO G	ioud,	FYME - FATLURE TO BRITAL GARAGE THE GO	A)
REPARK		REPAGE	
COTTAIN		.01845	
Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, INFRACTION and is your violation.	-0018	Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL, NFRACTION and is your violation.	
The fine for this violation is \$ and must be paid at the violations bureau	JUV.	The fine for this violation is \$ and must be paid at the violations bureau	NIS SIM
by 5:00 p.m. on	. 07	by 5:00 p.m. on ULVUCU unless you contact the violations bureau before this time. Note: This is a copy of the Notice of Violation served on the defendant.	-
1900 Pro Carlo Car		1 state that the above notice of violation was served on the defendant. The defendant failed to pay the	
WARNING: If you fall to pay the fine specified above or fall to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued.	_ ×	fine specified above or failed to contact the violations burseu on the date and time specified above.	
You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility;	No.	Therefore, this civil infraction citation is being issue.	ا تا
2) admit responsibility with explanation; or 3) deny responsibility.	0	TO THE DEFENDANT: You are required to appear as follows to answer this citation.	ĊT.
ADMIT RESPONSIBILITY If you wish to admit responsibility and pay your fine, you may do so	00	SEE DATE BELOW, SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS.	4.4
by appearing in person or by mailing your fine along with this notice to the violations bureau ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish to	80	Appearance Date on or before	55
admit responsibility with explanation or deny responsibility and have a hearing, you must contact		Hearing Date (if applicable) on Contact Court	
	_		
the violations bursau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informat hearing before a magistrate or judge or to	3 %	A formal hearing may be requested by either party.	3
the violations bureau on or before the date specified above. A citation will be issued and filed	Name		192
the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informat hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number	Name Nana	A formal hearing may be requested by either party.	rotes
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN	MURRESO.	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855	MARTSU
the violations bureau on or before the date specified above. A citation will be issued and filed with the court where you have the right to an informat hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number	More than	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE	MOLRISON
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informat hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475	Mone C	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235 I served a copy of this complete typon the defendant by first class mail at the defendant's last	MARISUN
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informat hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475	Case	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235 I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court, I declare finder the penalties of perjuny that the statements above are true to the best	MOLRISUN
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475 INTORNALL PRINCE FOR COPIES BEFORE SIGNING TO HIGE I personally served a copy of this notice upon the defendant. I declare under the personalities of perjury that the statements above are true to the best of my information, knowledge, and bellef.	Name Case No.	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235 I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court, I declare under the perhatites of perjury that the statements above are true to the best of my information, knowledge, and bellef.	MOFRESUN
the violations bureau on or before the date specified above. A citation will be issued and filled with the court where you have the right to an informal hearing before a magistrate or judge or to appear in court for a formal hearing before a judge. Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN 300 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 228-0475 INPORTANT PRINCE: TOP 2 COPIES BEFORE SIGNING TO HEE! I personally served a copy of this notice upon the defendant. I declare under the personalties of perjury that the statements above are true to the best	Case	A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE Violations bureau address & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235 I served a copy of this complaint upon the defendant by first class mail at the defendant's last known address and filed a copy of this complaint with the court, I declare finder the penalties of perjuny that the statements above are true to the best	POLRESUN

State of Michigan	No. 10043	Dept No.	State of Michigan	C. IC 10024 Dept No.
Mis. Municipal Civil Infraction Comp	laint No.	Offense Code	MIS. Uniform Municipal UNIFORM MUNICIPAL UNIFORM MUNICIPAL	Complaint No Ollense Code
	Use/Arrest No.		The People of the State of Michigan	Local Usa/Arrest No
☐ Township			Township City Vittage County	
OF. MARQUETTE		of	OF MARQUETTE	Al consumately Errory Date Month Day
SAYS THAT ON. O & LC 24 S State Oper/Chauff, Oriver License Number	pproximately A.M. Date	Month Day Year	THE UNDERS GNED Month Day Year SAYS THAT ON State Oper /Chauff. Driver License Number	At approximately 5% A M Date Month 9 y O 8,000 P M Birth
Race Sex Height Weight Hair Eyes Occ	upation/#mployer		Race Sex Height Weight Hair Eye	S Occupation/Employer
Name (First, Middle, Lest)			Name (First, Middle Last)	~-99 TG
	ELIAN .		CHARCES WILLIAM	MORRISON
DUS S FIFTH ST			308 S FIFTH S	
	tate	Zip Code 4-COS	MARQUETTE	State Zip Code
E-mail Address	Cellular Phone	ተላወህ	E mail Address	Ce tutar Phone
ST4			Mars State Mars Mars State Make	nicle Description (Year Make Color)
Vehicle Plate No. Year State Vehicle Des	scription (Year, Make, Color)	Veh Type		
THE PERSON NAMED ABOVE, in violation of \$0 000 Control of the Cont		EC 10-40	UPON State Law Admin	ORD 10-40, IPAC 307.3
ATOR NEAR 308 SFIFTHIS			AT OR NEAR 308 S FIFT	TH ST
WITHIN CITY UNLLAGE TOWNSHIP OF	MARQUETTE		WITHIN MICHY VILLAGE TOWNSHIP	P OF MARQUETTE
COUNTY OF MARQUETTE Nuisance Ordinance		DID THE FOLLOWING	COUNTY OF MARQUETTE	DID THE FOLLOW
Notigina Ordinance	11.6	5	€Zoring Ordinance ☐ Electri	ing Code
Describe FATILE TO BRI	NO GARAGE	PUTU GOLD	Describe: IPMC - FAILURE	TO BRING GARAGE
RE PAGR			ENB REPAIR	310 10 11 0111
√IN: Person in Active Military Service Yes No			VIN	
THIS VIOLATION IS A CIVIL INFRACTION and is your	violation.		Person in Active Military Service Yes No	O.T.P.
The fine for this violation is \$ and	d must be paid at the violation: at the violations bureau before	e this time.	THIS VIOLATION IS A CIVIL INFRACTION and is yet the first for this violation is \$	our
WARNING: If you fail to pay the fine specified above o	r fail to contact the violation		NOTE: This is a copy of the Notice of Violation serve	ed on the defendant.
oursess on the date and time specified above, a civil in You are alleged to be responsible for a civil infraction. You 2) admit responsibility with explanation; or 3) deny respon	ı must either: 1) admit respo	nnsibility;	I state that the above notice of violation was serve to pay the fine specified above or failed to contact	d on the defendant. The defendant failed the violations bureau on the date and time
f you are not able to pay due to financial hardship, co request a payment alternative.	ntact the court immediate	iy to 4	specified above. Therefore, this civil infraction cits TO THE DEFENDANT: You are required to appea	
ADMIT RESPONSIBILITY: If you wish to admit responsit		ay do so	SEE DATE BELOW. SEE BACK OF CITATION F	
by appearing in person or by mailing your fine along with the ADMIT RESPONSIBILITY WITH EXPLANATION OR DE		dein	Appearance Date on or before	7
to admit responsibility with explanation or deny responsib	ility and have a hearing, you r	Trust	Hearing Date (if applicable) on	Contact Courl
contact the violations bureau on or before the date specifiand filed with the court where you will have the right to an		gistrate Z	A formal hearing may be requested by either party	
or judge or to appear in court for a formal hearing before		Questrate Name	in the 96th DISTRICT	Court of MARQUETTE
Justions bureau address & phone number		2	Court address & phone number	Ç
CITY OF MARQUETTE, N 300 W. BARAGA AVE., MARQU (906) 228-047	ETTE, MI 49855	٤	234 W. BARAGA AVE., MA (906) 225	2.4
personally served a copy of this notice upon the defenda declare under Me penelties of perjury that the statem	nt.	best of	i served a copy of this complaint upon the defend known address and filed a copy of this complaint I declare under the penalties of perjury that the	with the court.
ny information, knowledge, and belief.		Year 8	of my Information, knowledge, and bellef. Complainant's Signature and receipt if applicable	Month Day Year
X	04 11	2014	77	65 06 724
Alicace Name (printed)	Officer's ID No.		ERIC PACPORE	Officer's ID No.
Agency ORI Agency Name	=		Agency ORI Agency Name	_
#I- 0-0-0-1	OF MARQUETTE		MI- 5255900	CITY OF MARQUETTE
JC-02, Rev. 3/21 VIOLATIONS BUREA	U COPY		UC-03, (rev. 3/21)	
			COURT	OPY

C.I State of Michigan	CIC 10039	Hept No	State of Michigan	Ticket No. 10052 Dept. No
☐ MIS. Uniform Municipal ☐ JUV. Civil Infraction Citation	0240630	ffense Cude	MIS Municipal Civil Infraction DJUV Notice of Violation	Compla nt No. Offense Code
he People of the State of Michigan Township X City Village County	Local Use/Arrest Na		The People of: the State of Michigan Township City Village County	Local Use/Arrest No.
OF MARQUETTE		4	OF MARQUETTE	
OF INARCOCETTE THE UNDERSIGNED Month Day Year SAYS THAT ON O'S Z 1 'Z4' State Oper /Chauff Driver License Number CDL	Al approximately A.M Date	Month Day Year	THE UNDERSIGNED Month Day Year SAYS THAT ON State Oper./Chauff Driver License Number	At approximately SA.M Date Month Day P.M Birth 11
Race Sex Height Weight Hair Eyes	Occupation/Employer		Race Sex Height Weight Hair Eye	s Occupation/Employer
Name (First Middle Last) C (14RCE) WILLEAM	MURRISON		Name (First Middle Last) CHARLES WELLEAM MO	RRITON
Jus S STE ST			Street SUB S FFFTH ST	
City	State	Zip Code	City	State Zip Code
MAZQUETTE	Mt	49855	MARQUETTE	MI 41855
É mail Address	Cellular Phone		E-mail Address	Cellular Phone
Veh cle Plate No Year State Veh	Description Year Make Color	Veh Type	Vehicle Plate No. Year State Veh	icle Description (Year, Make, Color)
	ORO 10-40 IPAC .	007.7		GEB 10-40 TPAL 302.4
UPON ATORNEAR JUB 5 5 TH ST			ATORNEAR DUE S FIFTE	1 57
AI ON HOAR			WITHIN CITY VILLAGE TOWNSHI	MADOUETTE
WITHIN OCITY UVILLAGE TOWNSHIP COUNTY OF MARQUETTE	O		COUNTY OF MARQUETTE	→ DID THE FOLK
Nuisance Ordinance Buildin Licenses Ordinance Plumbi 2oning Ordinance Electric	g Code ng Code al Code	THE FOLLOWING	Nuisance Ordinance Buildin Licenses Ordinance Plumbi Coning Ordinance Electric	
Sign Lighting & Display Ordinance Mechal Anima: & Fowl Ordinance Other	nical Code		Animal & Fowl Ordinance Other	1001 0000
Describe IPMC - FATCURE TO	BIRING GARAGE	TITA	Describe IPMC - FAILURE TO	BEING GARAGE INTO
RIASSS GUOD	Die of Children	2010	REPAIR	
			VIN	
VIN		0	Person in Active Military Service Yes No	
Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL INFRACTION and is yo		S. N.	THIS VIOLATION IS A CIVIL INFRACTION and is ye The fire for this violation is 6	our violation violations bureau earl must be paid at the violations bureau
	and must be paid at the violations ou contact the violations bureau before	s bureau	by 5:00 p.m. on 0 5/1 6/2074 unless y SEE BELOW FOR AN EXPLANATION OF YOUR	OU CONTACT THE VIOLEBORS DURBAL DEFORE THIS TIME.
NOTE This is a copy of the Notice of Violation serve	d on the defendant.	Tion of the state	WARNING: If you fall to pay the fine specified a bureau on the date and time specified above, a	
I slate that the above notice of violation was served to pay the fine specified above or falled to contact specified above. Therefore, this civil infraction cita	the violations bureau on the date and	7	You are elleged to be responsible for a civil infract 2) admit responsibility with explanation; or 3) deny if you are not able to pay due to financial hards	ion. You must either: 1) admit responsibility; responsibility.
TO THE DEFENDANT: You are required to appear	es follows to answer this citation		request a payment alternative.	Nip, contact the boost infiniteliating to
SEE DATE BELOW. SEE BACK OF CITATION FO	OR EXPLANATION AND INSTRUCTION	0	ADMIT RESPONSIBILITY: If you wish to admit no by appearing in person or by mailing your fine allo	
Appearance Date on or before		ယ	ADMIT RESPONSIBILITY WITH EXPLANATION	
Hearing Date (if applicable) on	Conta	ct Court (Court	to admit responsibility with explanation or deny re contact the violations bureau on or before the dat	
A formal hearing may be requested by either party.		Name Z	and filed with the court where you will have the rig	oht to an informal hearing before a magistrate
In the 96th DISTRICT	Court of MARQUETTE		or judge or to appear in court for a formal hearing	before a judge.
Court address & phone number		ž	Violations bureau address & phone number	
234 W. BARAGA AVE., MA		OL KIRON	ÇITY OF MARQUET 300 W. BARAGA AVE., MA	1 L, 11101110/111
(906) 225		6,	<i>(</i> 906) 228	-0475
I served a copy of this comp aint upon the defenda		's last		
known address and ber's copy of this complaint w I declare under the penalties of perjury that the		est g	I personally served a edpy of this notice upon the of declars under the penalties of perjury that the	selendani.
of my information, knowledge, and belief.		6 4	my information, knowledge, and belief.	AMANGINE SPALE SIGNATURE OF THE PART OF
Conclaint Signature and receipt if applicable		Year Z	Complain this Signature and receipt if applicable	Month Day Year
-/ >	, ,			05 01 2024
Office's temperatured) PARURE	Officer's ID No		Optober Name (printed) ERIC PALPORE	Officer's ID No.
Agency ORI Agency Name			Agency ORI Agency Name	
м. 5255900	CITY OF MARQUETTE		мі- 5255900	CITY OF MARQUETTE
UC-03 (rev. 3/21)	OPY		UC-02, Rev. 3/21 VIOLATIONS BU	REAU COPY

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State of Michigan C IC 10053 Dept. No.	State of Michigan Ticket No. 10071 Dept. No.
- NIC 11 10 11 11 11 11 11 11 11 11 11 11 11	MIS. Municipal Civil Infraction Complaint No. Offense Code
□JUV. Civil Infraction Citation OZ40636	☐ JUV. Notice of Violation ☐ O'Z426 30 The People of 120 the State of Michigan Local Use/Arrest No
The People of . Ithe State of Michigan Township City Village County	Township City Village County
OF: MARQUETTE Of	OF MARQUETTE Of
THE UNDERSIGNED Month Day Year, At approximately M Date Month Day	THE UNDERSIGNED Month Day Year At approximately A.M. Date Month Day
	SAYS THAT ON G G 4 (4 G C) PM Birth 11 30
State Oper/Chauff. Oriver License Number	CDL
Race Sex Height Weight Hair Eyes Occupation/Employer	Race Sex Height Weight Hair Eyes Occupation/Employer
Neme (First, Middle, Last)	Name (First, Middle, Last)
CHARLES WILLIAM MORRESUM	CHARCEL WILLSAM MURRITUN
Street 5 5TH ST	308 5 5=1 5+
City State Zip Code	
MARQUETTE MI 4885	- MARQUETTE MI 4485) E-mail Address Cellular Phone
E-mail Address Cellular Phone	
Vehicle Plate No. Year State Vehicle Description (Year, Make, Color)	Type Vehicle Plate No. Year State Vehicle Description (Year, Make, Color) Veh
	THE PERSON NAMED ABOVE, in violation of § CRB 10-40, If C 302.7
THE PERSON NAMED ABOVE, in violation of \$ CICD 10-46 TEAC 302.	Cocal Ordinance State Law Administrative Rule
UPONAdministrative Rule	UPON
ATORNEAR DUE S STH	ATORNEAR SUB S SEE ST
WITHIN KITY VILLAGE TOWNSHIP OF MARQUETTE	WITHIN CITY VILLAGE TOWNSHIP OF MARQUETTE
COUNTY OF MARQUETTE DID THE FOLLOWS	COUNTY OF MARQUETTE DID THE FOLLO
□ Nuisance Ordinance □ Building Code	Licenses Ordinance Plumbing Code
Licenses Ordinance Plumbing Code Zaning Ordinance Electrical Code	Scaning Ordinance Electrical Code Sign. Lighting & Display Ordinance Mechanical Code
Sign, Lighting & Display Ordinance Mechanical Code	Sign, Lighting & Display Ordinance Mechanical Code Animal & Fowl Ordinance Other
Animal & Fowl Ordinance Other	Describe IPMC - FATLURE TO BRENG GARAGE TAND
Describe IPMC - FAILURE TO BRING GARDINE	GOUP REPAIR
GARAGE TATU REPAIR	
	VIN:
VIN:	Person in Active Military Service Yes No
Person in Active Military Service Yes No THIS VIOLATION IS A CIVIL INFRACTION and is your 1 violation. The fine for this violation is \$ 9000 and the violations have the property of the violations have the property of the violations have the violation to the violations have the violation to th	THIS VIOLATION IS A CIVIL INFRACTION and is your
THIS VIOLATION IS A CIVIL INFRACTION and is your violation. The fine for this violation is \$ and must be paid at the violations bureau	The fine for this violation is \$ and must be peid at the violations bureau by 5:00 p.m. on unless you contact the violations bureau before this time.
by 5:00 p.m. on	SEE BELOW FOR AN EXPLANATION OF YOUR RIGHTS AND INSTRUCTIONS.
NOTE. This is a copy of the Notice of Violation served on the defendant.	WARNING: If you fail to pay the fine specified above or fail to contact the violations bureau on the date and time specified above, a civil infraction citation will be issued.
I state that the above notice of violation was served on the defendant. The defendant falled	You are alleged to be responsible for a civil infraction. You must either: 1) admit responsibility;
to pay the fine specified above or failed to contact the violations bureau on the date and time	2) admit responsibility with explanation; or 3) deny responsibility. If you are not able to pay due to financial hardship, contact the court immediately to
specified above. Therefore, this civil infraction citation is being issued.	request a payment alternative.
TO THE DEFENDANT: You are required to appear as follows to answer this citation SEE DATE BELOW. SEE BACK OF CITATION FOR EXPLANATION AND INSTRUCTIONS	ADMIT RESPONSIBILITY: If you wish to admit responsibility and pay your fine, you may do so
	by appearing in person or by mailing your fine along with this notice to the violations bureau. ADMIT RESPONSIBILITY WITH EXPLANATION OR DENY RESPONSIBILITY: If you wish
Appearance Date on or before	to admit responsibility with explanation or deny responsibility and have a hearing, you must
Hearing Date (If applicable) on Contact Court	to admit responsibility with explanation or deny responsibility and have a hearing, you must contact the violations bureau on or before the date specified above. A clastion will be issued and filed with the court where you will have the right to an informal hearing before a magistrate or luting or to annear in court for a formal hearing before a judge.
A formal hearing may be requested by either party. In the 96th DISTRICT Court of MARQUETTE	and filed with the court where you will have the ngrit to an informal nearing before a magistrate or judge or to appear in court for a formal hearing before a judge.
In the 96th DISTRICT Court of MARQUETTE S	Violations bureau address & phone number CITY OF MARQUETTE, MICHIGAN
2	
234 W. BARAGA AVE., MARQUETTE, MI 49855	300 W. BARAGA AVE., MARQUETTE, MI 49855
(906) 225-8235	(906) 228-0475
In the 96th DISTRICT Court of MARQUETTE Court eddress & phone number 234 W. BARAGA AVE., MARQUETTE, MI 49855 (906) 225-8235 I served a copy of this complaint upon the defendant by first class mail at the defendant's last	
known address and filed a copy of this complaint with the court. I declare under the penalties of perjury that the statements above are true to the best	personally served a pepy of this notice upon the defendant. I declare under the penalties of perjury that the statements above are true to the best of my information, knowledge, and belief.
of my information, knowledge, and belief.	
Complanation Signature and receipt if applicable Month Day Year CL 74	Complained to Signature and receipt if applicable Month Day Year 124
	Officer's Name (printed) ERIC PARULÉ Officer's IO No. OF D 1
Officer's forme (printed) PALPURE OFFICE ORD 1	
Agency ORI Agency Name	Agency ORI Agency Name Mi- 5255900 CITY OF MARQUETTE
MI- 5255900 CITY OF MARQUETTE	
UC-03. (rev 3/21)	VIOLATIONS BUREAU COPY
COURT COPY	

VORTINON!

Enforcement Notes

EN20-0327

07/23/2020 - Called PO. No answer. Vmail left notifying of failed reinspection and return call request. EP.

chartie morrison < cwmorrison 1@gmail.com > Mon 11/23/2020 7:31 AM Eric Paupore-

RE: EN20-0327 for 308 S Fifth st (PIN 0240030)

Due to the recent Covid-19 restrictions from Michigan Governor Whitmer, it appears most everyone is home until December 8th, due to the amount of work involved, I would request an extension to complete my work until July 23rd 2021.

Cordially

Charles Morrison cwmorrison1@gmail.com Sent from my iPhone

11/24/2020 - Per Request of Property Owner, Extension given until 07/23/2021

05/24/2021 – Opened EN21-0144 per complaint. Notes in BS&A:

Originally came in as complaint. Complainant wanted to remain anonymous. Called the next day and recanted complaint. This complaint not actively enforced at this time. Multiple other ongiong violations with this property

08/06/2021 - Failed to meet deadline. 2nd VN issued with same letter on 07/26. Updated reinspection date on letter to 08-20. EP

08/20/2021 - Failed to meet deadline. 3rd VN issued with same letter on 07/26. Updated reinspection date on letter to 09-06. EP

09/21/2021 - attempted to call Mr. Morrison. No Answer. No voicemail setup. 906-361-2787 (found in old vio) EP

08/20/2021 - 308S 5th/529 N 4th - Violations Eric Paupore Fri 8/20/2021 12:52 PM Mr. Morrison,

Today was the third bi-weekly reinspection for your properties located at 308 S Fifth St and 529 N Fourth St. Bi-weekly reinspection's resumed on July 23 per your requested extension back on 11/23/2020.

Today's failed reinspection will result in \$500 tickets for each property's respective violations. Municipal Civil Infraction Notice of Violation #'s 8859 and 8860 have been deposited in today's outgoing mail. From today's date forward, failure to contact our office for violation resolution, failed reinspection's, or work/demolition without securing a Zoning Compliance Permit will result in \$500 tickets for each offense on the preset bi-weekly schedule.

Additionally, It appears as if 529 N Fourth has undergone partial demolition of the area under code violation. This work requires a Zoning Compliance Permit for demolition and the need for such was relayed in each failed reinspection letter addressed to you since 07/26/2021.

Please contact our office to discuss your plans for compliance on each of these open code violations.

Eric Paupore
City of Marquette
Community Development
Planning/Zoning Technician
906-225-4021

11/18/2021 - Per District Court - first 3 CIC's unresolved and notice of show cause has been issued. Remaining still unpaid but not show caused yet. Enforcement paused pending court action. Reinspection set for post-show cause on 12/15 EP

Tracy LaJoie <tlajoie@mqtco.org> Fri 12/17/2021 9:59 AM

So there was only one hearing on 12/15/21. It was for 5222.

5222 = He didn't show up so I issued a bench warrant that is on Judge's desk for signature.
5427 = \$648 balance owed. Next step will be a show cause hearing most likely in January
5428 = \$648 balance owed. Next step will be a show cause hearing most likely in January
5218 = \$96 balance owed. This just got closed because there are not enough jail eligible fines to bench warrant him.

Pam has transferred offices so please let me know if you need anything further.

Tracy LaJoie
Clerk of the Court
tlajoie@mqtco.org
(906) 225-8242
>>> Pamela Waterman 12/16/2021 4:32 PM >>>

Pamela Waterman Case Specialist Friend of the Court 234 W Baraga Ave Marquette, MI 49855 (906) 225-8270 (906) 225-8274 FAX

>>> Eric Paupore <erpaupore@marquettemi.gov> 12/16/2021 3:40 PM >>> Hi Pamela,

I believe there was a hearing this week for a few of the CIC's issued to Charles Morrison. I believe the associated tickets are CIC#'s 5218, 5222, 5427, and 5428. Could you please let me know what the outcome was?

Eric Paupore
City of Marquette
Community Development
Planning/Zoning Technician
906-225-4021

Kaitlin Halvorson < KHalvorson@mqtco.org>

Eric Paupore

Good morning, Eric,

5218 - The case was closed due to not enough jail eligible fines to bench warrant.

5222 - Bench Warrant was issued for \$156

5427 - Bench Warrant was issued for \$648

5428 - Bench Warrant was issued for \$648

5438 - Bench Warrant was issued for \$648

5445 - Bench Warrant was issued for \$648

I was unable to find a citation with a matching CIC for 5433. I did find three others for Mr. Morrison that have bench warrants. They are:

8871 - Bench Warrant was issued for \$648

5429 - Bench Warrant was issued for \$612

5221 - Bench Warrant was issued for \$120

Thank you

Kaitlin Halvorson District Court Clerk khalvorson@mqtco.org 906-225-8235

>>> Eric Paupore <erpaupore@marquettemi.gov> 12/5/2022 8:54 AM >>> Good morning, Kaitlin,

I'm doing some case follow-up and was wondering if you could let me know what the status/resolution was on your end for tickets that I had issued for Charles Morrison of 308 S Fifth St in the City of Marquette. Many tickets were issued with non-payment resulting in them being forwarded to the courts and my last notes showed that there was a large outstanding balance and a bench warrant issued.

The CIC 3's are: 5218, 5222, 5427, 5428, 5433, 5438, 5445.

These were all issued in 2021.

Eric Paupore
City of Marquette
Community Development
Planning/Zoning Technician
906-225-4021

04/02/2024 - Met with Charlie at his home at 529 N Fourth St with FD regarding required inspection and pending tenant eviction + outstanding code violations at this residence. Informed him of outstanding violation at 308 S Fifth and outstanding bench warrants. Told him to expect copies of all notices. Notices sent by certified mail to 308 S Fifth St, 529 N Fifth St, and emailed copies to cwmorrison1@gmail.com. Joe Baker - 906-250-0040

District Court Actions
(Non-payments, Bench Warrants, Resolutions)

MARQUETTE

DEFENDANT HISTORY

DATE: 11/25/24 NAME: MORRISON/CHARLES

PAGE: 1

				10.0	W. =				
		OFFENS	SE s		DT	SPOSITION			
	CASE#	DATE		CNT	DATE	DESCRIPTION		73.74	
				0		DESCRIPTION	FINES	JAIL	PROB
	M0815060N	80408	PROPERTY	1	100108	DEFAULT JGMT	96.00		
	M0912850N		NOXIOUS WEED			DEFAULT JGMT			C
	M0912860N		NOXIOUS WEED			DEFAULT JGMT			C
	M0919840N		PROPERTY	1	120809	DEFAULT JGMT			C
	M0919850N		PROPERTY	1		DEFAULT JGMT			C
	M1000600N		PROPERTY	1		DEFAULT JGMT			С
	M010596CM		BLDG CODE VL			DEFAULT JGMT			C
	M0518510N		PROH ACCUMUL	1		FOUND RESP.			C
	M0603400N		ZONING CODE	ī		DEFAULT JGMT	150.00		C
	M0603410N		PROH ACCUMUL	1		DEFAULT JGMT			C
	M0603420N		PROH ACCUMUL	1		DEFAULT JGMT			C
	M0606580N		PROH ACCUMUL	1		DEFAULT JGMT	96.00		C
	M0606590N			1		DEFAULT JGMT	96.00		C
	M0606600N		HOUSEHOLD	1			96.00		C
	M0606610N		PROH ACCUMUL	1		DEFAULT JGMT	156.00		C
	M0608490N		PROH ACCUMUL	1		DEFAULT JGMT	156.00		CCC
	M0816970N		PROPERTY			DEFAULT JGMT	96.00		C
	M155002ON		EXTERIOR STR	1		DEFAULT JGMT	176.60		C
	M1550030N		NUISANCE			DEFAULT JGMT	60.00		C
	M1559260N		PROPERTY	1		DEFAULT JGMT	96.00		C
	M1635620N		PROPERTY	1		DEFAULT JGMT	156.00		C
	M1647300N		PROPERTY			DEFAULT JGMT DEFAULT JGMT	276.00		C
	M1657330N		PROPERTY			DEFAULT JGMT	636.00		C
	M1659140N		PROPERTY	1		DEFAULT JGMT	96.00		C
	170689ON			1		DEFAULT JGMT	636.00		C
	172165ON		EXTERIOR STR	1		DISMISSED	80.00		C
	2347760N		RENTAL CODE			DEFAULT JGMT	220 00		C
	240226ON		RENTAL CODE	1		DEFAULT JGMT	228.00		C
	2410540N		RENTAL CODE	ī		DEFAULT JGMT	348.00 1248.00		C
1	M0609110N		PROPERTY	1		DEFAULT JGMT	96.00		C
	19558605		NO PROOF INS			DISMISSED	50.00		C
	19766460A		STOP SIGN	1		DEFAULT JGMT	80.00		C
	19766460B		FL DSPLY LIC	1		DSP GLTY PL	00.00		C
2	207074397		NO REG TRLR	1		JDGMNT RNDRD			C
-	212654ON		PROPERTY	1		DEFAULT JGMT	96.00		Č
1	2126550N	82321	PROPERTY	1		DEFAULT JGMT	156.00		Č
-	2126570N	82521	EXTERIOR STR	1		DEFAULT JGMT	120.00		Č
1	212962ON	92221	PROPERTY	1		DEFAULT JGMT	648.00		Ċ
-	212963ON	92221	EXTERIOR STR			DEFAULT JGMT	612.00		Ĉ
2	212964ON	92221	PROPERTY			DEFAULT JGMT	648.00		W
-2	213212ON	92221	PROPERTY			DEFAULT JGMT	648.00	115	C
2	213536ON	111021	PROPERTY			DEFAULT JGMT	648.00		Ċ
2	213693ON	120621	PROPERTY	1		DEFAULT JGMT	648.00		Č
2	233596ON	81123	INOP MTR VEH	1		DEFAULT JGMT	108.00		C
2	241055ON	31124	RENTAL CODE	1		DEFAULT JGMT	1248.00		C
2	241056ON	31124	RENTAL CODE	1	40124	DEFAULT JGMT	648.00		C
2	2417410N	50624	PROPERTY	1		DEFAULT JGMT	648.00		C
12	241904ON	52124	PROPERTY	1		DEFAULT JGMT	648.00		С
	242163ON		PROPERTY	1	62424	DEFAULT JGMT	876.00		C
	2421640N		PROH ACCUMUL	1		DEFAULT JGMT	108.00		C
	423520N		PROH ACCUMUL	1		DEFAULT JGMT	168.00		С
2	42353ON	62624	PROPERTY	1	71524	DEFAULT JGMT	648.00		C

MARQUETTE

DEFENDANT HISTORY

DATE: 11/25/24 NAME: MORRISON/CHARLES

PAGE: 2

CASE# DATE CHARGE CNT DATE DESCRIPTION FINES TAIL DR	77.07.11	OFFENSE			DIS	SPOSITION				
JAIL PR	JASE#	DATE C	CHARGE	CNT	DATE	DESCRIPT	'ION	FINES	JAIL	PROB
243274ON 82724 INOP MTR VEH 1 91624 DEFAULT JGMT 108.00 243449ON 91124 INOP MTR VEH 1 100124 DEFAULT JGMT 140.00 243607ON 92024 INOP/UNLIC 1 101624 DEFAULT JGMT 540.00 243819ON 102124 INOP MTR VEH 1 111224 DEFAULT JGMT 90.00 243951ON 110524 INOP MTR VEH 1 112524 DEFAULT JGMT 540.00 244134ON 111924 INOP MTR VEH 1 510.00 10434948 10704 SPEEDING 5 1 21104 DEFAULT JGMT 105.00	2434490N 2436070N 2438190N 2439510N 2441340N	91124 I 92024 I 102124 I 110524 I 111924 I	INOP MTR VEH INOP/UNLIC INOP MTR VEH INOP MTR VEH	1 1 1 1	100124 101624 111224 112524	DEFAULT DEFAULT DEFAULT DEFAULT	JGMT JGMT JGMT JGMT	140.00 540.00 90.00 540.00 510.00		D D D D N C

STATE OF MICHIGAN CASE NO: 212962ON D01 ON 96TH JUDICIAL DISTRICT REGISTER OF ACTIONS X-REFERENCE #: 5427 ORI520025J STATUS: CLSD 11/01/24 JUDGE OF RECORD: JUDGE: CITY OF MARQUETTE V CTN: MORRISON/CHARLES/WILLIAM TCN: 308 S FIFTH ST SID: MARQUETTE MI 49855 ENTRY DATE: 09/23/21 OFFENSE DATE: 09/22/21 1200 Pl ARREST DATE: VEHICLE TYPE: VPN: DOB: ######### SEX: M RACE: W DLN: ################ CDL: VEH YR: VEH MAKE: VIN: PAPER PLATE: OFFICER: PAUPORE, ERIC DEPT: CITY OF MARQUETTE PROSECUTOR: VICTIM/DESC: FAIL TO REPAIR GARAGE DAMAGE VENUE: CITY OF MARQUETTE CNT: 01 C/M/F: C 301.8 ORD#301.8 PROPERTY MAINTENCE CODE ARRAIGNMENT DATE: PLEA: PLEA DATE: FINDINGS: DEFAULT JGMT DISPOSITION DATE: 10/13/21 SENTENCING DATE: 10/13/21 FINE COST ST. COST CON TOT FINE MISC. REST TOT DUE 500.00 138.00 10.00 0.00 0.00 0.00 648.00 0.00 JAIL SENTENCE: PROBATION: VEH IMMOB START DATE: NUMBER OF DAYS: VEH FORFEITURE: DATE ACTIONS, JUDGMENTS, CASE NOTES INITIALS 09/22/21 01 ORIGINAL CHARGE PROPERTY JAS 09/23/21 FILING DATE 092321 JAS DUE DATE 100821 JAS 09/24/21 MISCELLANEOUS ACTION ALL COUNTS FM SUPPLEMENTAL SENTENCING \$510.00 FM 3RD VIOLATION FM STATE COSTS - NON-TRAFFIC CIVIL INFRACTION \$10.00 FM ORDINANCE FINE & COSTS \$500.00 FM 10/13/21 01 DEFAULT JUDGMENT GENERATED PROPERTY PENALTY ADDED-ORDINANCE PROPERTY \$30.00 11/10/21

PROPERTY

PROPERTY

\$108.00

12/08/21

01 14 DAY NOTICE GENERATED

01 20% LATE PENALTY

CASE NO: 2129620N

PAGE 2

DATE ACTIONS, JUDGMENTS, CASE NOTES INITIALS 12/20/21 01 MISCELLANEOUS ACTION PROPERTY SCHEDULED FOR SHOWCAUSE HEARING 011222 1000A KANGAS, ROGER W., P-40816 JAS ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG JAS PROPERTY JAS SHOULD NOT BE HELD IN CIVIL CONTEMPT OF JAS COURT JAS DEFENDANT HAS FAILED TO: JAS DEFENDANT FAILED TO PAY/CSW FINES AND COSTS JAS DUE OF \$648. PAYMENT MUST JAS DEFENDANT CAN BE MADE ONLINE AT E.COURTS.MICHIGAN.GOV JAS ONLINE AT E.COURTS.MICHIGAN.GOV JAS ONLINE AT E.COURTS.MICHIGAN.GOV JAS CARD.PAYMENT SUED PROPERTY JAS CARD.PAYMENT FAILED TO APPEAR JAS CAUSE OR PAY/CSW.BALANCE DUE IS \$648 **3018** CONTEMPT FOR COURT. MARQUETTE JAS S648 **3018** CONTEMPT OF COURT. MARQUETTE JAS COUNTY PICK UP BW TO JUDGE FOR SIGNATURE 01/31/22 BW TO JUDGE FOR SIGNATURE DATE BW TO MCSD
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JAS 8W TO JODGE FOR SIGNATURE 01/31/22 BW TO MCSD
BW TO MCSD
02/14/22
01 14 DAY NOTICE GENERATED PROPERTY 10/31/24
01 MONETARY TRANSACTION: DRODERMY
DAVMFMT
CASH TENDEDED \$648.00 D189267 JLV
11/01/24 JLV
MISCELLANEOUS ACTION ALL COUNTS JLV
BENCH WARRANT RETURNED
MISCELLANEOUS ACTION ALL COUNTS
CASE CLOSED JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGI	STER OF ACTIO	ONS	X-REFE	O: 212655 RENCE #: S: CLSD	5222	ON 24
		JUDGE OF I	RECORD:				
CITY OF MARQUETTE V			JUDGE:				
MORRISON/CHARLES/WI 308 S FIFTH ST MARQUETTE MI				ENTRY	CTN: TCN: SID: DATE: 08/	26/21	
	1			OFFENSE ARREST	DATE: 08/	23/21 10	1A 00
DOB: ######### SEX: VEH YR: VEH MAI		VEHICLE DLN: ### VIN:		######		ATE:	
OFFICER: PAUPORE, ERIC PROSECUTOR: VICTIM/DESC: GARAGE NEED	ים חברו	ATD OND		: CITY	OF MARQUET	TE	
VICTITY DESC. GARAGE MEET	D KEP	ALK-ZND	VENU.	E: CITY	OF MARQUE	TTE	
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE				ORD#	301.8		
ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 09/14/	DISE	PLEA: POSITION DATE	: 09/1	4/21	PLEA DATE		
FINE COST ST. 90.00 56.00 1 JAIL SENTENCE:	COST .0.00	PROBATT	.00	REST 0.00	TOT FINI	E TOT	DUE 0.00
VEH IMMOB START DATE:	i	NUMBER	OF DAYS	3: "	VEH FORI	FEITURE:	
DATE	ACI	IONS, JUDGME	NTS, C	ASE NOT	ES	INIT	TALS
08/23/21	-				_		
01 ORIGINAL CHARGE 08/26/21		PROPERTY					JAS
FILING DATE 01 DUE DATE	ł.	082621					JAS
	. 1	090921					JAS
MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES					\$100.00		
MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES 2ND OFFENSE ORDINANCE FINE & CO	CING STS	090921 ALL COUNTS	TTON		\$90.00	1100 00	JAS JLH JLH JLH JLH JLH
MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES 2ND OFFENSE	CING STS RAFFIC	090921 ALL COUNTS CIVIL INFRACED	CTION			1100 00	JAS JLH JLH JLH JLH
MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES 2ND OFFENSE ORDINANCE FINE & CO STATE COSTS - NON-T 09/14/21 01 DEFAULT JUDGMENT GE PENALTY ADDED-ORDIN	CING STS RAFFIC NERATE	090921 ALL COUNTS CIVIL INFRA	CTION	₹3	\$90.00		JAS JLH JLH JLH JLH JLH
MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES 2ND OFFENSE ORDINANCE FINE & CO STATE COSTS - NON-T 09/14/21 01 DEFAULT JUDGMENT GE	CING STS RAFFIC NERATE ANCE	090921 ALL COUNTS CIVIL INFRACE PROPERTY	CTION	to to	\$90.00 \$10.00		JAS JLH JLH JLH JLH JLH

CASE NO: 212655ON PAGE

2

DATE	ACTIONS, JUDGMENTS, CASE NOT	
	TICTIONS, CODGMENTS, CASE NOT	S INITIALS
11/18/21		
01 MISCELLANEOUS ACTI	ON PROPERTY	7
SCHEDULED FOR SHOW	CAUSE HEARING	PW
	121521 1000A KANGAS POCT	PW CR W., P-40816 PW
ORDER TO SHOW CAUS	E GENERATED-UPDATED SHOWCAUSE FLA	AG PW
	PROPERTY	PW PW
YOU ARE ORDERED TO	SHOW CAUSE WHY YOU	PW
SHOULD NOT BE HELD	IN CIVIL CONTEMPT OF	PW
COURT		PW
DEFENDANT HAS FAIL	ED TO:	PW
DEFENDANT FAILED T	PAY/CSW FINES AND COSTS	PW
DUE OF \$156.00 PAY	MENT CAN	PW
DEBIT CARD DAMEN	ONEY ORDER, OR CREDIT/	PW
DEBIT CARD. PAYMEN	CAN BE	PW
YOUR LICENSE IS SU	OURTS.MICHIGAN.GOV. IF	PW
MAY PEMATH CITCHEN	ED UNTIL PAID IN FULL.	PW
12/16/21 REMAIN SUSPEND	D UNTIL PAID IN FULL.	PW
01 BENCH WARRANT ISSU	D PROPERTY	
CONTEMPT/FAIL TO A	PPEAR	TLM
DEFENDANT FAILED T	APPEAR FOR 12/15/21	TLM
SHOW CAUSE HEARING	OR PAY/CSW	TLM
BALANCE DUE IS \$15	**301.8** CONTEMPT OF	TLM TLM
COURT MARQUETTE C	OUNTY PICKUP	TLM
\$50 CASH BOND.		TLM
01/03/22		1 11/1
BW TO MCSD		JAS
01/18/22		
01 14 DAY NOTICE GENE	ATED PROPERTY	
10/31/24 01 MONETARY TRANSACTION		
PAYMENT		JLV
01 CASH TENDERED	**************************************	\$156.00 D189268 JLV
11/01/24		JLV
MISCELLANEOUS ACTIO	N ALL COUNTS	JLV
BENCH WARRANT RETUR		JLV
MISCELLANEOUS ACTIO		JLV
CASE CLOSED	Į.	JLV
		~

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	ISTER OF ACTIONS	CASE NO: 2136930N X-REFERENCE #: 12 STATUS: CLSD	D01 ON 15445 11/01/24
	JUDGE OF RECORD		
CITY OF MARQUETTE v	JUDGE		
MORRISON/CHARLES/WILLIAM 308 S FIFTH STREET		CTN: TCN: SID:	
MARQUETTE MI 4985		ENTRY DATE: 12/09	/21
		OFFENSE DATE: 12/06	/21 900 A
		ARREST DATE:	
DOB: ####################################	VEHICLE TYPE:	VPN:	
DOB: ######### SEX: M RAC VEH YR: VEH MAKE:	VIN:		
OFFICER: PAUPORE, ERIC		PAPER PLATE: CITY OF MARQUETTE	E:
PROSECUTOR:		. CITI OF MARQUEITE	
VICTIM/DESC: FAIL TO REPAIR	GARAGE VENU	E: CITY OF MARQUETT	3
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE	1 1	ORD#301.8	
ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT DIS	PLEA: SPOSITION DATE: 01/0	PLEA DATE:	
FINE COST ST.COST 500.00 138.00 10.00 JAIL SENTENCE: VEH IMMOB START DATE:	PROBATION:	REST TOT FINE 0.00 648.00 S: VEH FORFE	0.00
DATE	TIONS, JUDGMENTS, C	ASE NOTES	INITIALS
12/06/21			
01 ORIGINAL CHARGE	PROPERTY		
12/09/21	PROPERTY		PMM
FILING DATE	120921		PMM
01 DUE DATE	122921		PMM
FILE TO MAG FOR REVIEW.			PMM
12/13/21	3.7. 60.000		
MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCING	ALL COUNTS	AC10 00	FM
STATE COSTS - NON-TRAFFI	C CIVII. TNEPACTION	\$510.00 \$10.00	FM FM
ORDINANCE FINE & COSTS	C CIVIL INFIACIION	\$500.00	FM
01/03/22		\$300.00	111
01 DEFAULT JUDGMENT GENERAT	ED		
	PROPERTY		
PENALTY ADDED-ORDINANCE	PROPERTY	\$30.00	
01/31/22	DDODEDES!		
01 14 DAY NOTICE GENERATED 02/28/22	PROPERTY		
01 20% LATE PENALTY	PROPERTY	\$108.00	

2

DATE	ACTIONS, JUDGMENTS, CASE NOTES		
	MCTIONS, UUDGMENTS, CASE NOTES	INI	TIALS
04/07/22			
01 MISCELLANEOUS ACTION	PROPERTY		NM
SCHEDULED FOR SHOWCA			NM
OPDER TO SHOW CALLED	060122 1000A WEBER, KARL A.,	P-55335	NM
CADER TO SHOW CAUSE	GENERATED-UPDATED SHOWCAUSE FLAG		NM
YOU ARE ORDERED TO S	PROPERTY		NM
SHOULD NOT BE HELD I	N CIVII. CONTEMPT OF		NM
COURT	CIVIL CONTEMPT OF		MM
DEFENDANT HAS FAILED	TO:		NM
DEFENDANT FAILED TO	PAY/CSW FINES AND COSTS		NM
DOE OF \$648. **301.8	**		NM NM
PAYMENTS CAN BE MADE	BY CASH, MONEY ORDER,		NM
CREDIT/DEBIT CARD OR	ON		NM
LINE AT E.COURTS.MIC	HIGAN.GOV. IF YOUR		NM
DRIVER'S LICENSE IS	SUSPENDED		NM
IT WILL REMAIN SUSPE FULL.	NDED UNTIL PAID IN		NM
06/02/22			NM
01 BENCH WARRANT ISSUED	PROPERTY		
CONTEMPT/FAIL TO APP	EAR		TLM
DEFENDANT FAILED TO .	APPEAR FOR 6/01/22 SHOW		TLM
CAUSE HEARING OR PAY	/CSW		TLM TLM
BALANCE DUE IS \$648	**301.8** CONTEMPT OF		TLM
COURT MARQUETTE COU	NTY PICKUP		TLM
\$648 CASH BOND.			TLM
BENCH WARRANT TO JUDG 06/07/22	GE FOR SIGNATURE		TLM
BENCH WARRANT TO MCSI	i		
07/05/22			TLM
01 14 DAY NOTICE GENERA	TED PROPERTY		
10/31/24			
01 MONETARY TRANSACTION	PROPERTY		JLV
PAYMENT	\$648.00	D189252	JLV
CASH TENDERED			JLV
11/01/24 MISCELLANEOUS ACTION	ALL COLDING		
BENCH WARRANT RETURNS			JLV
MISCELLANEOUS ACTION	ALL COUNTS		JLV
CASE CLOSED	PITE COOKER		JLV
			JLV

STATE OF MICHIGAN					
		L _{pl}		SE NO: 24022	
96TH JUDICIAL DISTRICT ORI520025J	REGISTE	R OF ACTIONS		REFERENCE #:	
			ST	ATUS: CLSD	11/01/24
		JUDGE OF REC	CORD:		
CTML OF LIFE		JU	UDGE:		
CITY OF MARQUETTE V					
MORRISON/CHARLES/W				CTN:	
200 C ETENII OM				TCN:	
MARQUETTE MI	49855		TO ⁴	SID: NTRY DATE: 01/	110/04
			OFF	NIRI DATE: 01/ ENSE DATE: 11/	18/24
	8 8 9			REST DATE:	20/23
		VEHICLE TY	/PE·	WDN .	
DOB: ######### SEX:	RACE:	DLN: #####	*#######	#### CDT.	
VEH YR: VEH MAR	Œ:	VIN:		PAPER PI	ATE-
VEH YR: VEH MAN OFFICER: GARDNER/BEN			DEPT: C	ITY OF MARQUET	TE
PROSECUTOR:	į				
VICTIM/DESC: FAIL TO CME	PLT CMPLN	C INSP FIR	VENUE: (CITY OF MARQUE	TTE
CNT: 01 C/M/F: C 42.04					
RENTAL CODE VIO-CITY OF	MADOTIE	P	(DRD#42.04	
ARRAIGNMENT DATE:	PERQUEIT	ים דריז∧.		DI 83 DA 88	
FINDINGS: DEFAULT JGMT	DTSPOS	⊔ውል: [ሞፐ∩N] ከአጥኮ.	02/05/2/	PLEA DATE	
SENTENCING DATE: 02/05/	24	LIION DAIL.	02/05/24		
FINE COST ST.	COST	COM MTC			
			C 1	אדים ייי∩יי דידאז	מזולו יוייטייוי יבו
250.00 88.00 1	.0.00 (0.0	0 0	0 00 348 0	0 00
250.00 88.00 1	.0.00 (0.0	0 0	0 00 348 0	0 00
250.00 88.00 1	.0.00 (0.0	0 0	0 00 348 0	0 00
250.00 88.00 1 JAIL SENTENCE: VEH IMMOB START DATE:	.0.00	0.00 0.0 PROBATION NUMBER OF	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00
JAIL SENTENCE: VEH IMMOB START DATE:	.0.00	0.0	O (: DAYS:	0.00 348.0 VEH FOR	0 00
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23	.0.00	0.00 0.0 PROBATION NUMBER OF	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE	ACTION	0.00 0.0 PROBATION NUMBER OF	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00 FEITURE: INITIALS
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24	ACTION	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00 FEITURE: INITIALS
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE	ACTION RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE	ACTION RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00 FEITURE: INITIALS TMG TMG TMG
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI	ACTION RE 01 01 GN F&C.	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824	O (: DAYS:	0.00 348.0 VEH FOR	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO	ACTION RE 01 01 GN F&C. N AL	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824	O (: DAYS:	VEH FOR	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG TMG TMG
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN	ACTION RE 01 01 GN F&C. N AI CING	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS	DAYS:	0.00 348.0 VEH FOR	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTION SUPPLEMENTAL SENTEN FAILURE TO COMPLETE	ACTION RE 01 01 GN F&C. N AI CING	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS	DAYS:	VEH FOR	0 0.00 FEITURE: TMG TMG TMG TMG TMG JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION	ACTION RE 01 GN F&C. N AI CING COMPLIAN	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS	DAYS:	0.00 348.0 VEH FOR NOTES \$260.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO.	ACTION RE 01 01 GN F&C. N AI CING COMPLIAN STS	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION	O CI: DAYS: CASE ON	\$260.00 \$250.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-TE	ACTION RE 01 01 GN F&C. N AI CING COMPLIAN STS	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION	O CI: DAYS: CASE ON	0.00 348.0 VEH FOR NOTES \$260.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T.	ACTION RE 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION	O CI: DAYS: CASE ON	\$260.00 \$250.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 1/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T.	ACTION RE 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION	O CI: DAYS: CASE ON	\$260.00 \$250.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG TMG JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 1/28/23 01 ORIGINAL CHARGE 1/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T.	ACTION RE OI GN F&C. N AI CING COMPLIAN STS RAFFIC CI NERATED RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION VIL INFRACT	O CI: DAYS: CASE ON	\$260.00 \$250.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG JLH JLH JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 1/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T: 12/05/24 01 DEFAULT JUDGMENT GE PENALTY ADDED-ORDIN: 3/04/24	ACTION RE 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI NERATED RE ANCE RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION VIL INFRACT	O CI: DAYS: CASE ON	\$260.00 \$250.00 \$10.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG JLH JLH JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 1/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T: 12/05/24 01 DEFAULT JUDGMENT GE PENALTY ADDED-ORDIN: 3/04/24 01 14 DAY NOTICE GENER.	ACTION RE 01 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI NERATED RE ANCE RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION VIL INFRACT	O CI: DAYS: CASE ON	\$260.00 \$250.00 \$10.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG JLH JLH JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CO. STATE COSTS - NON-T. 02/05/24 01 DEFAULT JUDGMENT GE PENALTY ADDED-ORDING 03/04/24 01 14 DAY NOTICE GENERAL 04/01/24	ACTION RE 01 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI NERATED RE ANCE RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION VIL INFRACT: ENTAL CODE ENTAL CODE ENTAL CODE ENTAL CODE	O CI: DAYS: CASE ON	\$260.00 \$250.00 \$10.00 \$30.00	0 0.00 FEITURE: INITIALS TMG TMG TMG TMG JLH JLH JLH JLH JLH JLH JLH
JAIL SENTENCE: VEH IMMOB START DATE: DATE 11/28/23 01 ORIGINAL CHARGE 01/18/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSI MISCELLANEOUS ACTION SUPPLEMENTAL SENTEN FAILURE TO COMPLETE 2ND VIOLATION ORDINANCE FINE & CONSTATE COSTS - NON-TENTE CO	ACTION RE 01 01 GN F&C. N AI CING COMPLIAN STS RAFFIC CI NERATED RE ANCE RE	PROBATION NUMBER OF NS, JUDGMENT ENTAL CODE 1824 2924 L COUNTS ICE INSPECTION VIL INFRACT: ENTAL CODE ENTAL CODE	O CI: DAYS: CASE ON	\$260.00 \$250.00 \$10.00	O 0.00 FEITURE: TMG TMG TMG JLH JLH JLH JLH

DATE	ACTIONS, JUDGMENTS, CASE NOTES	
04/12/24	, total and holds	INITIALS
04/12/24 01 MISCELLANEOUS ACTION	D-11-11-11-11-11-11-11-11-11-11-11-11-11	
SCHEDULED FOR SHOWCA	RENTAL CODE	TMG
BEIMBOULD FOR SHOWCA		TMG
ORDER TO SHOW CALLER	051524 1000A KANGAS, ROGER W.,	P-40816 TMG
OTOPIC TO DITON CAUSE	GENERATED-UPDATED SHOWCAUSE FLAG	TMG
YOU ARE ORDERED TO S	RENTAL CODE	TMG
SHOULD NOT BE HELD I	TOW CAUSE WHY YOU	TMG
COURT	CIAID COMIEMBI OF	TMG
DEFENDANT HAS FAILED	тО∙	TMG
DEFENDANT IS TO SHOW	CAUSE FOR FAILURE TO	TMG
PAY/CSW IN THE AMOUN	CONTRACTOR TO	TMG
\$348 **42.04**. PAYM	ENT MUST BE BY CASH	TMG
MONEY ORDER OR CREDI	[/	TMG
DEBIT CARD. PAYMENT	CAN BE MADE ONLINE @ E	TMG
COURTS.MICHIGAN.GOV	IF YOUR	TMG TMG
DRIVER LICENSE IS SU	SPENDED, IT WILL REMAIN	TMG
SO UNTIL PAID IN FUL	1.	TMG
05/03/24		1110
REMOVED FROM DOCKET	051524-1000A KANGAS, ROGER W.,	P-40816 TLM
SCHEDULED FOR SHOWCA	SE HEARING	TT.M
Ol NOWIGE MO ADDRAG	052924-1000A KANGAS, ROGER W.,	P-40816 TLM
01 NOTICE TO APPEAR GEN	RATED	TLM
05/30/24	RENTAL CODE	TLM
01 BENCH WARRANT ISSUED	DENIENI CODE	
CONTEMPT/FAIL TO APPR	RENTAL CODE	KMH
DEFENDANT FAILED TO	PPEAR FOR 5/29/24 SHOW	KMH
CAUSE HEARING OR PAY	CSW RALANCE	KMH
DUE IS \$348 **42.04**	CONTEMPT OF COURT	KMH
MARQUETTE COUNTY PICE	UP.	KMH
\$348 CASH BOND		KMH KMH
BW TO JUDGE FOR SIGNA	TURE	KMH
06/03/24		14.11
01 BW TO MCSO 6/4/24		TMG
07/01/24		
01 14 DAY NOTICE GENERAT	ED RENTAL CODE	
10/31/24		
01 MONETARY TRANSACTION	RENTAL CODE	JLV
PAYMENT CASH TENDERED	\$348.00	D189265 JLV
11/01/24		JLV
MISCELLANEOUS ACTION	ALL COUNTS	
BENCH WARRANT RETURNE		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV JLV
CASE CLOSED		JLV
		0110

STATE OF MICHIGAN		CASE NO: 2410540N	DO1 ON
96TH JUDICIAL DISTRICT REG	ISTER OF ACTIONS	X-REFERENCE #: 559	
ORI520025J			1/01/24
		James Chap	1/01/24
	JUDGE OF RECORD		
man II.	JUDGE		
CITY OF MARQUETTE V		-	
		CTN:	
MORRISON/CHARLES/W		TCN:	
308 S FIFTH ST		SID:	
MARQUETTE MI 4985	5	ENTRY DATE: 03/15/:	24
		OFFENSE DATE: 02/06/2	24
		ARREST DATE:	
707 ###########	VEHICLE TYPE:	VPN:	
DOB: ######## SEX: RAC	E: DLN: ########	####### CDL:	
VER IK: VEH MAKE:	VIN:	PAPER PLATE:	
OFFICER: GARDNER/BEN	DEPI	: CITY OF MARQUETTE	
PROSECUTOR:	0		
VICTIM/DESC: 1ST VIOLATION	VENU	E: CITY OF MARQUETTE	
CNT: 01 C/M/F: C 42.04			
RENTAL CODE VIO-CITY OF MARQU		ORD#42.04	
ARRAIGNMENT DATE:	DE L'E		
FINDINGS: DEFAULT JGMT DI	PLEA:	PLEA DATE:	
SENTENCING DATE: 04/01/24	SPOSITION DATE: 04/0	11/24	
FINE COST ST COST	CON MICC	DEGE FOR TITLE	
FINE COST ST.COST 1000.00 238.00 10.00	0.00 0.00	REST TOT FINE	TOT DUE
JAIL SENTENCE:	DPORATION.	0.00 1248.00	0.00
JAIL SENTENCE: VEH IMMOB START DATE:	NIMBED OF DAY	g. Veu eopera	ume
		o. Ven forfell	URE:
DATE	TIONS, JUDGMENTS, C	ASE NOTES	INITIALS
			THITTIME
02/06/24			
01 ORIGINAL CHARGE	RENTAL CODE		TMG
03/15/24			
FILING DATE	031524		TMG
01 DUE DATE	032724		TMG
OVERCAPACITY OF UNCERTIE			TMG
FILE TO MAG TO ASSIGN F			TMG
MISCELLANEOUS ACTION	ALL COUNTS		JLH
SUPPLEMENTAL SENTENCING	-	\$1,010.00	JLH
ASSESSING FINES AND COST	S		JLH
1ST VIOLATION		45 000 00	JLH
ORDINANCE FINE & COSTS	A CILITI TAYON AND AND	\$1,000.00	JLH
STATE COSTS - NON-TRAFFI	C CIVIL INFRACTION	\$10.00	JLH
01 DEFAULT JUDGMENT GENERAT	SEID.		
OI DEFROIT GODGMENT GENERAL	RENTAL CODE		
PENALTY ADDED-ORDINANCE		\$30.00	
	TOTAL TATA CODE	420.00	
04/29/24			
04/29/24 01 14 DAY NOTICE GENERATED	RENTAL CODE		

NAME: MORRISON/CHARLES/W

CASE NO: 2410540N

PAGE

DAME					IAGE	4
DATE	ACTIONS,	JUDGMENT	S, CASE	NOTES	IN	ITIALS
05/28/24						
01 20% LATE PENALTY	RENT	AL CODE		4000		
06/12/24		ALI CODE		\$208.00		
01 MISCELLANEOUS ACTION	N RENTA	AL CODE				En co
SCHEDULED FOR SHOWCA	USE HEARING	3				TMG TMG
OPPED HO CHOIL CO	07172	24 1000A	WEBER,	KARL A.,	P-55335	
ORDER TO SHOW CAUSE	GENERATED-U	JPDATED S	HOWCAUS	E FLAG	- 70000	TMG
YOU ARE ORDERED TO S	RENTA	AL CODE				TMG
SHOULD NOT BE HELD I	N CIVII. COM	VHY YOU				TMG
COURT	CIVIII COI	ALEMPI OF				TMG
DEFENDANT HAS FAILED	TO:					TMG
DEFENDANT IS TO SHOW	CAUSE FOR	FAILURE	TO			TMG TMG
PAY/CSW IN THE AMOUN	TO T					TMG
\$1248 **#42.04**. PA	YMENT MUST	BE W/ CA	SH,			TMG
MONEY ORDER OR DEBIT CREDIT CARD. PAYMENT	AND DE MAN		_			TMG
E.COURTS.MICHIGAN.GO	A LE CAN BE MAT	E ONLINE	@			TMG
YOUR DRIVER LICENSE	IS SUSPENDE	ידע איד מי	τ.			TMG
REMAIN SO UNTIL PAID	IN FULL.	D II WILL	L)			TMG
06/27/24	1					TMG
MISCELLANEOUS ACTION						TMG
REMOVED FROM DOCKET	07172	4 1000A	WEBER,	KARL A.,	P-55335	TMG
SCHEDULED FOR SHOWCA			7733703 0			TMG
07/19/24	0/1/2	4 1000A	KANGAS	,ROGER W.,	P-40816	TMG
01 BENCH WARRANT ISSUED	RENTA	L CODE				TMG
CONTEMPT/FAIL TO APP	EAR					TMG
DEFENDANT FAILED TO	APPEAR FOR	07/17/24				TMG
SHOW CAUSE HEARING OF	R PAY/CSW.	BALANCE	_			TMG
DUE IS \$1248 **42.004 MARQUETTE COUNTY PICT	K LLD F CONTEMB	T OF COUR	RT.			TMG
\$1248 CASH BOND	COF.					TMG
MOTION, AFFIDAVIT & 1	BENCH WARRA	NT GENERA	TED			TMG TMG
	RENTA	L CODE				TMG
07/24/24						
BW TO MCSO 08/19/24						TMG
01 14 DAY NOTICE GENERAL	EED BENTA.	L CODE				
10/31/24	LED KENIA	d CODE				
01 MONETARY TRANSACTION	RENTA	L CODE				JLV
PAYMENT				\$1,248.00	D189264	JLV
CASH TENDERED						\mathtt{JLV}
11/01/24 MISCELLANEOUS ACTION	ATT C	NI ENTITIC				
BENCH WARRANT RETURNS	ALL CO	NOW I.S				JLV
MISCELLANEOUS ACTION	ALL CO	DUNTS				JLV JLV
CASE CLOSED						JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGI	STER OF	ACTIO	ns	X-REFE	0: 23477 RENCE #: : CLSD	5596	D01 ON 01/24
		JUDGI	OF RI	CORD.				
CITY OF MARQUETTE V		I		JUDGE:				
MORRISON/CHARLES/W 308 S FIFTH ST						CTN: TCN: SID:		
MARQUETTE MI	49855				FFENSE	DATE: 11 DATE: 10		
				= -	ARREST			
DOB: ######## SEX:	PACE.		ICLE T		ипипппп	VPN:		
VEH YR: VEH MAR	Œ:	VIN	/: #### [•	######	######	PAPER P	T ATP.	
OFFICER: GARDNER/BEN PROSECUTOR:				DEPT:	CITY	OF MARQUE	TTE	
VICTIM/DESC:		31		VENUE	: CITY	OF MARQU	ETTE	
CNT: 01 C/M/F: C 42.04 RENTAL CODE VIO-CITY OF ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 11/20/ FINE COST ST.	DISE	PLEA: POSITION			/23	12.04 PLEA DAT		FOT DUE
FINE COST ST. 150.00 68.00 1	.0 00	0.00	0.	00	0.00	228.		0.00
JAIL SENTENCE: VEH IMMOB START DATE:		₽R	OBATIO	N:		VEH FO	RFEITUI	RE:
DATE	ACI	IONS, J	UDGMEN	TS, CAS	SE NOTE	SS		INITIALS
10/09/23								
10/09/23 01 ORIGINAL CHARGE 11/02/23		RENTAL	CODE					КМН
FILING DATE		110223						KMH
01 DUE DATE		111323				1		KMH
FAILURE TO COMPLETE SEC. 23-49	A COM	PLIANCE	INSPE	CTION				KMH
FILE TO MAG TO ASSI	GN F&C							KMH KMH
MISCELLANEOUS ACTION SUPPLEMENTAL SENTEN FINES AND COSTS 1ST VIOLATION		ALL CO	UNTS			\$160.00		JLH JLH JLH JLH
ORDINANCE FINE & CO STATE COSTS - NON-T 11/20/23		CIVIL :	INFRAC'	TION		\$150.00 \$10.00		JLH JLH
11/20/23 01 DEFAULT JUDGMENT GE	NERATE	D						
PENALTY ADDED-ORDIN		RENTAL				\$30.00		
	1							

2

JLV

JLV

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JLV

\$228.00 D189266

DATE ACTIONS, JUDGMENTS, CASE NOTES INITIALS 12/18/23 01 14 DAY NOTICE GENERATED RENTAL CODE 01/16/24 20% LATE PENALTY 01 RENTAL CODE \$38.00 01/18/24 MISCELLANEOUS ACTION 01 RENTAL CODE TMG SCHEDULED FOR SHOWCAUSE HEARING TMG 020824 1000A WEBER, KARL A., P-55335 ORDER TO SHOW CAUSE GENERATED-UPDATED SHOWCAUSE FLAG TMG TMG RENTAL CODE TMG YOU ARE ORDERED TO SHOW CAUSE WHY YOU TMG SHOULD NOT BE HELD IN CIVIL CONTEMPT OF TMG COURT TMG DEFENDANT HAS FAILED TO: TMG DEFENDANT IS TO SHOW CAUSE FOR FAILURE TO TMG PAY/CSW IN THE AMOUNT OF **TMG** \$228 **ORD#42.04**. PAYMENT CAN BE MADE TMG WITH CASH, MONEY ORDER OR WITH TMG DEBIT/CREDIT CARD ON LINE AT E.COURTS. **TMG** MICHIGAN.GOV. IF YOUR DRIVER'S **TMG** LICENSE IS SUSPENDED, IT WILL REMAIN SO TMG UNTIL PAID IN FULL. **TMG** 02/12/24 BENCH WARRANT ISSUED RENTAL CODE TMG CONTEMPT/FAIL TO APPEAR TMG DEFENDANT FAILED TO APPEAR FOR 2/8/24 SHOW TMG CAUSE HEARING OR PAY/CSW. BALANCE TMG DUE IS \$228 **ORD#42 04** CONTEMPT OF **TMG** COURT. MARQUETTE COUNTY PICK UP. TMG \$228 CASH BOND. **TMG** BW TO KAW FOR SIGNATURE. TMG 02/20/24 BW TO MCSD TMG 03/12/24 01 14 DAY NOTICE GENERATED RENTAL CODE 10/31/24

RENTAL CODE

ALL COUNTS

ALL COUNTS

MONETARY TRANSACTION

MISCELLANEOUS ACTION

MISCELLANEOUS ACTION

BENCH WARRANT RETURNED

PAYMENT

11/01/24

CASH TENDERED

CASE CLOSED

STATE OF MICHIGAN				CACE NO	0470550	n like etc.
96TH JUDICIAL DISTRICT	REGI	STER OF ACTIO	ONS	CASE NO	2410560	N DOI ON
ORI520025J	12 =			STATUS:	CLSD	11/01/24
		JUDGE OF F	PCOPD		18	
		OCEOH OF I	JUDGE:			
CITY OF MARQUETTE v			CODULI.			
MORRISON/CHARLES/WII	T.T.AM				CTN:	
308 S FIFTH ST	1.73.71				TCN:	
MARQUETTE MI	49855			PMTDV	SID: DATE: 03/1	F /04
				SPERME	DATE: 03/1 DATE: 03/1	5/24 1/24
			`	ARREST		1/24
	İ	VEHICLE	TYPE:		VPN:	
DOB: ######## SEX:	RACE:	: DLN: ###				
VEH YR: VEH MAK	Œ:	VIN:			PAPER PLA	re:
OFFICER: GARDNER/BEN			DEPT:	CITY O	F MARQUETT	E
PROSECUTOR:						
VICTIM/DESC: 3RD VIOLATI	ON		VENUE	E: CITY	OF MARQUET	TE .
CNT: 01 C/M/F: C 42.04				ORD#4	2 04	21
RENTAL CODE VIO-CITY OF	MAROUE	टानगर		ORD#4	2.04	
ARRAIGNMENT DATE:		PI.EA •			PLEA DATE:	
FINDINGS: DEFAULT JGMT	DISE	OSITION DATE	: 04/01	/24	THEA DAIL:	
SENTENCING DATE: 04/01/	24					
FINE COST ST.	COST	CON M	ISC.	REST	TOT FINE	TOT DUE
500.00 138.00 1	0.00			0.00	648.00	
JAIL SENTENCE:		PROBATI				
VEH IMMOB START DATE:		NUMBER	OF DAYS		VEH FORFE	EITURE:
DATE	ACT	IONS, JUDGMK	NTS, CA	SE NOTE:	S	INITIALS
03/11/24						
01 ORIGINAL CHARGE		RENTAL CODE				
03/15/24		RENIAL CODE				TMG
FILING DATE		031524				TMG
01 DUE DATE		032724				TMG
FAILURE TO RENEW/RE	CÉRTIF		PERTY			TMG
FILE TO MAG TO ASSI						TMG
03/18/24	İ					2000
MISCELLANEOUS ACTION		ALL COUNTS			•	JLH
SUPPLEMENTAL SENTEN	1			Ş	510.00	JLH
ASSESSING FINES AND	COSTS	•				JLH
3RD VIOLATION						JLH
ORDINANCE FINE & CO	I			\$	500.00	JLH
STATE COSTS - NON-TI	RAFFIC	CIVIL INFRAC	CTION		\$10.00	JLH
04/01/24		_				

RENTAL CODE

\$30.00

 $\mathbf{T}\mathbf{M}\mathbf{G}$

TMG

TMG

01 DEFAULT JUDGMENT GENERATED

PREVIOUS ADDRESS:

MARQUETTE, MI

PENALTY ADDED-ORDINANCE RENTAL CODE

308 S FIFTH ST APT 49855

CASE NO: 2410560N

DATE					11102	4
DATE	ACTIONS,	JUDGMENT	rs,	CASE NOTES	I	NITIALS
04/29/24						
01 14 DAY NOTICE GENERA	TED RENT	AL CODE				
05/28/24						
01 20% LATE PENALTY 06/12/24	RENT	'AL CODE		\$108.00)	
01 MISCELLANEOUS ACTION	T DENT	AT CODE				
SCHEDULED FOR SHOWCA	USE HEARTN	AL CODE				TMG
	0717	24 10002	WE	BER, KARL A.,	P-5533	TMG
ORDER TO SHOW CAUSE	GENERATED-	UPDATED S	HOW	CAUSE FLAG	F-5555	5 TMG TMG
	RENT	AL CODE				TMG
YOU ARE ORDERED TO S SHOULD NOT BE HELD I	N CIVIL CO	MHX XOU	,			TMG
COURT		NIEMPI OF	ı			TMG
DEFENDANT HAS FAILED	TO:					TMG TMG
DEFENDANT IS TO SHOW	CAUSE FOR	FAILURE	TO			TMG
PAY/CSW IN THE AMOUN	T OF	(TMG
\$648 **#42.04**. PAY MONEY ORDER OR DEBIT	MENT MUST	BE W/ CAS	H,			TMG
CREDIT CARD. PAYMENT	CAN BE MAI	DE ONLINE	@			TMG
E.COURTS.MICHIGAN.GO	V. IF					TMG TMG
YOUR DRIVER LICENSE	IS SUSPEND	ED IT WIL	L			TMG
REMAIN SO UNTIL PAID 06/27/24	IN FULL.					TMG
MISCELLANEOUS ACTION	AT.T.	COUNTS				
REMOVED FROM DOCKET	07172	24 1000A	WEI	BER, KARL A.,	P-55335	TMG TMG
SCHEDULED FOR SHOWCA	USE HEARING	3			F-33333	TMG
07/19/24	07172	24 1000A	KAI	NGAS, ROGER W.,	P-40816	
01 BENCH WARRANT ISSUED	PENTZ	AL CODE				
CONTEMPT/FAIL TO APP	ĖAR					TMG
DEFENDANT FAILED TO	APPEAR FOR	07/17/24				TMG TMG
SHOW CAUSE HEARING OF	R PAY/CSW.	BALANCE				TMG
DUE IS \$648 **42.04** MARQUETTE COUNTY PICE	K LID V CONTEMBL	OF COURT.	•			TMG
\$648 CASH BOND						TMG TMG
07/24/24						TMG
BW TO MCSO	Ï					TMG
08/19/24 01 14 DAY NOTICE GENERAL	PETO DENTITA	I CODE				
10/31/24	ED KENIA	L CODE				
01 MONETARY TRANSACTION	RENTA	L CODE				JLV
PAYMENT				\$648.00	D189263	
CASH TENDERED 11/01/24						JLV
MISCELLANEOUS ACTION	AT.T.	OUNTS				T T 17
BENCH WARRANT RETURNS		CONTO				JLV JLV
MISCELLANEOUS ACTION	ALL C	OUNTS				JLV
CASE CLOSED						JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGI	STER OF	ACTIONS	CASE NO: 241059 X-REFERENCE #: STATUS: CLSD	5501
		JUDGE	OF RECOR	D:	
COUNTY/STATE v			JUDG		
MORRISON/CHARLES/WI 308 S FIFTH ST	LLIAM			CTN: TCN: SID:	
MARQUETTE MI	49855			ENTRY DATE: 03/ OFFENSE DATE: 03/	15/24 11/24
				ARREST DATE:	
DOB: ######## SEX:	RACE		ICLE TYPE:		
VEH YR: VEH MAI		VIN:	* #######	####### CDL:	3 COE
OFFICER: GARDNER/BEN		0 1.14		PAPER PL PT: CITY OF MARQUET	
PROSECUTOR: VICTIM/DESC: 2ND VIOLAT:	TOM			UE: COUNTY/STATE	1.5
CATE OF CAMPE C 40 04	35				
CNT: 01 C/M/F: C 42.04 RENTAL CODE VIO-CITY OF	MADOTT			ORD#42.04	
ARRAIGNMENT DATE:	MARQUI	PLEA:			
FINDINGS: DEFAULT JGMT	DTSI		DATE: 04/	PLEA DATE	:
SENTENCING DATE: 04/01/	/24	COLLICIA	DAIE: U4/	01/24	
FINE COST ST	COST	CON	MISC.	REST TOT FIN	E TOT DUE
1000.00 238.00 1	10100	0.00	0.00	0.00 1248.0	0 0.00
JAIL SENTENCE:			BATION:		
VEH IMMOB START DATE:				YS: VEH FOR	FEITURE:
DATE	ACI	TIONS, JU	DEMENTS,	CASE NOTES	INITIALS
03/11/24					
01 ORIGINAL CHARGE	11	RENTAL	CODE		TMG
03/15/24					1143
FILING DATE		031524			TMG
01 DUE DATE		032724			TMG
OVERCAPACITY OF UNC					TMG
03/18/24	GIV F&C				TMG
MISCELLANEOUS ACTIO	N	ALL COU	איזיפ		JLH
SUPPLEMENTAL SENTEN		2200	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	\$1,010.00	JLH
ASSESSING FINES AND	dosts	ł		42,32310	JLH
2ND VIOLATION	**				JLH
ORDINANCE FINE & CO				\$1,000.00	JLH
STATE COSTS - NON-T 04/01/24	RAFFIC	GIAIT II	NFRACTION	\$10.00	JLH
01 DEFAULT JUDGMENT GE	 NEDATE	ח			
or particul condumit GE	- TEICHTE	RENTAL (CODE		
PENALTY ADDED-ORDIN	ANCE	RENTAL (\$30.00	
			CODE	400.00	
04/29/24 01			CODE	750.00	

CASE NO: 2410550N

PAGE

DATE	ACTIONS THE		IAGE 2	j St
	ACTIONS, JUDGMENTS	CASE NOTES	INI	TIALS
05/28/24				
01 20% LATE PENALTY	RENTAL CODE	\$208.00		
06/12/24		\$206.00)	
01 MISCELLANEOUS ACTION	RENTAL CODE			FF (C)
SCHEDULED FOR SHOWCA	USE HEARING			TMG TMG
ADDED TO STATE	071724 1000A	WEBER, KARL A.,	P-55335	TMG
ORDER TO SHOW CAUSE	GENERATED-UPDATED SH	OWCAUSE FLAG	1-55555	TMG
	RENTAL CODE			TMG
YOU ARE ORDERED TO S	HOW CAUSE WHY YOU			TMG
SHOULD NOT BE HELD I	N CIVIL CONTEMPT OF			TMG
DEFENDANT HAS FAILED	TIO.			TMG
DEFENDANT IS TO SHOW	CAUSE FOR FAILURE T	-		TMG
PAY/CSW IN THE AMOUN	T OF FOR FAILURE T	0		TMG
\$1248 **#42 04** PA	YMENT MUST BE W/ CAS	**		TMG
MONEY ORDER OR DEBIT	V CAS	н,		TMG
CREDIT CARD. PAYMENT	CAN BE MADE ONLINE	0		TMG
E.COURTS.MICHIGAN.GO	V. TF			TMG
YOUR DRIVER LICENSE	IS SUSPENDED IT WILL.			TMG
REMAIN SO UNTIL PAID	IN FULL.			TMG TMG
06/27/24				TMG
MISCELLANEOUS ACTION				TMG
REMOVED FROM DOCKET	071724 1000A	WEBER, KARL A.,	P-55335	TMG
SCHEDULED FOR SHOWCA				TMG
07/19/24	071724 1000A	KANGAS, ROGER W.,	P-40816	TMG
01 BENCH WARRANT ISSUED	RENTAL CODE			
CONTEMPT/FAIL TO APP	EAR KENTAL CODE			TMG
DEFENDANT FAILED TO	PPEAR FOR 07/17/24			TMG
SHOW CAUSE HEARING OF	R PAY/CSW. BALANCE			TMG
DUE IS \$1248 **42.04	** CONTEMPT OF COURT			TMG
MARQUETTE COUNTY PIC	K UP.			TMG TMG
\$1248 CASH BOND	14			TMG
07/24/24				11.0
BW TO MCSO 08/19/24				TMG
01 14 DAY NOTICE GENERAT				
10/31/24	ED RENTAL CODE			
01 MONETARY TRANSACTION	RENTAL CODE			
PAYMENT	RENTAL CODE	\$1 248 00	D100000	JLV
CASH TENDERED		\$1,248.00	D189262	JLV
11/01/24				JLV
MISCELLANEOUS ACTION	ALL COUNTS			JLV
BENCH WARRANT RETURNS	D			JLV
MISCELLANEOUS ACTION	ALL COUNTS			JLV
CASE CLOSED				JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	7. 10000	
	JUDGE OF REC	OPD:	
		DGE:	
CITY OF MARQUETTE v		DOE .	
MORRISON/CHARLES/WII 308 S 5TH ST MARQUETTE MI	49855	CTN: TCN: SID: ENTRY DATE: 06/26/24 OFFENSE DATE: 06/26/24 ARREST DATE:	900 A
DOB: ######## SEX:	VEHICLE TY		
VEH YR: VEH MAK		######### CDL:	
OFFICER: PAUPORE, ERIC		PAPER PLATE: DEPT: CITY OF MARQUETTE	11-7
PROSECUTOR:	-	DEFT: CITY OF MARQUETTE	
VICTIM/DESC: 11TH VIOLAT	ION	VENUE: CITY OF MARQUETTE	
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE		ORD#301.8	
ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 07/15/	24		
FINE COST ST. 500.00 138.00 1			TOT DUE
JAIL SENTENCE:	0.00 0.00 0.00		0.00
VEH IMMOB START DATE:	PROBATION:	DAYS: VEH FORFEITUR	
	TOTAL OF	DAIS: VER FORFEITOR	KE:
DATE	ACTIONS, JUDGMENTS	, CASE NOTES	INITIALS
06/26/24	10		
FILING DATE	062624		TDMC
01 ORIGINAL CHARGE	PROPERTY		TMC TMC
DUE DATE	071024		TMG
FILE TO MAG TO ASSIC	FINES & COSTS.		TMG
06/28/24 MISCELLANEOUS ACTION	ALL COUNTS		
SUPPLEMENTAL SENTENCE		\$510.00	FM
	RAFFIC CIVIL INFRACTI	ON \$10.00	FM
ORDINANCE FINE & COS	STS	\$500.00	FM FM
7/15/24		7300.00	FIL
01 DEFAULT JUDGMENT GEN	E.		
PENALTY ADDED-ORDINA	PROPERTY	422.22	
08/12/24	NCE PROPERTY	\$30.00	
01 14 DAY NOTICE GENERA	ATED PROPERTY		
9/09/24			
01 20% LATE PENALTY 09/25/24	PROPERTY	\$108.00	
01 MISCELLANEOUS ACTION	PROPERTY		TLM
SCHEDULED FOR SHOWCA			TLM
		WEBER, KARL A., P-5533	
ORDER TO SHOW CAUSE	GENERATED-UPDATED SHO		TLM
	PROPERTY		TLM
YOU ARE ORDERED TO S	HOW CAUSE WHY YOU		TLM

CASE NO: 2423530N

DATE	ACTIONS, JUDGMENTS,	CACE NOTES	
00/05/5	Joseph Mario,	CADE NOIES	INITIALS
09/25/24			
01 SHOULD NOT BE HELD]	N CIVIL CONTEMPT OF		TLM
COURT			TLM
DEFENDANT HAS FAILED	TO:		TLM
DEFENDANT IS TO SHOW	CAUSE FOR FAILURE TO		TLM
PAY FINES AND COSTS	IN THE		TLM
AMOUNT OF \$648. **PA	CC 301.8** PAYMENTS		TLM
CAN BE MADE WITH CAS	Н,		TLM
MONEY ORDER, OR ON-I	INE AT: E.COURTS.		TLM
MICHIGAN.GOV. IF YOU	R DRIVER'S		TLM
LICENSE IS SUSPENDED	IT WILL REMAIN		TLM
SUSPENDED UNTIL PAID	IN FULL.		TLM
09/30/24			
SHOW CAUSE MAILED TO	THE DEFENDANT		TLM
10/24/24 01 BENCH WARRANT TOOLER			
of percet Marcant 1990ED	PROPERTY		MS
CONTEMPT/FAIL TO APP	EAR		MS
DEFENDANT FAILED TO	APPEAR FOR 10/24/24		MS
SHOW CAUSE HEARING O	R PAY/CSW. BALANCE		MS
DUE IS \$648 **301.8*	CONTEMPT OF COURT.		MS
MARQUETTE COUNTY PIC \$648 CASH BOND	K UP.		MS
BW TO JUDGE FOR SIGN	7 (277)		MS
10/31/24	ATUR <u>E</u>		MS
01 MONETARY TRANSACTION	PRADED TO		
PAYMENT	PROPERTY		JĽV
CASH TENDERED		\$648.00	D189258 JLV
11/01/24			JLV
MISCELLANEOUS ACTION	ATT COINTE		
BENCH WARRANT RETURN			JLV
MISCELLANEOUS ACTION			JLV
CASE CLOSED	ALL COUNTS		JLV
			JLV

	<u> </u>	
STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 2423520N D01 ON X-REFERENCE #: 10052 STATUS: CLSD 11/01/24
	JUDGE OF RECORD	1
CITY OF MARQUETTE v	JUDGE	
MORRISON/CHARLES/WILL 308 S 5TH ST MARQUETTE MI 4 DOB: ######### SEX: M VEH YR: VEH MAKE	9855 VEHICLE TYPE: RACE: U DLN: ####################################	CTN:
OFFICER: PAUPORE, ERIC PROSECUTOR:	DEP	I: CITY OF MARQUETTE
VICTIM/DESC: 2ND VIOLATIO	N VENU	JE: CITY OF MARQUETTE
CNT: 01 C/M/F: C 2616 PROHIBITED ACCUMULATIONS		ORD#26.16
ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 07/15/2	4	
FINE COST ST.CO 100.00 58.00 10 JAIL SENTENCE:	OST CON MISC. 00 0.00 0.00 PROBATION:	REST TOT FINE TOT DUE 0.00 168.00 0.00
VEH IMMOB START DATE:		YS: VEH FORFEITURE:
DATE	ACTIONS, JUDGMENTS, C	CASE NOTES INITIALS
06/26/24		ST. IN MILE TO THE
FILING DATE		
01 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN	062624 PROH ACCUMUL 071024 FINES & COSTS	TMG TMG TMG TMG
01 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS	TMG TMG TMG FM
01 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE STATE COSTS - NON-TRA ORDINANCE FINE & COST	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ENG FFIC CIVIL INFRACTION	TMG TMG TMG
01 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY STATE COSTS - NON-TRA	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ING FFIC CIVIL INFRACTION S ERATED	TMG TMG TMG FM \$110.00 FM \$10.00 FM
O1 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY STATE COSTS - NON-TRA ORDINANCE FINE & COST 07/15/24 O1 DEFAULT JUDGMENT GENE PENALTY ADDED-ORDINAN	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ENG FFIC CIVIL INFRACTION ES ERATED PROH ACCUMUL	TMG TMG TMG FM \$110.00 FM \$10.00 FM
O1 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY STATE COSTS - NON-TRA ORDINANCE FINE & COST 07/15/24 O1 DEFAULT JUDGMENT GENE PENALTY ADDED-ORDINAN 08/12/24 O1 14 DAY NOTICE GENERAT	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ING AFFIC CIVIL INFRACTION IS ERATED PROH ACCUMUL INFRACTION PROH ACCUMUL	TMG TMG TMG FM \$110.00 FM \$10.00 FM \$100.00 FM
O1 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE STATE COSTS - NON-TRA ORDINANCE FINE & COST 07/15/24 O1 DEFAULT JUDGMENT GENE PENALTY ADDED-ORDINAN 08/12/24 O1 14 DAY NOTICE GENERAT 09/09/24 O1 20% LATE PENALTY	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ING EFFIC CIVIL INFRACTION ES ERATED PROH ACCUMUL ING PROH ACCUMUL	TMG TMG TMG FM \$110.00 FM \$10.00 FM \$100.00 FM
01 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY STATE COSTS - NON-TRA ORDINANCE FINE & COST 07/15/24 01 DEFAULT JUDGMENT GENE PENALTY ADDED-ORDINAN 08/12/24 01 14 DAY NOTICE GENERAT 09/09/24	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ING AFFIC CIVIL INFRACTION IS ERATED PROH ACCUMUL INTERMED PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL ISE HEARING	TMG TMG TMG TMG \$110.00 FM \$100.00 FM \$100.00 FM \$100.00 FM TLM TLM
O1 ORIGINAL CHARGE DUE DATE FILE TO MAG TO ASSIGN 06/28/24 MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY STATE COSTS - NON-TRA ORDINANCE FINE & COST 07/15/24 O1 DEFAULT JUDGMENT GENE PENALTY ADDED-ORDINAN 08/12/24 O1 14 DAY NOTICE GENERAT 09/09/24 O1 20% LATE PENALTY 09/25/24 O1 MISCELLANEOUS ACTION SCHEDULED FOR SHOWCAU	PROH ACCUMUL 071024 FINES & COSTS ALL COUNTS ING FFIC CIVIL INFRACTION IS ERATED PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL PROH ACCUMUL SE HEARING 102424 1000A WEBS ENERATED-UPDATED SHOWCO	TMG TMG TMG TMG \$110.00

CASE NO: 242352ON PAGE

DATE	ACTIONS,	JUDGMENTS,	CASE NOT	'RC	Thr	TMTATO
00/25/24			CLEDE NOI	III)	<u> </u>	ITIALS
09/25/24 01 SHOULD NOT BE HELD :						
SHOPEN HOT DE HELD.	IN CIAIT CO	NTEMPT OF				TLM
COURT	_					TLM
DEFENDANT HAS FAILED	O TO:					TLM
DEFENDANT IS TO SHOW	V CAUSE FOR	FAILURE TO				TLM
PAY FINES AND COSTS	IN THE					TLM
AMOUNT OF \$168. **P	ACC 2616**	PAYMENTS CA	ΔN			TLM
BE MADE WITH CASH,						TLM
MONEY ORDER, OR ON-I	INE AT: E.	COURTS.				TLM
MICHIGAN GOV. IF YOU	DR DRIVER'S					TLM
LICENSE IS SUSPENDED); IT WILL I	REMAIN				TLM
SUSPENDED UNTIL PAIR 09/30/24	IN FULL.					TLM
•	 					
SHOW CAUSE MAILED TO 10/24/24	THE DEFENI	DANT				TLM
01 BENCH WARRANT ISSUEI	DDO	3.00				
CONTEMPT/FAIL TO APE	PROH	ACCUMUL				MS
DEFENDANT FAILED TO	ADDEAD HOD	20/04/04				MS
SHOW CAUSE HEARING C	APPEAR FUR	10/24/24				MS
DUE IS \$168 **2616**	A PAI/CSW.	BALANCE				MS
MARQUETTE COUNTY PIC	CONTEMBL (of Court.				MS
\$168 CASH BOND	A OP.					MS
BW TO JUDGE FOR SIGN	 ATTTDE					MS
10/31/24	ATORE					MS
01 MONETARY TRANSACTION	ם שרעם	ACCUMUL				
PAYMENT	FROR	ACCOMOL		43.50		JLV
CASH TENDERED				\$168.00	D189260	JLV
11/01/24						JLV
MISCELLANEOUS ACTION	ALL C	י∩נוווידים				
BENCH WARRANT RETURN		.001115				JLV
MISCELLANEOUS ACTION		OINTS				ĴΓΛ
CASE CLOSED						JLV
						JLV

STATE OF MICHIGAN			
96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 2421640N D01 X-REFERENCE #: 10050 STATUS: CLSD 11/01/2	
	JUDGE OF REC	YORD	
		DDGE:	
CITY OF MARQUETTE V		DGE .	
		CTN:	
MORRISON/CHARLES/WII	LIAM	TCN:	
308 S FIFTH ST		SID:	
MARQUETTE MI	49855	ENTRY DATE: 06/06/24	
		OFFENSE DATE: 06/05/24 120	0 PI
		ARREST DATE:	
	VEHICLE TY	PE: VPN:	
DOB: ######## SEX:		########## CDL:	
VEH YR: VEH MAK		PAPER PLATE:	
OFFICER: PAUPORE, ERIC PROSECUTOR:		DEPT: CITY OF MARQUETTE	
VICTIM/DESC: 1ST VIOLATI	ON	VENUE: CITY OF MARQUETTE	
CNT: 01 C/M/F: C 2616 PROHIBITED ACCUMULATIONS		ORD#26.16	
ARRAIGNMENT DATE:	PLEA:	PLEA DATE:	
FINDINGS: DEFAULT JGMT	DISPOSITION DATE:	06/24/24	
SENTENCING DATE: 06/24/			
50.00 48.00 1	COST CON MIS		
JAIL SENTENCE:			.00
VEH IMMOB START DATE:	1	DAYS: VEH FORFEITURE:	
DATE			
DAIB	ACTIONS, JUDGMENT	S, CASE NOTES INITI	LALS
06/05/24	I		
01 ORIGINAL CHARGE	PROH ACCUMUL		
06/06/24	FROM ACCOMUL		
			TMG
	060624		
FILING DATE 01 DUE DATE	060624 061924		TMG
FILING DATE 01 DUE DATE	061924		TMG
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIG	061924 IN F&C.		TMG TMG
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGNMISCELLANEOUS ACTION	061924 IN F&C. I ALL COUNTS		TMG TMG TMG JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIG	061924 EN F&C. N ALL COUNTS CING	\$60.00	TMG TMG TMG JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE	061924 EN F&C. N ALL COUNTS CING	\$60.00	TMG TMG TMG JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS	061924 IN F&C. I ALL COUNTS CING COSTS	\$60.00 \$50.00	TMG TMG TMG JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COSTATE COSTS - NON-TR	061924 EN F&C. ALL COUNTS CING COSTS	\$60.00 \$50.00	TMG TMG TMG JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-TR	061924 IN F&C. N ALL COUNTS CING COSTS STS RAFFIC CIVIL INFRACTI	\$60.00 \$50.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-TR	061924 IN F&C. N ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI	\$60.00 \$50.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COSTATE COSTS - NON-TRACE OF THE SENTENCE ASSESSING FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTS - NON-TRACE FINE & COSTATE COSTATE COSTATE FINE & COSTATE COSTATE FINE & COSTA	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI WERATED PROH ACCUMUL	\$60.00 \$50.00 \$10.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-THE 6/24/24 01 DEFAULT JUDGMENT GENTE OF THE ACT OF THE A	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI WERATED PROH ACCUMUL	\$60.00 \$50.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-THE 6/24/24 01 DEFAULT JUDGMENT GENTE PENALTY ADDED-ORDINA 7/22/24	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI BERATED PROH ACCUMUL NCE PROH ACCUMUL	\$60.00 \$50.00 \$10.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-THE 6/24/24 01 DEFAULT JUDGMENT GENTE PENALTY ADDED-ORDINATE 7/22/24 01 14 DAY NOTICE GENERAL	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI BERATED PROH ACCUMUL NCE PROH ACCUMUL	\$60.00 \$50.00 \$10.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-TE 06/24/24 01 DEFAULT JUDGMENT GEN PENALTY ADDED-ORDINA 07/22/24 01 14 DAY NOTICE GENERA 08/19/24	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI VERATED PROH ACCUMUL ANCE PROH ACCUMUL ATED PROH ACCUMUL	\$60.00 \$50.00 \$10.00 \$30.00	TMG TMG JLH JLH JLH JLH JLH
FILING DATE 01 DUE DATE FILE TO MAG TO ASSIC MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCY ASSESSING FINES AND 1ST VIOLATION ORDINANCE FINE & COS STATE COSTS - NON-THE DEFAULT JUDGMENT GENTAL PENALTY ADDED-ORDINAL O7/22/24 01 14 DAY NOTICE GENERAL	061924 EN F&C. ALL COUNTS CING COSTS EAFFIC CIVIL INFRACTI BERATED PROH ACCUMUL NCE PROH ACCUMUL	\$60.00 \$50.00 \$10.00	TMG TMG JLH JLH JLH JLH JLH

CASE NO: 2421640N

DATE	ACTIONS, JUDGMENTS, CASE NOTES		
00/00/00	CASE NOTES	INI	TIALS
09/25/24			
01 MISCELLANEOUS ACTION	PROH ACCUMUL		TLM
SCHEDULED FOR SHOWCA			TLM
ODDED TO GUOVE GRAVE	102424 1000A WEBER, KARL A.,	P-55335	TLM
ORDER TO SHOW CAUSE	GENERATED-UPDATED SHOWCAUSE FLAG		TLM
VOIL ADE OPDEDED TO	PROH ACCUMUL		TLM
YOU ARE ORDERED TO S SHOULD NOT BE HELD I	HOW CAUSE WHY YOU		TLM
COURT	N CIVIL CONTEMBL OF		TLM
DEFENDANT HAS FAILED	TO.		TLM
DEFENDANT IS TO SHOW	CAUSE FOR FAILURE TO		TLM
PAY FINES AND COSTS	TN THE		TLM
AMOUNT OF \$108. **PA	CC 2616** PAYMENTS CAN		TLM
BE MADE WITH CASH,	TAINBNIS CAN		TLM
MONEY ORDER, OR ON-I	INE AT: E.COURTS		TLM
MICHIGAN.GOV, IF YOU	R DRIVER'S		TLM TLM
LICENSE IS SUSPENDED	IT WILL REMAIN		TLM
SUSPENDED UNTIL PAID	IN FULL.		TLM
09/30/24			T 1111
SHOW CAUSE MAILED TO 10/24/24	THE DEFENDANT		TLM
01 BENCH WARRANT ISSUED CONTEMPT/FAIL TO APP	PROH ACCUMUL		MS
DEFENDANT FAILED TO	EAK		MS
SHOW CAUSE HEARING O	P DAY/COM DAI AND		MS
DUE IS \$108 **2616**	CONTEMPT OF COURT		MS
MARQUETTE COUNTY PIC	CONTEMPT OF COURT.		MS
\$108 CASH BOND			MS
BW TO JUDGE FOR SIGN	ATURE		MS
10/31/24			MS
01 MONETARY TRANSACTION	PROH ACCUMUL		JLV
PAYMENT		D189261	JLV
CASH TENDERED	,		JLV
11/01/24			
MISCELLANEOUS ACTION			JLV
BENCH WARRANT RETURNS	ī —		JĻV
MISCELLANEOUS ACTION CASE CLOSED	ALL COUNTS		JLV
CADE CHOSED			\mathtt{JLV}

96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 2421630N D01 ON X-REFERENCE #: 10049 STATUS: CLSD 11/01/24
	JUDGE OF RECOR	ID:
	JUDG	
CITY OF MARQUETTE V		
		CTN:
MORRISON/CHARLES/WILLI	CAM	TCN:
308 S FIFTH ST		SID:
MARQUETTE MI 49	855	ENTRY DATE: 06/06/24
		OFFENSE DATE: 06/05/24 1200 PM
	VEHICLE TYPE	ARREST DATE:
DOB: ######## SEX: R	ACE. DIN. #######	: VPN:
VEH YR: VEH MAKE:	VIN:	PAPER PLATE:
OFFICER: PAUPORE, ERIC		PT: CITY OF MARQUETTE
PROSECUTOR:		
VICTIM/DESC: 10TH VIOLATIO	N VE	NUE: CITY OF MARQUETTE
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE		ORD#301.8
ARRAIGNMENT DATE:	PLEA:	PLEA DATE:
FINDINGS: DEFAULT JGMT	DISPOSITION DATE: 06	/o. /o.
	- TOT OBTITON DATE: OU	/24/24
SENTENCING DATE: 06/24/24		
SENTENCING DATE: 06/24/24 FINE COST ST.CO	ST CON MISC.	PEST TOT PINE TOT DIE
FINE COST ST.CO: 500.00 176.00 200.00	ST CON MISC.	PEST TOT PINE TOT DIE
FINE COST ST.CO: 500.00 176.00 200.00	ST CON MISC. 00 0.00 0.00 PROBATION:	REST TOT FINE TOT DUE 0.00 876.00 0.00
FINE COST ST.CO	ST CON MISC. 00 0.00 0.00 PROBATION:	PEST TOT PINE TOT DIE
FINE COST ST.CO: 500.00 176.00 200.00	ST CON MISC. 00 0.00 0.00 PROBATION:	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE:
SENTENCING DATE: 06/24/24 FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE:
FINE COST ST.COST ST.C	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS
FINE COST ST.CO: 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE:
FINE COST ST.COST ST.C	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG
SENTENCING DATE: 06/24/24 FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS
FINE COST ST.CO: 500.00 176.00 200 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C.	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG
FINE COST ST.CO: 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: TMG TMG TMG JLH
FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH
FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: TMG TMG TMG TMG TMG TMG TMG TMG TMG TM
FINE COST ST.CO. 500.00 176.00 200. JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO.	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG TMG JLH \$700.00 JLH JLH
FINE COST ST.CO. 500.00 176.00 200. JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO. 10TH VIOLATION ORDINANCE FINE & COSTS	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH JLH JLH \$500.00 JLH
FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG TMG TMG JLH \$700.00 JLH JLH \$500.00 JLH
FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS FFIC CIVIL INFRACTION	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH JLH JLH \$500.00 JLH
FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS FFIC CIVIL INFRACTION RATED PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH JLH JLH \$500.00 JLH
FINE COST ST.CO. 500.00 176.00 200. JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO. 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE 06/24/24 01 DEFAULT JUDGMENT GENER PENALTY ADDED-ORDINANCE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS FFIC CIVIL INFRACTION RATED PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH JLH JLH \$500.00 JLH
FINE COST ST.CO. 500.00 176.00 200 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO. 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE 06/24/24 01 DEFAULT JUDGMENT GENER PENALTY ADDED-ORDINANCE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS SFIC CIVIL INFRACTION RATED PROPERTY PROPERTY E PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: TMG TMG TMG TMG JLH \$700.00 JLH JLH \$500.00 JLH \$200.00 JLH
FINE COST ST.CO; 500.00 176.00 200 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE 06/24/24 01 DEFAULT JUDGMENT GENER PENALTY ADDED-ORDINANCE 07/22/24 01 14 DAY NOTICE GENERATE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS FFIC CIVIL INFRACTION RATED PROPERTY PROPERTY PROPERTY PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: TMG TMG TMG TMG JLH \$700.00 JLH JLH \$500.00 JLH \$200.00 JLH
SENTENCING DATE: 06/24/24 FINE COST ST.CO; 500.00 176.00 200.0 JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE 06/24/24 01 DEFAULT JUDGMENT GENER PENALTY ADDED-ORDINANC 07/22/24 01 14 DAY NOTICE GENERATE 08/19/24	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DATE ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS SFIC CIVIL INFRACTION RATED PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: CASE NOTES INITIALS TMG TMG TMG JLH \$700.00 JLH JLH \$500.00 JLH \$200.00 JLH \$30.00
FINE COST ST.CO; 500.00 176.00 200. JAIL SENTENCE: VEH IMMOB START DATE: DATE 06/05/24 01 ORIGINAL CHARGE 06/06/24 FILING DATE 01 DUE DATE FILE TO MAG TO ASSIGN MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCIN ASSESSING FINES AND CO 10TH VIOLATION ORDINANCE FINE & COSTS STATE COSTS - NON-TRAE 06/24/24 01 DEFAULT JUDGMENT GENER PENALTY ADDED-ORDINANCE 07/22/24 01 14 DAY NOTICE GENERATE	ST CON MISC. 00 0.00 0.00 PROBATION: NUMBER OF DA ACTIONS, JUDGMENTS, PROPERTY 060624 061924 F&C. ALL COUNTS NG OSTS SFIC CIVIL INFRACTION RATED PROPERTY PROPERTY E PROPERTY	REST TOT FINE TOT DUE 0.00 876.00 0.00 AYS: VEH FORFEITURE: TMG TMG TMG TMG JLH \$700.00 JLH JLH \$500.00 JLH \$200.00 JLH

CASE NO: 2421630N

DATE	ACTIONS,	JUDGMENTS,	CASE NOTES	INI	TIALS
09/25/24		-	Section 1		
01 MISCELLANEOUS ACTION	PROP	ਪਾ ਰਸ			
SCHEDULED FOR SHOWCA	USE HEARTN	G			TLM
	1024	24 1000 พ	EBER, KARL A.,	D. B.	TLM
ORDER TO SHOW CAUSE	GENERATED-1	UPDATED SHO	WCAUCE ELAC	P-55335	TLM
	PROP	ER TV	WCAUSE FLAG		TLM
YOU ARE ORDERED TO S	HOW CAUSE	UOY YHW			TLM
SHOOTD NOT BE HEPD I	N CIVIL CO	NTEMPT OF			TLM TLM
COURT					TLM
DEFENDANT HAS FAILED	TO:				TLM
DEFENDANT IS TO SHOW	CAUSE FOR	FAILURE TO			TLM
PAY FINES AND COSTS	IN THE				TLM
AMOUNT OF \$876. **PA	CC 301.8**	PAYMENTS			TLM
CAN BE MADE WITH CAS	H,				TLM
MONEY ORDER, OR ON-L MICHIGAN.GOV. IF YOU	LNE AT: E.(COURTS.			TLM
LICENSE IS SUSPENDED	R DRIVER'S	\T\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\			TLM
SUSPENDED UNTIL PAID	Y THE WILLS F	CEMAIN			TLM
09/30/24	TW LOPH.				TLM
SHOW CAUSE MAILED TO	THE DEFENI	ו אותי			
10/24/24	TAME DELEMAN	7741			TLM
01 BENCH WARRANT ISSUED	PROPE	RTY			***
CONTEMPT/FAIL TO APP	EAR				MS
DEFENDANT FAILED TO	APPEAR FOR	10/24/24			MS MS
SHOW CAUSE HEARING O	R PAY/CSW.	BALANCE			MS MS
DUE IS \$876 **301.8*	* CONTEMPT	OF COURT.			MS MS
MARQUETTE COUNTY PIC	K UP.				MS
\$876 CASH BOND					MS
BW TO JUDGE FOR SIGNA	ATURE				MS
10/31/24					
01 MONETARY TRANSACTION PAYMENT	PROPE	RTY			JLV
CASH TENDERED			\$876.00	D189259	JLV
11/01/24					JLV
MISCELLANEOUS ACTION	ALL C	OT INTEREST			
BENCH WARRANT RETURN	SD Tring	CONID			JLV
MISCELLANEOUS ACTION	ALL C	OUNTS			JLV
CASE CLOSED		COMITO			JLV
					JLV

_ = 0 = 1			
STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	CASE NO: 2419040N X-REFERENCE #: 100 STATUS: CLSD 1	39
	JUDGE OF RECO	RD:	
CITY OF MARQUETTE v	JUD		
MORRISON/CHARLES/WI 308S 5TH ST	LITAM	CTN: TCN:	
MARQUETTE MI	49855	SID: ENTRY DATE: 05/22/	24
E.		OFFENSE DATE: 05/21/ ARREST DATE:	24 320 PA
DOD ###############	VEHICLE TYP	E. WDM.	
DOB: ######### SEX: M VEH YR: VEH MAI	Œ: VIN:	PAPER PLATE	:
OFFICER: PAUPORE, ERIC PROSECUTOR:	Di	EPT: CITY OF MARQUETTE	
VICTIM/DESC: 9TH VIO-IPM	4C VI	ENUE: CITY OF MARQUETTE	
CNT: 01 C/M/F; C 301.8		ORD#301.8	W 11 1 1 1
PROPERTY MAINTENCE CODE ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT	PLEA:	מיתים מינות	
SENTENCING DATE: 06/10/	24		
FINE COST ST.	COST CON MISC.	REST TOT FINE	TOT DUE
JAIL SENTENCE:	.01.00 0.00 0.00	0.00 648.00	0.00
VEH IMMOB START DATE:	PROBATION: NUMBER OF I	DAYS: VEH FORFEIT	TURE:
DATE	ACTIONS, JUDGMENTS,	CASE NOTES	INITIALS
05/21/24			
01 ORIGINAL CHARGE	PROPERTY		STIMO
05/22/24			TMG
FILING DATE	052224		TMG
01 DUE DATE	060424		TMG
REPAIR.	NG GARAGE INTO GOOD		TMG
FILE TO MAG TO ASSI	GN F&C.		TMG TMG
MISCELLANEOUS ACTIO			FM
SUPPLEMENTAL SENTEN	CING	\$510.00	FM
9TH VIOLATION	DARRIO CIVITA TAMBA CONTO	37	FM
ORDINANCE FINE & CO	RAFFIC CIVIL INFRACTIO	N \$10.00 \$500.00	FM FM
06/10/24		\$300.00	FPI
01 DEFAULT JUDGMENT GE	NERATED		
	PROPERTY		
PENALTY ADDED-ORDIN 07/08/24	ANCE PROPERTY	\$30.00	
01 14 DAY NOTICE GENER	ATED PROPERTY		

CASE NO: 2419040N

DATE	ACTIONS, JUDGMENTS	CACE NOTES	2=1,100	
	TICITORS, DODGERNIS	, CASE NOTES	INI	TIALS
08/05/24				
01 20% LATE PENALTY	PROPERTY	\$108.00		
08/09/24		\$108.00	,	
01 MISCELLANEOUS ACTION	PROPERTY			(III) 4
SCHEDULED FOR SHOWCA	USE HEARING			TLM
	091124 1000A	KANGAS, ROGER W.,	D-40816	TLM TLM
ORDER TO SHOW CAUSE	GENERATED-UPDATED SHO	OWCAUSE FLAG	E-400T0	TLM
	PROPERTY			TLM
YOU ARE ORDERED TO S	HOW CAUSE WHY YOU			TLM
SHOULD NOT BE HELD I	N CIVIL CONTEMPT OF			TLM
COURT				TLM
DEFENDANT HAS FAILED	TO:			TLM
DEFENDANT IS TO SHOW	CAUSE FOR FAILURE TO			TLM
PAY FINES AND COSTS	IN THE			TLM
AMOUNT OF \$186. **ORI BE MADE WITH CASH, MO	D 301.8** PAYMENTS C	AN		TLM
ORDER OR ON-LINE AT:	E COURSE MICHIARY			TLM
IF YOUR DRIVER'S LICH	E. COURTS. MICHIGAN. GC	DV.		TLM
IS SUSPENDED, IT WILL	DEMATH CHCDENDED			TLM
UNTIL PAID IN FULL.	CHMAIN SUSPENDED			TLM
09/11/24				TLM
01 BENCH WARRANT ISSUED	PROPERTY			POT NA
CONTEMPT/FAIL TO APPR	CAR			TLM
DEFENDANT FAILED TO A	PPEAR FOR 9/11/24 SH	MOI		TLM TLM
CAUSE HEARING OR PAY	PERFORM CSW			TLM
BALANCE DUE IS \$648	**301.8** CONTEMPT	OF		TLM
COURT				TLM
MARQUETTE COUNTY PICK	UP, \$648 CASH BOND			TLM
BENCH WARRANT TO RWK 09/13/24	FOR SIGNATURE			TLM
BENCH WARRANT SENT TO	Maan			
10/14/24	MCSD			TLM
01 14 DAY NOTICE GENERAT	ED PROPERTY			
10/31/24	ED PROPERTY			
01 MONETARY TRANSACTION	PROPERTY			77.55
PAYMENT	I I I I I I I I I I I I I I I I I I I	\$648.00	D189257	JLV JLV
CASH TENDERED		2040:00	D109237	JLV
11/01/24				OHV
MISCELLANEOUS ACTION	ALL COUNTS			JLV
BENCH WARRANT RETURNE	D			JLV
MISCELLANEOUS ACTION	ALL COUNTS			JLV
CASE CLOSED				JLV

STATE OF MICHIELDS	<u></u>		
STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTI	CASE NO: 241741 X-REFERENCE #: STATUS: CLSD	10024
The state of the s	JUDGE OF	RECORD:	
COUNTY/STATE v	, , , , , , , , , , , , , , , , , , ,	JUDGE:	
MORRISON/CHARLES/WI 308 S FIFTH ST MARQUETTE MI		CTN: TCN: SID: ENTRY DATE: 05/ OFFENSE DATE: 05/	06/24 06/24 800 AM
DOB: ######## SEX:		ARREST DATE: TYPE: VPN: ############ CDL:	
VEH YR: VEH MA	KE: VIN:	PAPER PLA	
OFFICER: PAUPORE, ERIC PROSECUTOR:		DEPT: CITY OF MARQUET	TE
VICTIM/DESC: 8TH VIOLAT	ION	VENUE: COUNTY/STATE	
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE		ORD#301.8	
ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 05/22,	/ 2 ¼		
FINE COST ST 500.00 138.00 DAIL SENTENCE:	COST CON N	MISC. REST TOT FINE	E TOT DUE
OWIN DEWLENCE:		LON.	
VEH IMMOB START DATE:		ION: OF DAYS: VEH FORE	
VEH IMMOB START DATE:	NUMBER	LON.	
VEH IMMOB START DATE:	NUMBER	OF DAYS: VEH FORE	FEITURE:
VEH IMMOB START DATE: DATE 05/06/24	NUMBER ACTIONS, JUDGMI	OF DAYS: VEH FORE	FEITURE:
VEH IMMOB START DATE:	NUMBER	OF DAYS: VEH FORE	FEITURE: TNITIALS TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE	NUMBER ACTIONS, JUDGMI 050624 PROPERTY 051724	OF DAYS: VEH FORE	FEITURE:
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI	NUMBER ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REP	OF DAYS: VEH FORE	FEITURE: INITIALS TMG TMG TMG TMG TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI	NUMBER O50624 PROPERTY O51724 ING GARAGE INTO REF	OF DAYS: VEH FORE	TMG TMG TMG TMG TMG TMG TMG TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO	O50624 PROPERTY O51724 ING GARAGE INTO REF	OF DAYS: VEH FORE	TMG TMG TMG TMG TMG TMG TMG TMG TMG TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTION SUPPLEMENTAL SENTEN	NUMBER ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF IGN FINES & COSTS. ON ALL COUNTS	OF DAYS: VEH FORE	TNITIALS TMG TMG TMG TMG TMG TMG TMG TM
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO	NUMBER ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF IGN FINES & COSTS. ON ALL COUNTS	OF DAYS: VEH FORE	TMG TMG TMG TMG TMG TMG TMG TMG TMG TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES AND 8TH VIOLATION ORDINANCE FINE & CO	ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF GN FINES & COSTS. ON ALL COUNTS JICING O COSTS	OF DAYS: VEH FORE ENTS, CASE NOTES PAIR \$510.00	TNITIALS TMG TMG TMG TMG TMG TMG TMG TM
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES AND 8TH VIOLATION ORDINANCE FINE & CO STATE COSTS - NON-T	ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF GN FINES & COSTS. ON ALL COUNTS JICING O COSTS	OF DAYS: VEH FORE ENTS, CASE NOTES PAIR \$510.00	TMG TMG TMG TMG TMG TMG TMG TMG TMG TMG
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIC SUPPLEMENTAL SENTEN ASSESSING FINES AND 8TH VIOLATION ORDINANCE FINE & CO	ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF IGN FINES & COSTS. ON ALL COUNTS ICING COSTS COSTS TRAFFIC CIVIL INFRA	OF DAYS: VEH FORE ENTS, CASE NOTES PAIR \$510.00 \$500.00	TMG TMG TMG TMG TMG TMG TMG TMG JLH JLH JLH JLH
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES AND 8TH VIOLATION ORDINANCE FINE & CO STATE COSTS - NON-TO 05/22/24 01 DEFAULT JUDGMENT GE	ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REE GON FINES & COSTS. ON ALL COUNTS ICING COSTS PRAFFIC CIVIL INFRA	OF DAYS: VEH FORE ENTS, CASE NOTES PAIR \$510.00 \$500.00	TMG TMG TMG TMG TMG TMG TMG TMG JLH JLH JLH JLH
VEH IMMOB START DATE: DATE 05/06/24 FILING DATE 01 ORIGINAL CHARGE DUE DATE IPMC-FAILURE TO BRI FILE TO MAG TO ASSI MISCELLANEOUS ACTIO SUPPLEMENTAL SENTEN ASSESSING FINES AND 8TH VIOLATION ORDINANCE FINE & CO STATE COSTS - NON-T 05/22/24 01 DEFAULT JUDGMENT GE	ACTIONS, JUDGMI 050624 PROPERTY 051724 ING GARAGE INTO REF GON FINES & COSTS ICING COSTS OCOSTS PRAFFIC CIVIL INFRA ENERATED PROPERTY INERATED PROPERTY IANCE PROPERTY	PAIR \$510.00 \$500.00 \$10.00	TMG TMG TMG TMG TMG TMG TMG TMG JLH JLH JLH JLH

CASE NO: 2417410N

PAGE

DATE	ACTIONS THOUSAND	B
	ACTIONS, JUDGMENTS, CASE NOTES	INITIALS
08/09/24 01 MISCELLANEOUS ACTION SCHEDULED FOR SHOWCA	PROPERTY USE HEARING	TLM
YOU ARE ORDERED TO S SHOULD NOT BE HELD I COURT DEFENDANT HAS FAILED	N CIVIL CONTEMPT OF TO:	TLM P-40816 TLM TLM TLM TLM TLM TLM TLM TLM TLM TLM
PAY FINES AND COSTS AMOUNT OF \$648. **OR BE MADE WITH CASH. M	D 301.8** PAYMENTS CAN	TLM TLM TLM TLM
IF YOUR DRIVER'S LIC IS SUSPENDED, IT WIL UNTIL PAID IN FULL. 09/11/24	ENSE	TLM TLM TLM TLM
01 BENCH WARRANT ISSUED CONTEMPT/FAIL TO APP DEFENDANT FAILED TO CAUSE HEARING OR PAY	EAR APPEAR FOR 9/11/24 SHOW PERFORM CSW **301.8** CONTEMPT OF	TLM TLM TLM TLM TLM TLM TLM TLM
BENCH WARRANT SENT TO 10/14/24 01 14 DAY NOTICE GENERAL 10/31/24		TĻM
01 MONETARY TRANSACTION PAYMENT CASH TENDERED 11/01/24	PROPERTY \$648.00	JLV D189256 JLV JLV
MISCELLANEOUS ACTION BENCH WARRANT RETURNE MISCELLANEOUS ACTION CASE CLOSED	ALL COUNTS D ALL COUNTS	JLV JLV JLV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIONS	X-REFERENCE #: 5221	001 ON 1/24
	JUDGE OF RECORD).	
CITY OF MARQUETTE v	JUDGE		
MORRISON/CHARLES/WIL 308 S FIFTH ST MARQUETTE MI		CTN: TCN: SID: ENTRY DATE: 08/26/21 OFFENSE DATE: 08/25/21 ARREST DATE:	1000 A
DOB: ######### SEX: M VEH YR: VEH MAK	VEHICLE TYPE: RACE: W DLN: ####### 3: VIN:	VPN: ####### CDL:	
OFFICER: PAUPORE, ERIC		PAPER PLATE: T: CITY OF MARQUETTE	
PROSECUTOR: VICTIM/DESC: WEATHERPROOF			
CNT: 01 C/M/F: C 304.6		PACC#204 6	8.
EXTERIOR WALLS - INTERNA: ARRAIGNMENT DATE:	DT.EX.	DITTA DAME	
FINDINGS: DEFAULT JGMT SENTENCING DATE: 09/15/2	DISPOSITION DATE: 09/		
90.00 20.00 10	OST CON MISC.	0.00 120 00	OT DUE
JAIL SENTENCE: VEH IMMOB START DATE:	PROBATION:		
	NUMBER OF DAY	YS: VEH FORFEITURE	G:
DATE	ACTIONS, JUDGMENTS,	CASE NOTES IN	VITIALS
08/25/21			
01 ORIGINAL CHARGE 08/26/21	EXTERIOR STR		JAS
FILING DATE	082621		JAS
01 DUE DATE MISCELLANEOUS ACTION	091021 ALL COUNTS		JAS
SUPPLEMENTAL SENTENC ASSESSING FINES	The state of the s	\$100.00	JLH JLH JLH
2ND OFFENSE			JLH
ORDINANCE FINE & COS	TS AFFIC CIVIL INFRACTION	\$90.00	JLH
09/15/21 09 DEFAULT JUDGMENT GEN		\$10.00	JLH
OI DEPAULI SUDGMENI GEN	EXTERIOR STR		
l0/13/21 01 14 DAY NOTICE GENERA	 TED EXTERIOR STR		
11/10/21 01 20% LATE PENALTY	EXTERIOR STR	\$20.00	
l2/20/21 01 MISCELLANEOUS ACTION	i	4-2-3-3	JAS
SCHEDULED FOR SHOWCA	SE HEARING		JAS
	011222 1000A KAN	GAS, ROGER W., P-40816	
ORDER TO SHOW CAUSE	GENERATED-UPDATED SHOWC EXTERIOR STR	AUSE FLAG	JAS JAS

DATE	ACTIONS, JUDGMENTS, CASE NOTES	
16 - 18 19 - 18 19 18 18 18 18 18 18 18 18 18 18 18 18 18	THE TONE, GODGHENTS, CASE NOTES	INITIALS
12/20/21		
01 SHOULD NOT BE HELD I	N CIVIL CONTEMPT OF	
COURT		JAS
DEFENDANT HAS FAILED	TO:	JAS
DEFENDANT FAILED TO	PAY/CSW FINES AND COSTS	JAS
DUE OF \$120.PAYMENT	MUST	JAS JAS
BE MADE BY CASH, MONE	Y ORDER,OR CREDIT/DEBIT	JAS
CARD. PAYMENT CAN BE	MADE	JAS
ONLINE AT E.COURTS.M	ICHIGAN.GOV. **304.6**	JAS
01/13/22		OAD
01 BENCH WARRANT ISSUED	EXTERIOR STR	JAS
CONTEMPT/FAIL TO APP	EAR	JAS
DEFENDANT FAILED TO	APPEAR 1/12/22 SHOW	JAS
CAUSE HEARING OR PAY	CSW. BALANCE DUE	JAS
IS \$120 **3048** CON	TEMPT OF COURT.	JAS
MARQUETTE COUNTY PIC	K UP	JAS
BW TO JUDGE FOR SIGNA 01/31/22	ATURE	JAS
BW TO MCSD		
02/14/22		JAS
01 14 DAY NOTICE GENERA	PPD EVMDDIOD CMD	
10/31/24 ROTTCE GENERAL	TED EXTERIOR STR	
01 MONETARY TRANSACTION	EXTERIOR STR	
PAYMENT		JLV
CASH TENDERED	\$120.00 I	
11/01/24		JLV
MISCELLANEOUS ACTION	ALL COUNTS	7
BENCH WARRANT RETURNS	ED	JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV
		JĽV

STATE OF MICHIGAN 96TH JUDICIAL DISTRICT ORI520025J	REGISTER OF ACTIO	NS X-REFEREN	212963ON D01 ON CE #: 5429 LSD 11/01/24
	JUDGE OF R	ECORD:	
CITY OF MARQUETTE V		JUDGE:	
MORRISON/CHARLES/WII 308 S FIFTH ST MARQUETTE MI		TO SI ENTRY DAY OFFENSE DAY	TN: CN: ID: FE: 09/23/21 FE: 09/22/21 1200 PM
DOB: ######### SEX: M VEH YR: VEH MAK	VEHICLE RACE: W DLN: ### E: VIN:	########## CI	DNT.
OFFICER: PAUPORE, ERIC PROSECUTOR:		DEPT: CITY OF N	
VICTIM/DESC: FAIL TO WEA	THERPROOF WALLS	VENUE: CITY OF	MAROITETTR
CNT: 01 C/M/F: C 304.6 EXTERIOR WALLS - INTERNA ARRAIGNMENT DATE: FINDINGS: DEFAULT JGMT SENTENCING DATE: 10/13/: FINE COST ST.	TIONAL PROPERTY MAP PLEA: DISPOSITION DATE 21 COST CON MI	PACC#304. INT. VIOLATION PLE: 10/13/21 ISC. REST 1.00 0.00	EA DATE: COT FINE TOT DUE 612.00 0.00
DATE	ACTIONS, JUDGMET	VTS, CASE NOTES	INITIALS
09/22/21 01 ORIGINAL CHARGE	EXTERIOR ST		
09/23/21			JAS
FILING DATE 01 DUE DATE 09/24/21	092321 100821		J A S JAS
MISCELLANEOUS ACTION SUPPLEMENTAL SENTENCE 3RD VIOLATION		\$51	0.00 FM FM FM
STATE COSTS - NON-TR ORDINANCE FINE & COS 10/13/21	ets 	- · · ·	0.00 FM 0.00 FM
01 DEFAULT JUDGMENT GEN	BRATED EXTERIOR STR		
11/10/21 01 14 DAY NOTICE GENERA 12/08/21	ATED EXTERIOR STR		
01 20% LATE PENALTY 12/20/21	EXTERIOR STR	\$10	2.00
01 MISCELLANEOUS ACTION SCHEDULED FOR SHOWCA	USE HEARING		JAS JAS
ORDER TO SHOW CAUSE	011222 1000A GENERATED-UPDATED EXTERIOR STR	SHOWCAUSE FLAG	., P-40816 JAS JAS JAS
YOU ARE ORDERED TO S			

CASE NO: 2129630N

PAGE

DATE	ACTIONS, JUDGMENTS, CASE NOTES	
1010	TOTAL ROLLS	INITIALS
12/20/21		
01 SHOULD NOT BE HELD IN	CIVIL CONTEMPT OF	JAS
COURT		JAS
DEFENDANT HAS FAILED	TO:	JAS
DEFENDANT FAILED TO PA	AY/CSW FINES AND COSTS	JAS
DUE OF \$612. PAYMENT I	MUST	JAS
CARD DANGER CASH, MONEY	ORDER, OR CREDIT/DEBIT	JAS
CARD. PAYMENT CAN BE M	ADE	JAS
ONLINE AT E.COURTS.MIC	CHIGAN.GOV	JAS
01 BENCH WARRANT ISSUED		
CONTEMPT/FAIL TO APPEA	EXTERIOR STR	JAS
DEFENDANT PATTED TO A	AK	JAS
CAUSE OR PAY/CSW.BALAN	PPEAR FOR 1/12/22 SHOW	JAS
\$612 **3046** CONTEMP	NCE DUE IS	JAS
COUNTY PICKUP	OF COORT. MARQUETTE	JAS
BW TO JUDGE FOR SIGNAT	ם מוזי	JAS
01/31/22	OKE	JAS
BW TO MCSD		
02/14/22		JAS
01 14 DAY NOTICE GENERATE	D EXTERIOR STR	
10/31/24		
01 MONETARY TRANSACTION	EXTERIOR STR	JLV
PAYMENT		D189269 JLV
CASH TENDERED	7022.00	JLV
11/01/24		011
MISCELLANEOUS ACTION	ALL COUNTS	JLV
BENCH WARRANT RETURNED		JLV
MISCELLANEOUS ACTION	ALL COUNTS	JLV
CASE CLOSED		JLV

CTATE OF MICHIGAN			
STATE OF MICHIGAN 96TH JUDICIAL DISTRICT RE	GISTER OF ACTIO	CASE NO: 2132120N	DO1 ON
ORI520025J	OXBIBIC OF ACTIO	X-REFERENCE #: 887 STATUS: CLSD 1	
			1/01/24
	JUDGE OF R		Tin ISI
CITY OF MARQUETTE v		JUDGE:	
		CTN:	
MORRISON/CHARLES/WILLIA	M	TCN:	
308 S FIFTH ST		SID:	
MARQUETTE MI 498	55	ENTRY DATE: 10/15/	21
		OFFENSE DATE: 09/22/ ARREST DATE:	21
	VEHICLE		
DOB: ######## SEX: RAG	CE: DLN: ###	########## CDL:	
VEH YR: VEH MAKE: OFFICER: PAUPORE, ERIC	VIN:	PAPER PLATE	:
PROSECUTOR:		DEPT: CITY OF MARQUETTE	
VICTIM/DESC: FAIL TO FIX GAI	RAGE - 5TH	VENUE: CITY OF MARQUETTE	
		CONTRACTOR OF TRACTORIES	
CNT: 01 C/M/F: C 301.8 PROPERTY MAINTENCE CODE		ORD#301.8	
ARRAIGNMENT DATE:	PLEA:	71.7 2	
FINDINGS: DEFAULT JGMT DI	SPOSITION DATE	PLEA DATE:	
SENTENCING DATE: 11/03/21			
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500.00 138.00 10 00 JAIL SENTENCE:	O.OO O. PROBATIO	.00 0.00 648.00	0.00
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132,000			COLLS.
DATE	CTIONS, JUDGMEN	NTS, CASE NOTES	INITIALS
09/22/21			
01 ORIGINAL CHARGE	PROPERTY		JAS
10/15/21			
FILING DATE 01 DUE DATE	101521 102921		JAS
10/27/21	102921		JAS
MTGGTT TIMESTA AGGGGG			
MISCELLANEOUS ACTION	ALL COUNTS		FM
SUPPLEMENTAL SENTENCING		\$510.00	FM FM
SUPPLEMENTAL SENTENCING 5TH VIOLATION	7		FM FM
SUPPLEMENTAL SENTENCING 5TH VIOLATION STATE COSTS - NON-TRAFF	7	TION \$10.00	FM FM FM
SUPPLEMENTAL SENTENCING 5TH VIOLATION STATE COSTS - NON-TRAFF ORDINANCE FINE & COSTS	7		FM FM
SUPPLEMENTAL SENTENCING 5TH VIOLATION STATE COSTS - NON-TRAFF ORDINANCE FINE & COSTS	IC CIVIL INFRAC	TION \$10.00	FM FM FM
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CASE NO: 2132120N

PAGE

DATE	ACTIONS, JUDGMENTS, CASE NOTES	TNIT	TIALS
04/07/22		11/1	TIALS
04/07/22			
MISCELLANEOUS ACTIO	ON ALL COUNTS		NM
SCHEDULED FOR SHOW			NM
01 ORDER TO SHOW CALLS	060122 1000A WEBER, KARL A.,	P-55335	NM
or order to brow CAOSI	GENERATED-UPDATED SHOWCAUSE FLAG		MM
YOU ARE ORDERED TO	PROPERTY		NM
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COURT	THE CIVIL CONTEMPT OF		NM
DEFENDANT HAS FAILE	TO.		MM
DEFENDANT FAILED TO	PAY/CSW FINES AND COSTS		MM
DUE OF \$648. **301	8**		NM
	E BY CASH, MONEY ORDER,		MM
CREDIT/DEBIT CARD C	R ON		NM
LINE AT E.COURTS.MI	CHIGAN.GOV. IF YOUR		NM
DRIVER'S LICENSE IS	SUSPENDED		NM
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FULL.			NM
06/02/22			TALL
01 BENCH WARRANT ISSUE	D PROPERTY		TLM
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DEFENDANT FAILED TO	APPEAR FOR 6/01/22 SHOW		TLM
CAUSE HEARING OR PA	YYCSW		TLM
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COURT MARQUETTE CO \$648 CASH BOND.	ONTY PICKUP		TLM
	DOE FOR GEORGE		TLM
BENCH WARRANT TO JU 06/07/22	DGE FOR SIGNATURE		TLM
BW TO MCSD			
06/09/22			TLM
PREV. DOB: #######	# !!		
	ON TICKET INFORMATION		TLM
07/05/22	THE CHART THE CHARTETON		TLM
01 14 DAY NOTICE GENER	ATED PROPERTY		
10/31/24			
01 MONETARY TRANSACTION	N PROPERTY		JLV
PAYMENT	\$648.00	D189255	JLV
CASH TENDERED			JLV
11/01/24			
MISCELLANEOUS ACTION			JLV
BENCH WARRANT RETURI			JLV
MISCELLANEOUS ACTION	N ALL COUNTS		JLV
CASE CLOSED			JLV

REGISTER OF ACTIONS	CASE NO: 213536ON D01 OF X-REFERENCE #: 5438 STATUS: CLSD 11/01/24	
JUDGE OF RECORD:		
JUDGE:		
1.TAM 19855	CTN: TCN: SID: ENTRY DATE: 11/19/21	
VEHICLE TYPE.		
RACE: DLN: ########	###### CDL:	
	: CITY OF MARQUETTE	
GARAGE-6TH VENU	E. COINTY/STATE	
	- COMIT/DINIE	_
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CASE NO: 213536ON PAGE 2

DATE	ACTOMO	TITOONATAWA	A1 22		_6
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01 20% LATE PENALTY	PROPE	ን ምጥ ሃ	2100 00		
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01 MISCELLANEOUS ACTION	PROPE	ERTY) T) (
SCHEDULED FOR SHOWC	USE HEARING	3			NM
	06012	22 1000A WE	BER, KARL A.,	ひっちちつつに	NM
ORDER TO SHOW CAUSE	GENERATED - U	PDATED SHOW	CAUSE FLAG	E-22332	NM NM
	PROPE	ERTY			NM
YOU ARE ORDERED TO S	HOW CAUSE W	HY YOU			MM
SHOULD NOT BE HELD]	N CIVIL CON	TEMPT OF			NM
COURT					NM
DEFENDANT HAS FAILEI	TO:				NM
DEFENDANT FAILED TO	PAY/CSW FIN	ES AND COST	S		NM
DUE OF \$648. **301.8	} * *				NM
PAYMENTS CAN BE MADE	BY CASH, M	ONEY ORDER,			NM
CREDIT/DEBIT CARD OF	ON				NM
LINE AT E.COURTS.MIC	HIGAN GOV.	IF YOUR			NM
DRIVER'S LICENSE IS	SUSPENDED				NM
IT WILL REMAIN SUSPE FULL.	NOED OWLIT	PAID IN			NM
06/02/22					NM
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COURT MARQUETTE COU	NTY PICKUP	CONTEMPT OF	•		TLM
\$648 CASH BOND.					TLM
BENCH WARRANT TO JUD	GE FOR SIGN	ATURE			TLM
06/07/22					TLM
BW TO MCSD					TLM
07/05/22					T 1711-1
01 14 DAY NOTICE GENERA	TED PROPE	RTY		77	
10/31/24					
01 MONETARY TRANSACTION	PROPE	RTY			JLV
PAYMENT			\$648.00	D189253	JLV
CASH TENDERED					JLV
11/01/24	377 00	`a			
MISCELLANEOUS ACTION BENCH WARRANT RETURN	ALL CO	OUNTS			JLV
MISCELLANEOUS ACTION	1	AT TATES C			JLV
CASE CLOSED	ALL CO	ONID			JLV
					\mathtt{JLV}

Administrative Warrant

Original affidavit - Issuing court 1st copy - Prosecutor

AFFIDAVIT FOR SEARCH WARRANT

Please type or press hard.	See the other side for instructions.	Police Agency Report Number:	255590002	5
Jeffrey Fossitt, Fire Marshal	- FP			
	searched is described as and is locate	i(s), state that: ed at:		40
life safety and structural integrity of	nises and garage located at 308 S. Fifth 5 f the structure pursuant to the Internation olice officer to ensure safe entry and the stant.	al Property Mainte	nance Code (IPMC) 2021	1. Section 111.
2. The PROPERTY/PERSON to be	searched for and seized, if found, is s	pecifically describ	ped as:	
No property to be seized.				
	ģŠ.			
3. The FACTS establishing probable	e cause or the grounds for search are:		er.	
years despite enforcement efforts to h c. The Fire Department became awar property, and that the structural issues d. Affiant indicated, in writing, an in business hours, and Charles W. Morri e. Charles W. Morrision has not coop reason to believe he will not cooperat	by the Zoning Technician, Eric Paupore, have it repaired, that the garage looks to be re that the garage is near an occupied hour is could pose a life safety risk to the occupient to conduct a life safety inspection ar	be unsound, and the ne on the property, pants. ad structural assess tions related to the asment.	at further investigation is is near an occupied hom ment of the property duri garage and his property,	needed. e on an adjoinin ng regular and Affiant has
This affidavit consists of one (1)	pages. Affiant	HAW	1-3-25	
	Subscribed and	swarn to before r	ne $\frac{1/(e/2.5)}{Date}$	
Reviewon 1-2-25			(*)	_ Court
	DENEL Judge/Magistrate	J Vyla		Bar no.
MC 231 (3/10) AFFIDAVIT FOR SEAF	KCH WARRANT			

Approved, SCAO

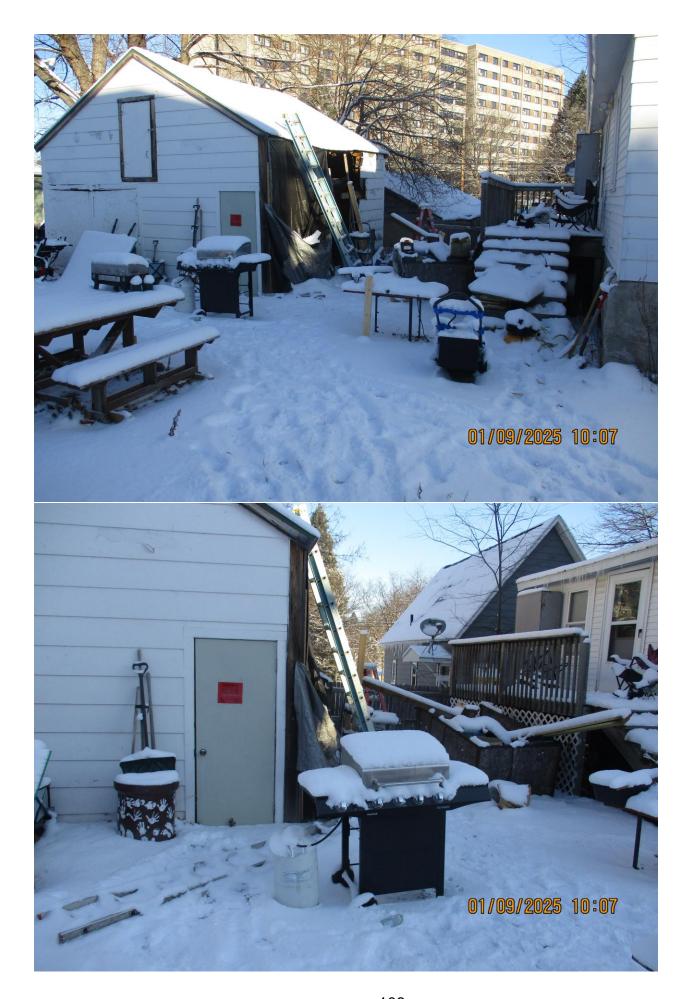
Original warrant - Return to issuing court 1st copy - Prosecutor 2nd copy - Serve 3rd copy - Issuing judge

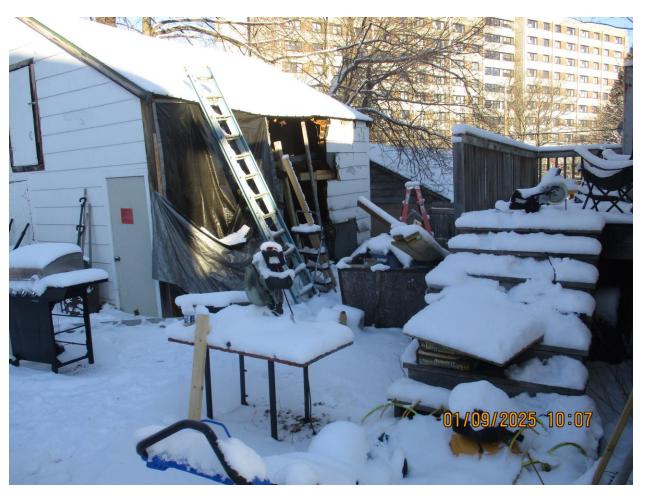
SEARCH WARRANT

TO THE SHERIFF, OR ANY PEACE OFFICER:	Police Agency Report Number: 2555 9 000 25
Jeffrey Fossitt, Fire Marshal	has sworn to the affidavit regarding the following:
1. The person, place, or thing to be searched is described	nd as and is located at:
life safety and structural integrity of the structure pursuant	ed at 308 S. Fifth Street, Marquette, Michigan for the purpose of determining to the International Property Maintenance Code (IPMC) 2021, Section 111. safe entry and the search shall be conducted by Fire Marshal Jeffrey Fossitt
2. The PROPERTY/PERSON to be searched for and seiz	zed, if found, is specifically described as:
No property to be seized.	_¥0.
to make the search and seize the described property/perso	HIGAN: I have found that probable cause exists and you are commanded son. Leave a copy of this warrant and a tabulation (a written inventory) of y was taken or at the premises. You are further commanded to promptly Judge/Magistrate Barne
RETURI	NANDTABULATION
Search was made and the	e following property/person was seized:
Continued on other side.	
Copy of warrant and tabulation served on: Name	
Tabulation filed: Date	

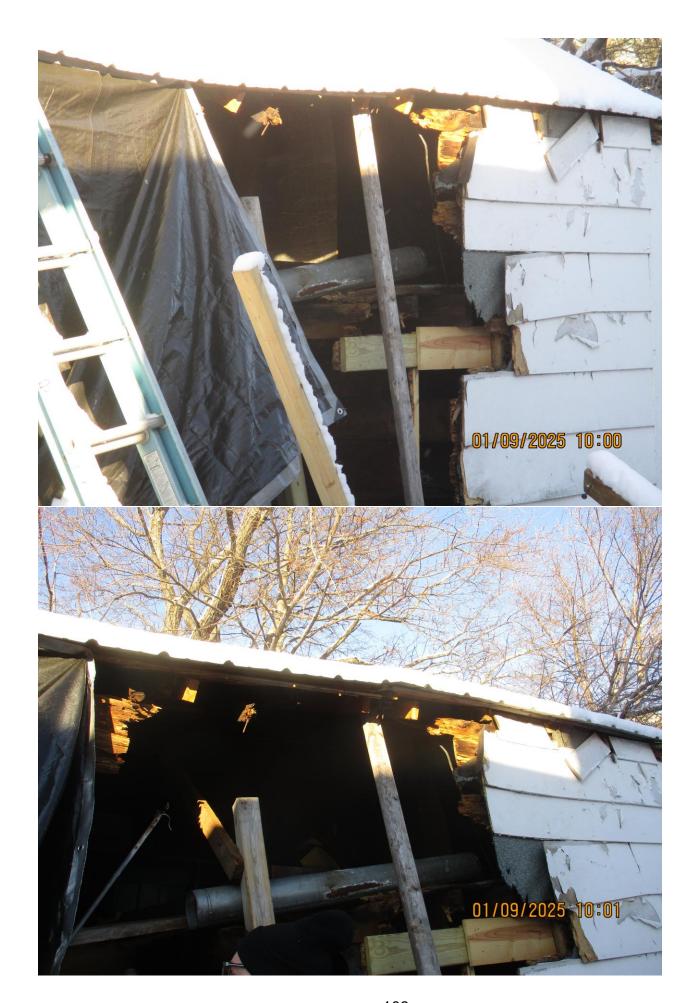
MC 231 (3/10) AFFIDAVIT AND SEARCH WARRANT

Photographs from 01/09/2025 Structural Analysis



























Structural Analysis



420 Rail Street Negaunee, MI 49866 906-475-6616 WWW.NDW.US

Marquette Fire Department Attn: Jeff Fossitt – Fire Marshal 418 S. Third ST Marquette, MI 49855

January 9, 2025

RE: 308 S. Fifth Street Garage

Mr. Fossitt:

I visited the property at 308 South Fifth Street today to provide an opinion on the structural safety of the garage behind the residence. The existing structure is a wood framed storage building, approximately 20 feet in each dimension. This opinion is based on a visual inspection of the structure from the exterior, including the interior portions visible through the large hole in the east wall.

Approximately 50 percent of the east wall of the structure is open. It appears this was originally constructed as a load bearing wall supporting the roof rafters and collar ties. Due to the missing piece of the wall, there is no structural support for the roof rafters or collar ties on that portion of the building, with a noticeable sag in the roof. As the collar ties are not functional both the east and west walls are spreading at the top as the roof is dropping.

The remaining wall studs and roof rafters are in poor condition. There is extensive rot and charring from previous fire damage on the remaining material. Much of the wood framing that could be observed has rotted to an extent to significantly reduce its structural capacity. It appears the wall is built on a heavy timber sill that has rotated out from its original position, and the bottom of the wall studs have been partially pushed off that supporting timber.

Due to the extent of structural damage, I would not consider this structure safe to occupy. Based on the extensive decay and damage, it does not appear it would be economically feasible to repair the structure as much of the material would need to be removed and replaced. The cost to do this would likely exceed the replacement value of the structure.

Sincerely,

Richard Uren RA Architect – Owner



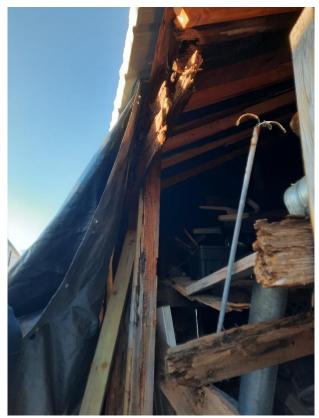
1 - Exterior of structure



2 - Unsupported roof framing



3 - Charred roof framing



4 - Rotted wood framing



5 - Sill rotated out of position



6 - West wall bowing out due to collar tie failure

Marquette Fire Department
Notice of Condemnation

MARQUETTE CITY FIRE DEPARTMENT



CODE ENFORCEMENT DIVISION 418 South Third St. Marquette, MI 49855 fire@marquettemi.gov



Fire Chief
Ian Davis

Fire Marshal
Jeff Fossitt
906-225-8941

Rental Inspector Brian Anderson 906-225-8999 Administrative Assistant Jen Jakubowski 906-225-8596

01-09-25

Charles Morrison 308 S Fifth Street Marquette, MI, 49855

On 1-9-25 at approximately 10:00AM, an Administrative Search Warrant was executed at 308 S. Fifth Street Marquette Michigan. The purpose of the Administrative Search Warrant is to determine the structural integrity of the garage per the International Property Maintenance Code (IPMC) 2021, Section 111.

It has been determined by Structural Engineer Richard Uren that the structure is not safe to enter or use for any purpose. Please see attached structural assessment.

I have posted the garage as "Condemned" Due to the extent of structural damage of the garage. Zoning Technician Eric Paupore was present during the search due to open Zoning enforcement at this property.

If you have any questions or concerns, please contact me at (906)225-8941.

Thank you,

Jeff Fossitt

Fire Marshal

Marquette Fire Department

City of Marquette, MI

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

New Business Commissioner Davis Travel Reimbursement

BACKGROUND:

Commissioner Davis attended the Great Lakes and St. Lawrence Cities Initiative held in Milwaukee, Wisconsin May 13-16, 2025. The following check will be issued for travel expenses incurred:

Commissioner Sally Davis, Check #8147(A), \$657

FISCAL EFFECT:

Total travel cost is \$657. Adequate funds are available within the Fiscal Year 2025 City Commission travel budget.

RECOMMENDATION:

Approve travel reimbursement for Commissioner Davis in the amount of \$657 for the Great Lakes and St. Lawrence Cities Initiative.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

No Attachments Available

City of Marquette, MI

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

New Business Superior Watershed Partnership 25th Anniversary Proclamation

RECOMMENDATION:

Approve the Proclamation and authorize the Mayor to sign.

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

Proclamation



25th Anniversary of the Superior Watershed Partnership

WHEREAS, the Superior Watershed Partnership (SWP) was founded as a Great Lakes non-profit organization with a mission to protect and improve the natural resources of Michigan's Upper Peninsula through science-based solutions and community engagement; and,

WHEREAS, over the past 25 years, the SWP has become a national leader in innovative environmental programs, including climate adaptation, native species restoration, green infrastructure, and pollution prevention and has set national records for pollution prevention and implements innovative, science-based programs that achieves documented, measurable results; and,

WHEREAS, the City of Marquette has been a proud and long-standing partner of the Superior Watershed Partnership, working together to enhance Lake Superior shoreline protection, support renewable energy projects, improve stormwater infrastructure, promote environmental education and stewardship, and recreate City shoreline; and,

WHEREAS, through collaborative projects such as beach monitoring, invasive species mitigation, and sustainability planning, the SWP has directly improved the quality of life and environmental health for Marquette residents; and,

WHEREAS, the SWP's commitment to local workforce development, including the Great Lakes Conservation Corps and youth employment opportunities, has benefited the region's economic and environmental resilience; and,

WHEREAS, the City of Marquette recognizes the essential role that environmental organizations like the SWP play in protecting public health, fostering a sustainable future, and strengthening our community through science and service; and,

WHEREAS, the City of Marquette acknowledges and commends the scope and breadth of the millions of dollars of grant funding secured through the partnership between the SWP and the City, funding that would not have otherwise been possible; and,

NOW THEREFORE, the Mayor and City Commission of the City of Marquette do hereby recognize and celebrate the 25th Anniversary of the Superior Watershed Partnership, commend its accomplishments and leadership, and express gratitude for the continued partnership and positive impact on the City of Marquette and its residents.

DATED this 9 th day of June, 2025.		
	Jessica Hanley, Mayor	-

City of Marquette, MI

300 West Baraga Avenue Marquette, MI 49855

Agenda Date: 6/9/2025

New Business Attorney-Client Privileged Memo – Kruhak v City of Marquette, et al.

BACKGROUND:

The City has received an attorney-client privileged memorandum from its insurance defense attorney Gretchen L. Olsen, with Nauts, McKinney, Dwaihy & Beach, PLLC regarding the lawsuit filed by Igor Kruhak against the City.

FISCAL EFFECT:

None.

RECOMMENDATION:

Enter closed session pursuant to the Michigan Open Meetings Act [MCL 15.268(8)(h)] to "consider material exempt from discussion or disclosure by state or federal statute", which exemption includes the consideration of "information or records subject to the attorney-client privilege" pursuant to MCL 15.243(1)(g).

ALTERNATIVES:

As determined by the Commission.

ATTACHMENTS:

Description

No Attachments Available