

∞ AGENDA ∞

MARQUETTE CITY PLANNING COMMISSION **Tuesday, November 19th, 2024, at 6:00 p.m.** **Commission Chambers at City Hall – 300 W. Baraga Ave.**

MEETING CALLED TO ORDER

- 1) ROLL CALL
- 2) APPROVE AGENDA
- 3) APPROVE MINUTES: **Minutes of 11-12-19 are not yet available**
- 4) CONFLICT of INTEREST

1. PUBLIC HEARINGS
2. CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS
3. OLD BUSINESS
4. NEW BUSINESS

A. Cultural Center Project

5. CITIZENS WISHING TO ADDRESS THE COMMISSION ON NON-AGENDA ITEMS
6. CORRESPONDENCE, REPORTS, MINUTES OF OTHER BOARDS/COMMITTEES
7. TRAINING
8. WORK SESSION ON REPORTS/PLANS/ORDINANCES

A. Land Development Code Amendments

9. COMMISSION AND STAFF COMMENTS
10. ADJOURNMENT

PUBLIC COMMENT

A member of the audience speaking during the public comment portion of the agenda shall limit his/her remarks to 3 minutes. Time does not need to be reserved for an item of business listed on the agenda, or otherwise addressed under Item #2, as time is provided for public comment for each item of business.

PUBLIC HEARINGS

The order of presentation for a public hearing shall be as follows:

- a. City Staff/Consultants
- b. Applicant
- c. Correspondence
- d. Public Testimony
- e. Commission Discussion (Commissioners must state any Ex-Parte contact or Conflicts of Interest prior to engaging in any discussions), if it occurred, prior to entering into discussion or voting on a case).



CITY OF MARQUETTE
PLANNING AND ZONING
1100 Wright Street
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Planning Commission
FROM: Dave Stensaas, City Planner and Zoning Administrator
DATE: November 15, 2024
SUBJECT: **New Business – Cultural Center project**

Tiina Morin will provide a presentation regarding the Cultural Center project that the City of Marquette has begun planning and will begin implementing in 2025. Per the Michigan Planning Enabling Act (P.A. 33 of 2008), the Planning Commission should render a vote of approval or disapproval of certain public projects within their jurisdiction. Please see the relevant text of the law, below. The Planning Commission should receive the presentation and then determine if they generally approve of the character, extent, location, purpose or any other relevant characteristics that of the project, or if they would like more information on specific details of this proposed capital improvement. Attached there are site plan sheets from the set of plans for the project, which has not been submitted for review yet, and renderings of the two proposed building designs may be found [here](#).

MICHIGAN PLANNING ENABLING ACT (EXCERPT) Act 33 of 2008

125.3861 Construction of certain projects in area covered by municipal master plan; approval; initiation of work on project; requirements; report and advice.

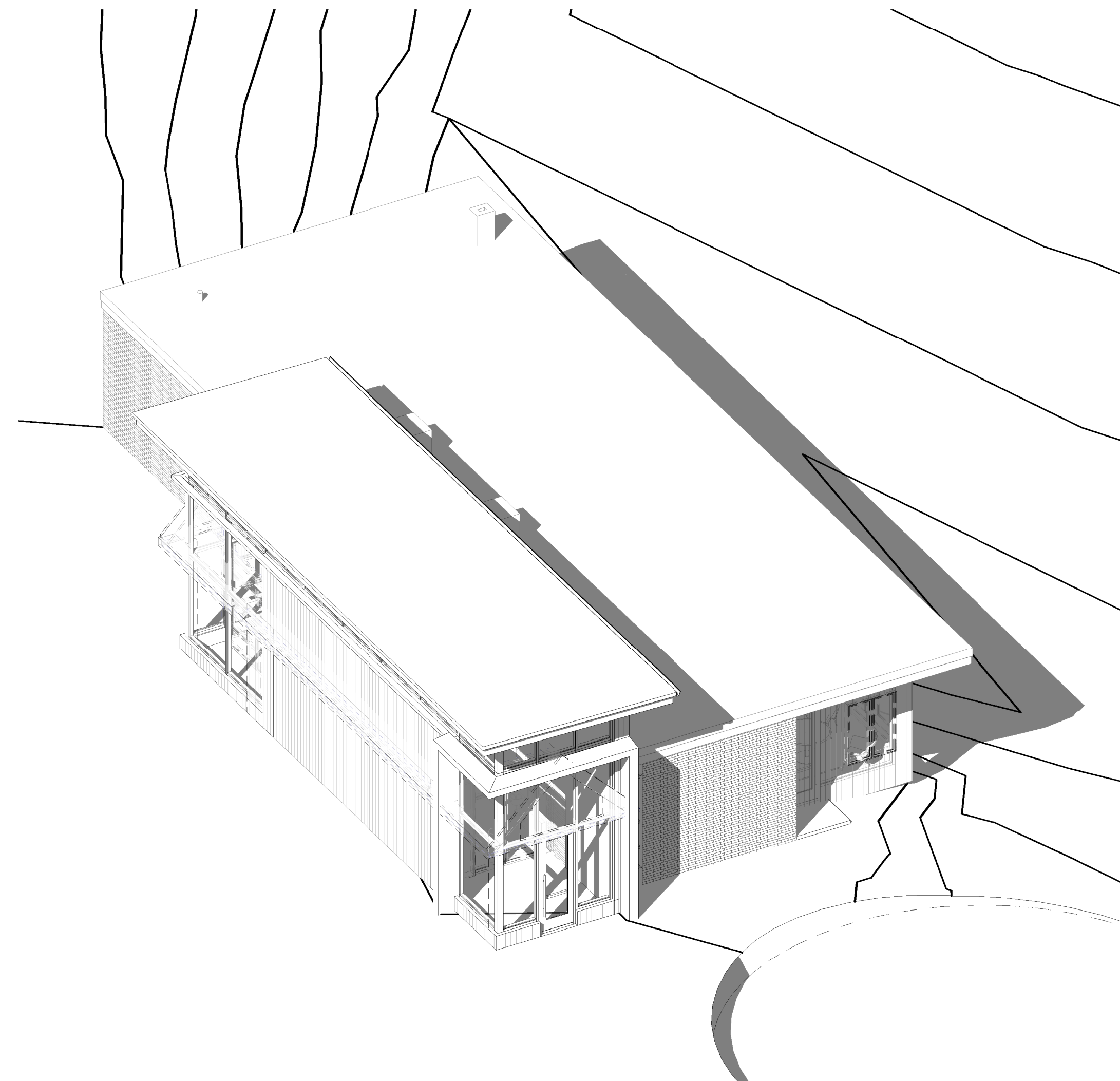
Sec. 61. (1) A street; square, park, playground, public way, ground, or other open space; or public building or other structure shall not be constructed or authorized for construction in an area covered by a municipal master plan unless the location, character, and extent of the street, public way, open space, structure, or utility have been submitted to the planning commission by the legislative body or other body having jurisdiction over the authorization or financing of the project and has been approved by the planning commission. The planning commission shall submit its reasons for approval or disapproval to the body having jurisdiction. If the planning commission disapproves, the body having jurisdiction may overrule the planning commission by a vote of not less than 2/3 of its entire membership for a township that on the enactment date of this act had a planning commission created under former 1931 PA 285, or for a city or village, or by a vote of not less than a majority of its membership for any other township. If the planning commission fails to act within 35 days after submission of the proposal to the planning commission, the project shall be considered to be approved by the planning commission.

MARQUETTE CULTURAL CENTER

501 S Front St
Marquette, MI 49855



SITE PLAN (NTS)



1 SE VIEW
G000

DRAWING INDEX-CD		DESIGN PRICING ISSUE
DRAWING NUMBER	DRAWING NAME	
01-GENERAL INFORMATION		
G000	COVER SHEET	
G001	ARCHITECTURAL ABBREVIATIONS	
G002	LIFE SAFETY DIAGRAMS AND CODE INFORMATION	
G003	MOUNTING HEIGHT DIAGRAMS	
G004	ASSEMBLIES	
02-CIVIL		
C001	LEGEND AND ABBREVIATIONS	
C002	GENERAL NOTES	
C003	EXISTING CONDITIONS PLAN	
C004	SOIL EROSION AND SEDIMENT CONTROL PLAN	
C005	DEMOLITION PLAN	
C006	PROPOSED CONDITIONS PLAN	
D001	DETAILS	
D002	DETAILS	
03-LANDSCAPE		
L000	EXISTING CONDITIONS PLAN	
L100	OVERALL SITE PLAN	
L110	SITE PLAN ENLARGEMENT	
L600	SITE DETAILS	
L800	PLANTING PLAN	
L880	PLANTING DETAILS	
04-ARCHITECTURAL		
AD100	BASEMENT LEVEL DEMOLITION PLAN	
AD101	FIRST LEVEL DEMOLITION PLAN	
AD111	FIRST LEVEL DEMOLITION CEILING PLAN	
AD200	EXTERIOR DEMOLITION ELEVATIONS	
AD201	EXTERIOR DEMOLITION ELEVATIONS	
A100	BASEMENT LEVEL FLOOR PLAN	
A101	FIRST LEVEL FLOOR PLAN	
A111	FIRST LEVEL REFLECTED CEILING PLAN	
A112	CEILING PLAN LEGEND AND FIXTURE SCHEDULE	
A120	ROOF PLAN	
A200	EXTERIOR ELEVATIONS	
A201	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A310	WALL SECTIONS	
A410	INTERIOR ELEVATIONS	
A411	INTERIOR ELEVATIONS	
A500	EXTERIOR DETAILS	
A501	EXTERIOR DETAILS	
A602	DOOR AND WINDOW SCHEDULE	
A900	3D VIEWS	
I101	FINISH PLAN	

DRAWING INDEX-CD		DESIGN PRICING ISSUE
DRAWING NUMBER	DRAWING NAME	
05-STRUCTURAL		
S001	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS	
S002	STRUCTURAL MATERIAL NOTES (1 OF 3)	
S003	STRUCTURAL MATERIAL NOTES (2 OF 3)	
S004	STRUCTURAL MATERIAL NOTES (3 OF 3)	
S100	BASEMENT LEVEL FLOOR PLAN	
S101	FIRST LEVEL FLOOR PLAN	
S102	ROOF PLAN	
S300	SECTIONS (1 OF 2)	
S301	SECTIONS (2 OF 2)	
S400	DETAILS (1 OF 2)	
S401	DETAILS (2 OF 2)	
SD100	STRUCTURAL DEMOLITION PLANS, NOTES AND DETAILS (1 OF 2)	
SD101	STRUCTURAL DEMOLITION PLANS, NOTES AND DETAILS (2 OF 2)	



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PROJECT TEAM

STRUCTURAL

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CIVIL ENGINEERING

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LANDSCAPE ARCHITECT

URBAN ECOSYSTEMS
MATTHEW TUCKER
781-879-7233
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Michigan.

1301072730

PROJECT # 2024-010
PHASE

DRAWN BY Author
CHECKED BY Checker

DOCUMENT ISSUANCE

Date Description

1 11.01.24 BID ISSUE

SHEET NAME

COVER SHEET

G000

SHEET NUMBER

P.E. No.: 6201064048

Approved: MEC

Checked: GMM

Drawn: RTH

Designed: INR

GEI Project 2404879

Attention: 1"
 0 1" SCALE BAR

If this scale bar does not measure 1" then drawing is not original scale.

NO.	DATE	ISSUE/REVISION	APP

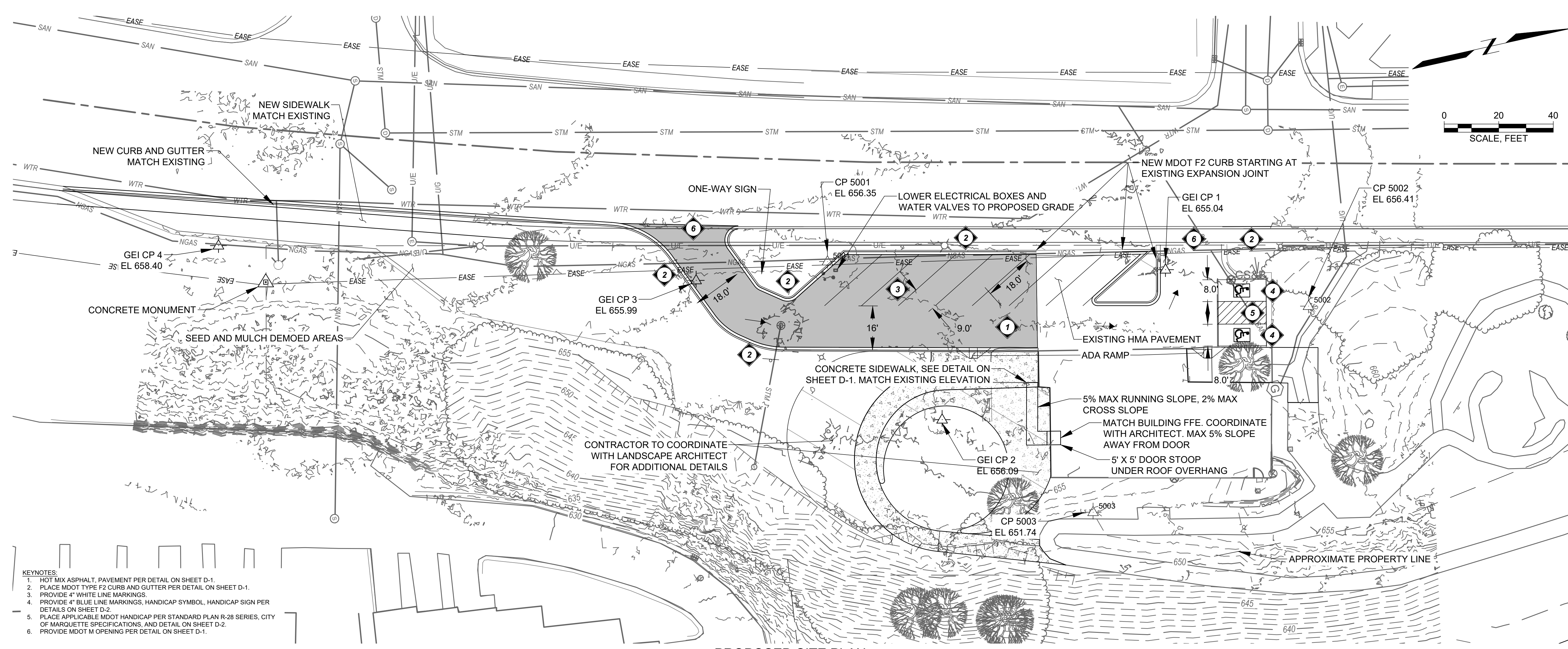
SHEET NAME

PROPOSED
 CONDITIONS PLAN

SHEET NO.

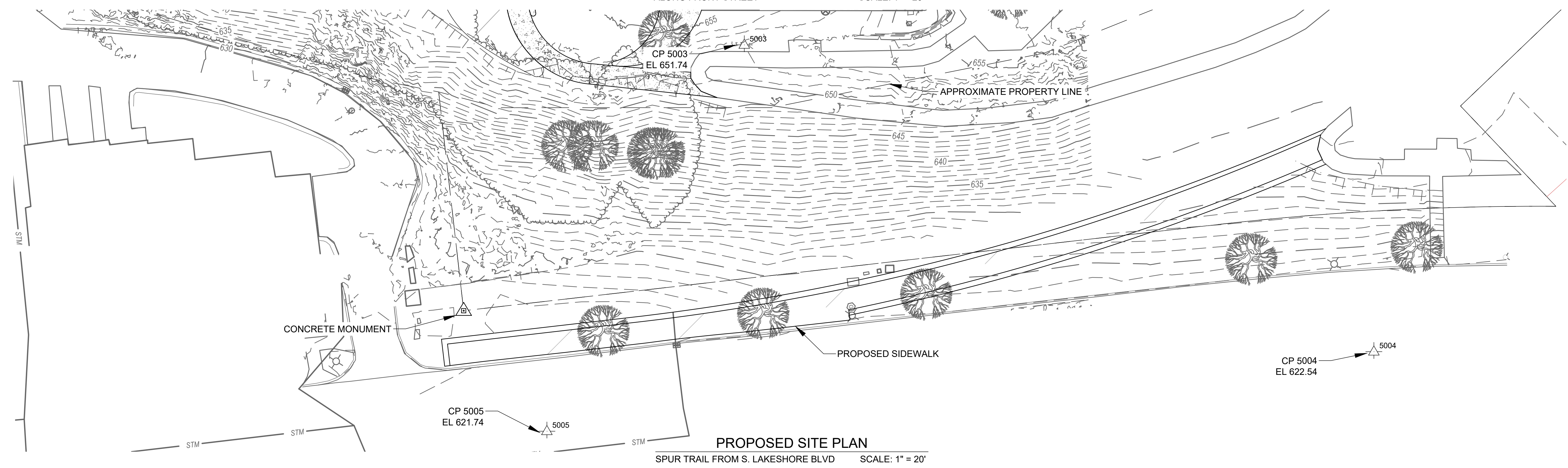
C-06

FOR BID



PROPOSED SITE PLAN

ALONG FRONT STREET SCALE: 1" = 20'



PROPOSED SITE PLAN

SPUR TRAIL FROM S. LAKESHORE BLVD SCALE: 1" = 20'

- KEYNOTES:
1. HOT MIX ASPHALT PAVEMENT PER DETAIL ON SHEET D-1.
 2. PLACE MDOT TYPE F2 CURB AND GUTTER PER DETAIL ON SHEET D-1.
 3. PROVIDE 4" WHITE LINE MARKINGS.
 4. PROVIDE 4" BLUE LINE MARKINGS, HANDICAP SYMBOL, HANDICAP SIGN PER DETAILS ON SHEET D-2.
 5. PLACE APPLICABLE MDOT HANDICAP PER STANDARD PLAN R-28 SERIES, CITY OF MARQUETTE SPECIFICATIONS, AND DETAIL ON SHEET D-2.
 6. PROVIDE MDOT M OPENING PER DETAIL ON SHEET D-1.

HELP:PI_RYAN_B:\Working\LOCUS_ARCHITECTURE\2404879\Culture Center Development\Design\00_CAD\Design\Sheets\PROPOSED CONDITIONS PLAN.dwg - 1/11/2024

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Michael Keenan, PLA
MI PLA No: 3901047073



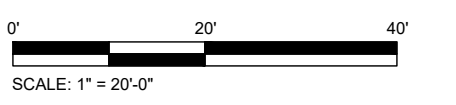
Michael Keenan

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CHECKED BY MK, MT

DOCUMENT ISSUANCE

#	Date	Description
1	10.31.24	BID PERMIT ISSUE



SHEET NAME
Sheet Name
OVERALL SITE PLAN

L-100

SHEET NUMBER

GENERAL LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- MATCHLINE
- SETBACK
- CENTERLINE
- SECTION
- SH# DETAIL CALLOUT
- XX MATERIAL CALLOUT
- ELEVATION BENCHMARK
- 0'-00" DIMENSION
- ALIGN ELEMENT
- PROPOSED TREE
- EXISTING TREE

MATERIAL LEGEND

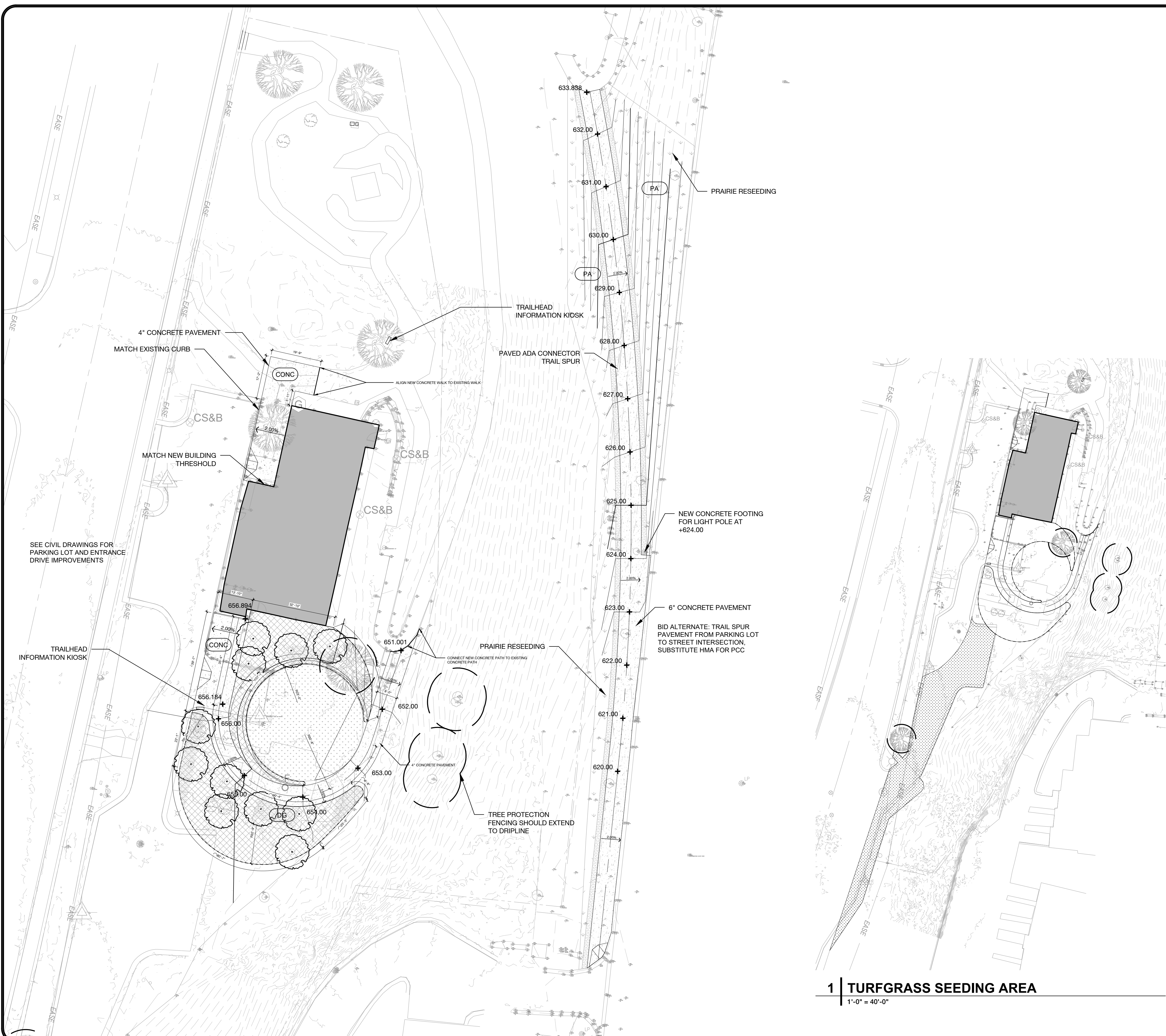
- EXISTING BUILDING, SEE ARCH PLAN
- CONC CONCRETE PAVING, PEDESTRIAN (1 L600)
- PA NATURAL LANDSCAPING
- SOD
- PA NATURAL LANDSCAPING SEEDING AREA
- EDG1 METAL EDGE (6 L600)
- DG DECOMPOSED GRANITE OR DECORATIVE GRAVEL (4 L600)

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR DECISION BEFORE STARTING CONSTRUCTION.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IF THERE IS ANY CONFLICT BETWEEN THE COORDINATE POINTS AND DIMENSIONS WHEN LAYING OUT IN THE FIELD.
- SURVEY OF EXISTING CONDITIONS PROVIDED BY CITY OF MARQUETTE (File reference: "MQ50-318 Cultural Center Topo Basemap (241007 City Cal202-20002)", available for download at <https://www.dropbox.com/scl/fi/8kjes09tzb62uj2mf003z/MQ50-318-Cultural-Center-Topo-Basemap-241007-City-Cal202-20002.dwg?rlkey=3rpaa7m3zmeonyua7w4j1g7&dl=0>)

SUBGRADE & EARTHWORK COMPACTION SPECIAL CONDITIONS

See Technical Specification Section 329300 Plants, Paragraph 1.5 "Subgrade Compaction Within Planting Areas" for specific requirements of subgrade and earthwork compaction in all areas of landscape plantings shown on this Drawing.



1 | TURFGRASS SEEDING AREA
1'-0" = 40'-0"

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MI PLA No: 3901047073



Michael Keenan

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PHASE

DRAWN BY MM
CHECKED BY MK, MT

DOCUMENT ISSUANCE
Date Description

1 10.31.24 BID PERMIT ISSUE

0' 2' 4' 8'
SCALE: 3/32" = 1'-0"

GENERAL LEGEND

- PROPERTY LINE
- ===== LIMIT OF WORK
- MATCHLINE
- - - - - SETBACK
- CENTERLINE
- SECTION
- SH# DETAIL CALLOUT
- XX MATERIAL CALLOUT
- ELEVATION BENCHMARK
- 0'-00" DIMENSION
- ↔ ALIGN ELEMENT
- PROPOSED TREE
- EXISTING TREE

MATERIAL LEGEND

- EXISTING BUILDING, SEE ARCH PLAN
- CONC CONCRETE PAVING, PEDESTRIAN (1 L600)
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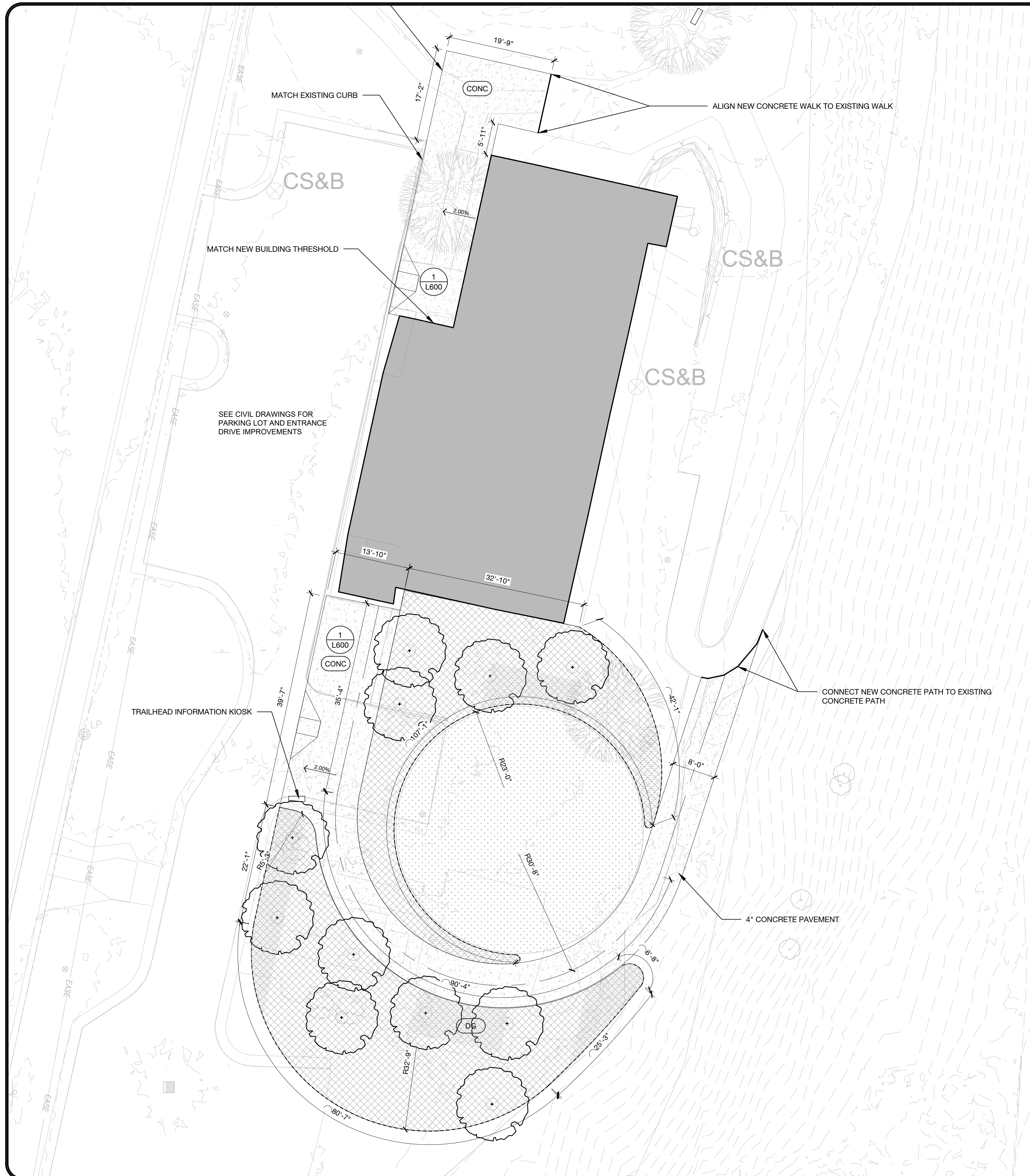
SHEET NAME

Sheet Name

SITE PLAN ENLARGEMENT

L-110

SHEET NUMBER



PLANTING NOTES

- SEE SHEET L-800 FOR PLANTING DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE SPECIFICATIONS AND ON THESE PLANS.
- CONTRACTOR SHALL FIELD LOCATE HORIZONTAL AND VERTICAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGN TEAM OF ANY CONFLICTS SO THEY CAN BE ANALYZED AND ADJUSTED FOR.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION TO REMAIN WITH TREE PROTECTION FENCING AND MEASURES AS INDICATED ON ENGINEER'S PLANS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
- ALL EXISTING GRASS AND ROOTS OF REMOVED VEGETATION SHALL BE COMPLETELY REMOVED FROM SITE PRIOR TO INSTALLATION OF NEW PLANTS.
- THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF BEDROCK AND/OR UNEXPECTED WATER RETENTION IN TREE OR SHRUB PITS.
- CONTRACTOR SHALL INSTALL GATOR BAGS FOR ALL NEW CANOPY AND UNDERSTORY TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS.
- SEE PLANT SCHEDULE FOR PLANT SIZES, QUANTITIES, SPECIES AND CONDITION.
- ALL TREES AND SHRUBS SHALL HAVE AT LEAST 18" APPROVED PLANTING SOIL AROUND ROOTBALL.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED.
- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIBER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- PROPOSED SHADE TREES SHALL NOT BE PLANTED OVER TOP OF ANY SEWER OR WATER LATERALS, MAINS OR SERVICES. SEWER AND WATER LATERALS, MAINS, AND SERVICES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES.
- SHADE AND EVERGREEN TREES SHALL BE PLANTED FIFTEEN (15) FEET FROM OVERHEAD UTILITY LINES OR LIGHT STANDARDS. UTILITIES ARE SHOWN ON THE LANDSCAPE PLANS FOR REFERENCE ONLY. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES.

SUBGRADE & EARTHWORK COMPACTION SPECIAL CONDITIONS

See Technical Specification Section 329300 Plants, Paragraph 1.5 "Subgrade Compaction Within Planting Areas" for specific requirements of subgrade and earthwork compaction in all areas of landscape plantings shown on this Drawing.

TREE PLANTING SCHEDULE

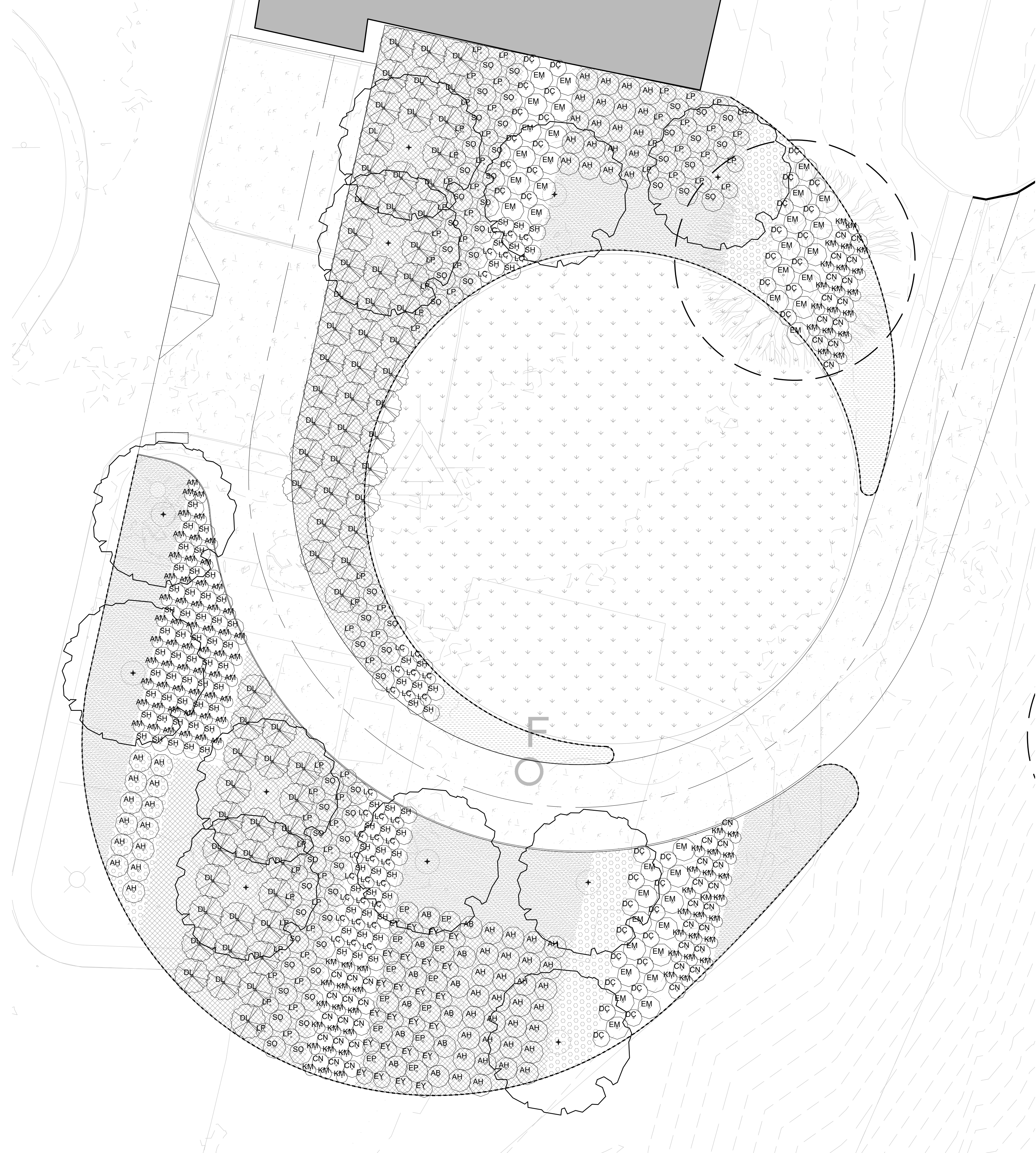
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	REMARKS
QT	6	Betula papyrifera	Paper Birch	2" CAL.	B&B	See Plan	
PI	5	Pinus alba	White Pine	3" CAL.	B&B	See Plan	

PERENNIAL PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	REMARKS
AH	63	Amonia hutchinsii	Hubricht's Bluestar	1 GAL.	CONT.	2'-0"	BID ALTERNATE: SUBSTITUTE ALL 1 GALLON CONTAINER PERENNIAL PLANTS WITH 1 QUART CONTAINER PERENNIAL PLANTS
DL	75	Diervilla lonicera	Bush Honeysuckle	1 GAL.	CONT.	3'-0"	
SO	60	Symphoricarum oblongifolium	October Skies Aster	1 GAL.	CONT.	2'-0"	
LP	66	Lupinus perennis	Lupine	1 GAL.	CONT.	1'-6"	
SH	89	Sporobolus heterolepis	Prairie Dropseed	1 GAL.	CONT.	1'-6"	
EM	38	Eurybia macrophylla	Large Leaved Aster	1 GAL.	CONT.	2'-0"	
KM	59	Koeleria macrantha	Prairie Junegrass	1 GAL.	CONT.	1'-0"	
AM	93	Allium 'Millenium'	Ornamental Onion	1 GAL.	CONT.	1'-0"	
LC	27	Listris cylindracea	Dwarf Blazing Star	1 GAL.	CONT.	1'-0"	
DC	40	Deschampsia cespitosa	Tufted Hair Grass	1 GAL.	CONT.	1'-6"	
CN	45	Calamintha nepeta	Lesser Calamint	1 GAL.	CONT.	1'-6"	
EP	12	Echinacea pallida	Pale Purple Coneflower	1 GAL.	CONT.	2'-0"	
AB	12	Agastache 'Blue Fortune'	Anise Hyssop	1 GAL.	CONT.	2'-0"	
EY	24	Eryngium yuccifolium	Rattlesnake Master	1 GAL.	CONT.	1'-6"	

GROUND COVER PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	REMARKS
	629 sf	Arctostaphylos, Sedum & Fragaria	MIX 1	PLUG		6" O.C.	Random mix
	1492 sf	Carex pennsylvanica	MIX 2	PLUG		6" O.C.	Random mix
	206 sf	Tiarella & Carex pennsylvanica	MIX 3	PLUG		6" O.C.	Random mix
	1624 sf	Sod					



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Michigan.



1301072730

PROJECT # 2024-010
PHASE

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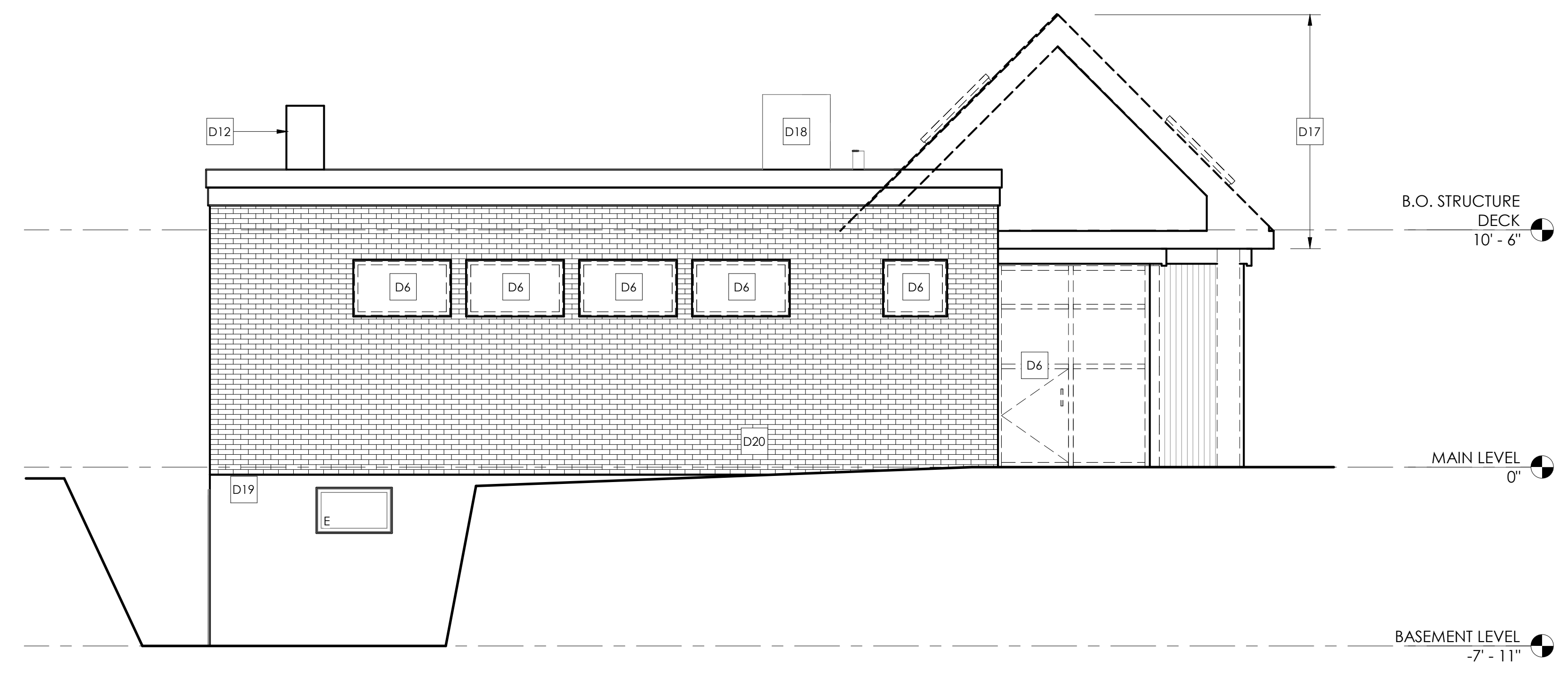
DOCUMENT ISSUANCE

Date Description
1 11.01.24 BID ISSUE

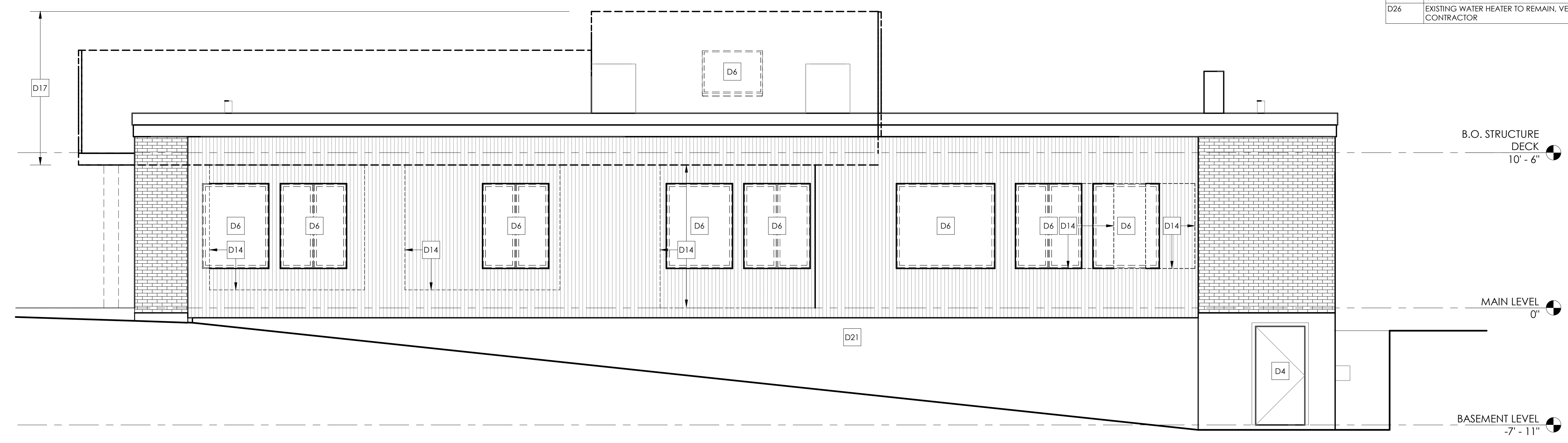
EXTERIOR ELEVATIONS DEMOLITION GENERAL NOTES:

1. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM BEING DAMAGED DURING DEMOLITION AND CONSTRUCTION PHASES. PATCH AND REPAIR ALL EXTERIOR SURFACES TO REMAIN AS REQUIRED.
2. REMOVE ALL EXISTING T-11 SIDING AND TYVEK VAPOR BARRIER UNLESS NOTED OTHERWISE.
3. REPAIR AND TUCKPOINT ALL SPALLED OR CRACKED GROUT AT BRICK WALLS. REPLACE ALL BRICK THAT IS DAMAGED BEYOND REPAIR. ASSUME WORK AT 15% OF EXTERIOR WALL SURFACE.
4. REPAIR/REPLACE ALL DAMAGED WOOD FASCIA.
5. REMOVE ALL OF SOFFIT AT UNDERSIDE OF EXISTING ROOF OVERHANG.

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D1	EXISTING FOUNDATION WALL AND FOOTINGS TO REMAIN UNLESS NOTED OTHERWISE. VERIFY EXACT DEPTH AND CONFIGURATION WHERE NEW WALLS WILL ABUT TO EXISTING FOUNDATION
D2	REMOVE CONCRETE COLUMN AND PIER FOOTING
D3	EXISTING ELECTRICAL PANELS. ELECTRICAL CONTRACTOR TO DETERMINE SCOPE OF WORK
D4	EXISTING EXTERIOR DOOR, FRAME, AND HARDWARE TO REMAIN
D5	REMOVE PORTION OF EXISTING INTERIOR WALL AS REQUIRED FOR NEW OPENINGS. SEE FLOOR PLAN FOR EXACT LOCATIONS
D6	REMOVE EXISTING WINDOW OR STOREFRONT
D7	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP OFF PIPING AS REQUIRED
D8	REMOVE EXISTING MOP SINK. MODIFY PIPING AS REQUIRED TO ACCOMMODATE NEW SINK AT JANITOR ROOM
D9	REMOVE CABINETS AND SINK. CAP OFF PLUMBING
D10	REMOVE ALL BUILT-IN SHELVING IN THIS ROOM (NOT SHOWN)
D11	REMOVE APPLIANCES. CONFIRM DISPOSAL WITH OWNER
D12	EXISTING CHIMNEY TO REMAIN. VERIFY WITH MECHANICAL CONTRACTOR
D13	VERIFY IF EXISTING PIPING IN THIS WALL (FORMER DRINKING FOUNTAIN). REMOVE AND CAP OFF PIPING
D14	REMOVE PORTION OF EXTERIOR WALL AS REQUIRED TO RECEIVE NEW WINDOWS OR STOREFRONT.
D15	EXISTING BEAM TO REMAIN
D16	COMPLETELY REMOVE VAULTED GABLE ROOF STRUCTURE AND SKYLIGHTS ABOVE EXISTING WEST ENTRANCE HALLWAY
D17	COMPLETELY REMOVE VAULTED GABLE ROOF STRUCTURE AND SKYLIGHTS
D18	EXISTING CONDENSING UNIT. MECHANICAL DESIGN-BUILD. REPAIR OR REPLACEMENT OF UNIT TBD
D19	EXISTING ELECTRICAL METER TO REMAIN
D20	EXISTING ELECTRICAL METER TO REMAIN
D21	EXISTING WATER HOOKUP TO REMAIN
D22	EXISTING HOSE BIB TO REMAIN. VERIFY WITH OWNER
D23	REMOVE MAIL SLOT AND INFILL WALL OPENING
D24	EXISTING LANDSCAPE IRRIGATION. VERIFY WITH OWNER
D25	EXISTING GAS FURNACE BOILER. VERIFY WITH MECHANICAL CONTRACTOR
D26	EXISTING WATER HEATER TO REMAIN. VERIFY WITH MECHANICAL CONTRACTOR



2 NORTH EXISTING ELEVATION
AD200 1/4" = 1'-0"



1 EAST EXISTING ELEVATION
AD200 1/4" = 1'-0"

SHEET NAME
EXTERIOR DEMOLITION ELEVATIONS

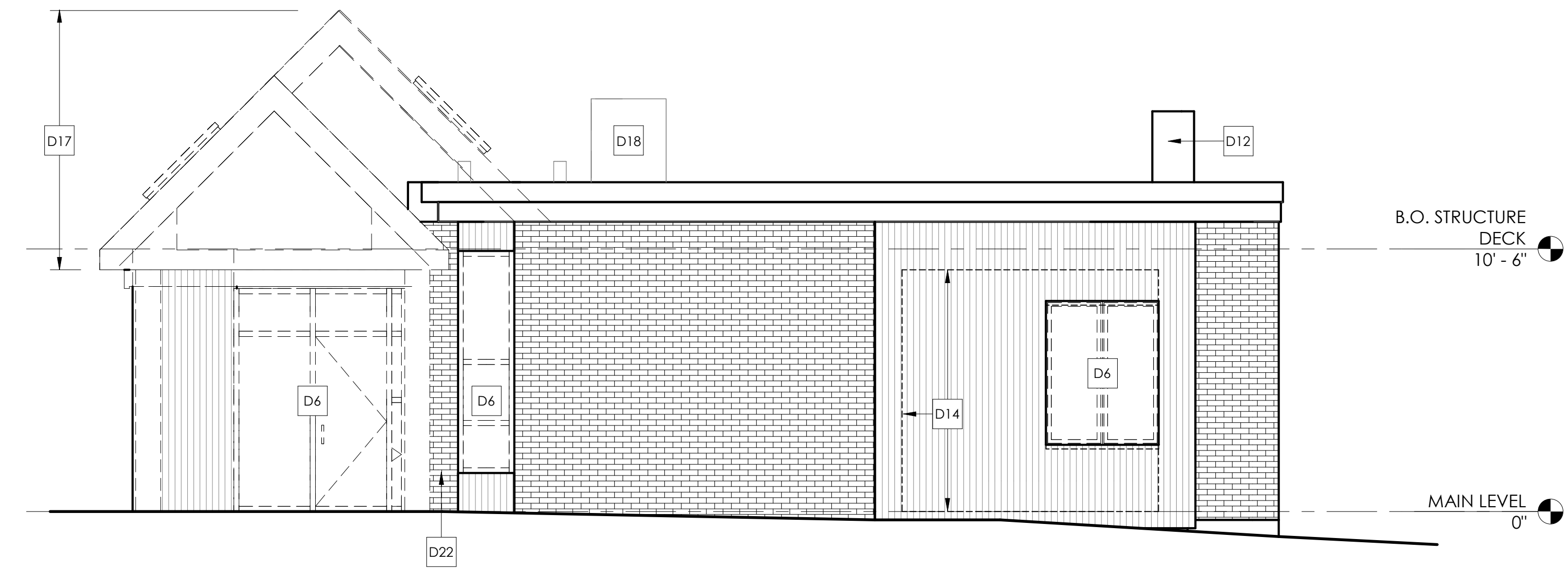
AD200

SHEET NUMBER

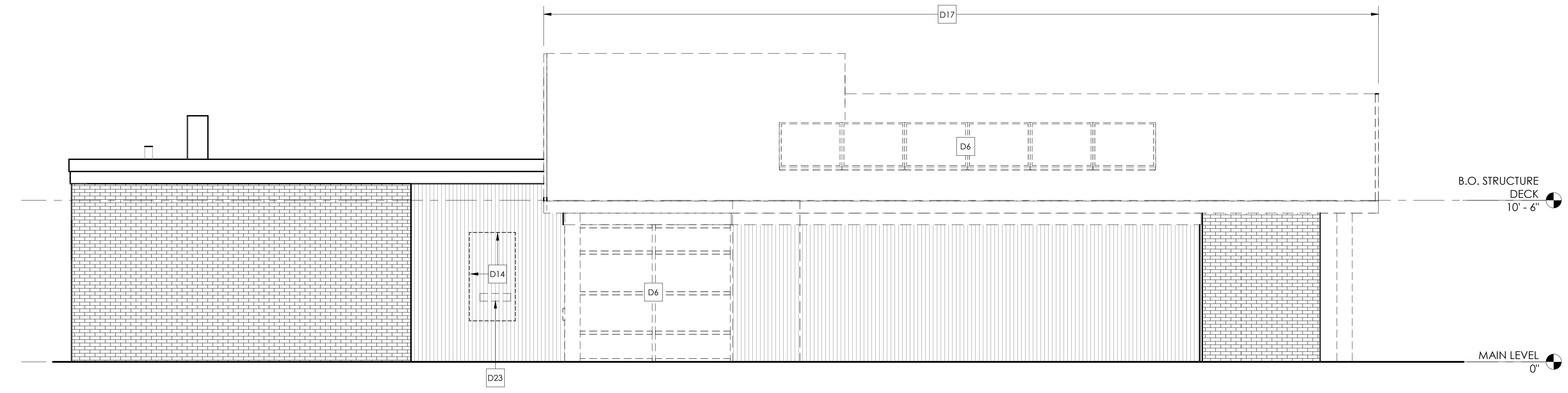
EXTERIOR ELEVATIONS DEMOLITION GENERAL NOTES:

1. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM BEING DAMAGED DURING DEMOLITION AND CONSTRUCTION PHASES. PATCH AND REPAIR ALL EXTERIOR SURFACES TO REMAIN AS REQUIRED.
2. REMOVE ALL EXISTING T-11 SIDING AND TYVEK VAPOR BARRIER UNLESS NOTED OTHERWISE.
3. REPAIR AND TUCKPOINT ALL SPALLED OR CRACKED GROUT AT BRICK WALLS. REPLACE ALL BRICK THAT IS DAMAGED BEYOND REPAIR. ASSUME WORK AT 15% OF EXTERIOR WALL SURFACE.
4. REPAIR/REPLACE ALL DAMAGED WOOD FASCIA.
5. REMOVE ALL OF SOFFIT AT UNDERSIDE OF EXISTING ROOF OVERHANG.

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D1	EXISTING FOUNDATION WALL AND FOOTINGS TO REMAIN UNLESS NOTED OTHERWISE. VERIFY EXACT DEPTH AND CONFIGURATION WHERE NEW WALLS WILL ABUT TO EXISTING FOUNDATION
D2	REMOVE CONCRETE COLUMN AND PIER FOOTING
D3	EXISTING ELECTRICAL PANELS. ELECTRICAL CONTRACTOR TO DETERMINE SCOPE OF WORK
D4	EXISTING EXTERIOR DOOR, FRAME, AND HARDWARE TO REMAIN
D5	REMOVE PORTION OF EXISTING INTERIOR WALL AS REQUIRED FOR NEW OPENINGS. SEE FLOOR PLAN FOR EXACT LOCATIONS
D6	REMOVE EXISTING WINDOW OR STOREFRONT
D7	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP OFF PIPING AS REQUIRED
D8	REMOVE EXISTING MOP SINK. MODIFY PIPING AS REQUIRED TO ACCOMMODATE NEW SINK AT JANITOR ROOM
D9	REMOVE CABINETS AND SINK. CAP OFF PLUMBING
D10	REMOVE ALL BUILT-IN SHELVING IN THIS ROOM (NOT SHOWN)
D11	REMOVE APPLIANCES. CONFIRM DISPOSAL WITH OWNER
D12	EXISTING CHIMNEY TO REMAIN. VERIFY WITH MECHANICAL CONTRACTOR
D13	VERIFY IF EXISTING PIPING IN THIS WALL (FORMER DRINKING FOUNTAIN). REMOVE AND CAP OFF PIPING
D14	REMOVE PORTION OF EXTERIOR WALL AS REQUIRED TO RECEIVE NEW WINDOWS OR STOREFRONT.
D15	EXISTING BEAM TO REMAIN
D16	COMPLETELY REMOVE VAULTED GABLE ROOF STRUCTURE AND SKYLIGHTS ABOVE EXISTING WEST ENTRANCE HALLWAY
D17	COMPLETELY REMOVE VAULTED GABLE ROOF STRUCTURE AND SKYLIGHTS
D18	EXISTING CONDENSING UNIT. MECHANICAL DESIGN-BUILD. REPAIR OR REPLACEMENT OF UNIT TBD
D19	EXISTING ELECTRICAL METER TO REMAIN
D20	EXISTING ELECTRICAL METER TO REMAIN
D21	EXISTING WATER HOOKUP TO REMAIN
D22	EXISTING HOSE BIB TO REMAIN. VERIFY WITH OWNER
D23	REMOVE MAIL SLOT AND INFILL WALL OPENING
D24	EXISTING LANDSCAPE IRRIGATION. VERIFY WITH OWNER
D25	EXISTING GAS FURNACE BOILER. VERIFY WITH MECHANICAL CONTRACTOR
D26	EXISTING WATER HEATER TO REMAIN. VERIFY WITH MECHANICAL CONTRACTOR



2 SOUTH EXISTING ELEVATION
AD201 1/4" = 1'-0"



1 WEST EXISTING ELEVATION
AD201 1/4" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Michigan.

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PHASE

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DOCUMENT ISSUANCE

Date Description
1 11.01.24 BID ISSUE

SHEET NAME
EXTERIOR DEMOLITION ELEVATIONS

AD201

SHEET NUMBER

MARQUETTE CULTURAL CENTER

501 S Front St
Marquette, MI 49855

PROJECT TEAM

STRUCTURAL
GEI CONSULTANTS
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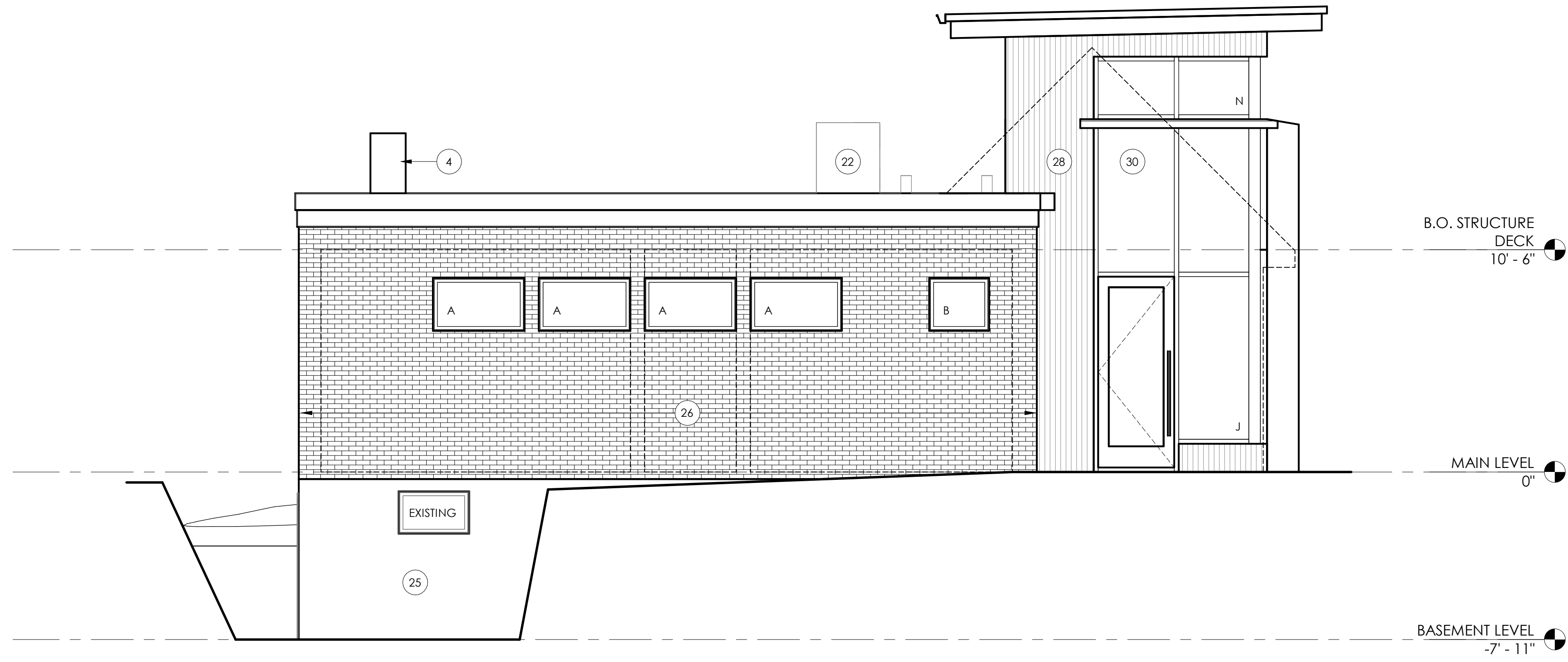
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GENERAL NOTES:

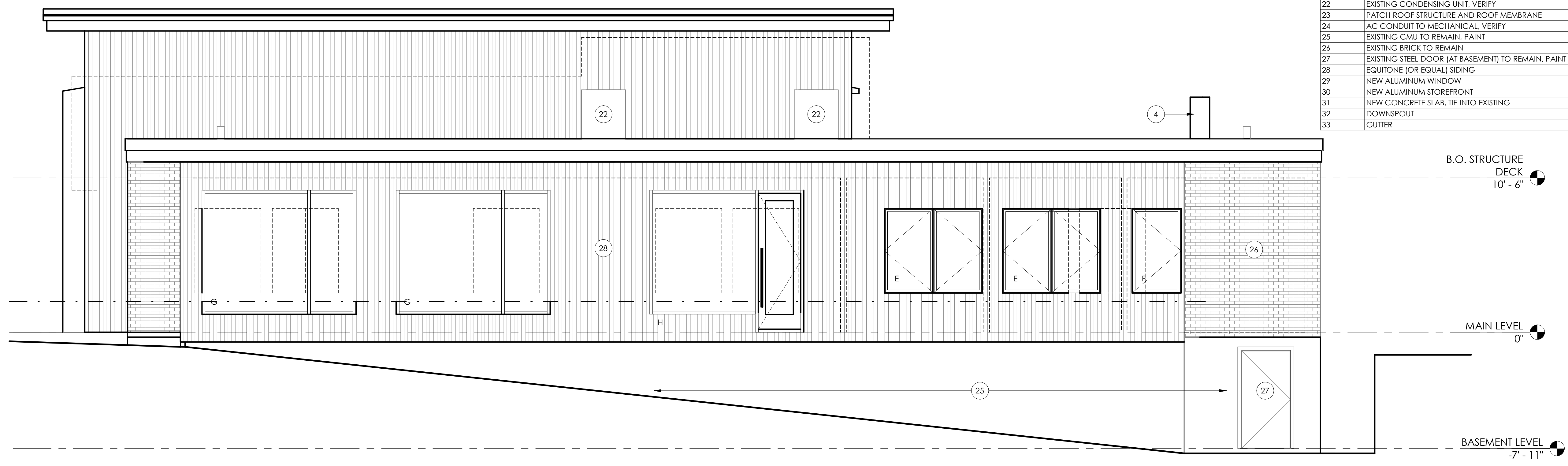
- MECHANICAL AND ELECTRICAL SYSTEMS TO BE DESIGN-BUILD AND FOLLOW ALL APPLICABLE CODES. SEE MEP DESIGN NARRATIVE.
- STRUCTURAL DESIGN TO BE DESIGN-BUILD BY THE GENERAL CONTRACTOR AND FOLLOW ALL APPLICABLE CODES.
- NEW FIRE SUPPRESSION SYSTEM (FIRE ALARM, SPRINKLER LAYOUT, ETC) TO BE DESIGN-BUILD AND FOLLOW ALL APPLICABLE CODES.
- ALL EXTERIOR WALLS ARE TYPE E3 UNO.
- ALL INTERIOR WALLS ARE TYPE W1 UNO.
- EXTERIOR WALL DIMENSIONS ARE MEASURED FROM FACE OF EXISTING EXTERIOR WALL FINISH OR SHEATHING UNO.
- INTERIOR WALL DIMENSIONS ARE MEASURED FROM FACE OF EXISTING INTERIOR WALL FINISH OR FACE OF STUD UNO.
- LOCATE ALL INTERIOR DOORS SO THE DOOR OPENING IS 4 INCHES FROM INTERIOR WALL CORNER TO ENSURE 90 DEGREE MINIMUM SWING WHEN DOOR IS OPEN.
- TUCKPOINT CRACKS IN EXISTING CMU AND BRICK WALLS.

KEYNOTES	
NUMBER	DESCRIPTION

1	NEW FOOTING AND FOUNDATION. VERIFY EXISTING CONDITIONS
2	RIGID INSULATION AT FACE OF EXISTING FOUNDATION WALL, EXTEND MIN 4FT PAST EXISTING CORNER
3	EXISTING COLUMN - VERIFY EXACT LOCATION, SIZE, AND TYPE
4	EXISTING CHIMNEY (FOR BASEMENT WATER HEATER) TO REMAIN, VERIFY WITH MECHANICAL CONTRACTOR
5	AQUAFIRE 2.40" WATER VAPOR FIREPLACE INSERT
6	BUILT-IN WOOD SHELVING
7	LEAD FILTRATION BOTTLE FILLER AND DRINKING FOUNTAIN
8	FOLD-DOWN ADULT CHANGING STATION
9	FOLD-DOWN BABY CHANGING STATION
10	P.LAM. COUNTER WITH 12" DEEP ADJUSTABLE SHELVING ABOVE
11	COPIER- BY OWNER, PROVIDE POWER AND NETWORK CONNECTION
12	COUNTER, BASE AND UPPER CABINETS
13	COUNTER WITH BASE CABINET
14	UNDER-COUNTER MICROWAVE
15	REFRIGERATOR- 30" WIDE
16	FLOOR-MOUNTED MOP SINK
17	SERVICE SINK
18	PROJECTION WALL: CLASS 5 FINISH WITH REFLECTIVE PAINT
19	GYP BD SOFFIT
20	EXISTING VENT PIPE, VERIFY WITH MECHANICAL CONTRACTOR
21	MEMBRANE ROOFING WITH CINDER BLOCK BALLASTS, 3 TO 5 FT APART
22	EXISTING CONDENSING UNIT, VERIFY
23	PATCH ROOF STRUCTURE AND ROOF MEMBRANE
24	AC CONDUIT TO MECHANICAL, VERIFY
25	EXISTING CMU TO REMAIN, PAINT
26	EXISTING BRICK TO REMAIN
27	EXISTING STEEL DOOR (AT BASEMENT) TO REMAIN, PAINT
28	EQUITONE (OR EQUAL) SIDING
29	NEW ALUMINUM WINDOW
30	NEW ALUMINUM STOREFRONT
31	NEW CONCRETE SLAB, TIE INTO EXISTING
32	DOWNSPOUT
33	GUTTER



2 NORTH ELEVATION
A200 1/4" = 1'-0"



1 EAST ELEVATION
A200 1/4" = 1'-0"

SHEET NAME
EXTERIOR ELEVATIONS

A200

SHEET NUMBER

MARQUETTE CULTURAL CENTER

501 S Front St
Marquette, MI 49855

PROJECT TEAM

STRUCTURAL

GEI CONSULTANTS
109 W. BARAGA AVE
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CIVIL ENGINEERING

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MATTHEW TUCKER
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MATT@URBANECOSYSTEMS.COM

GENERAL NOTES:

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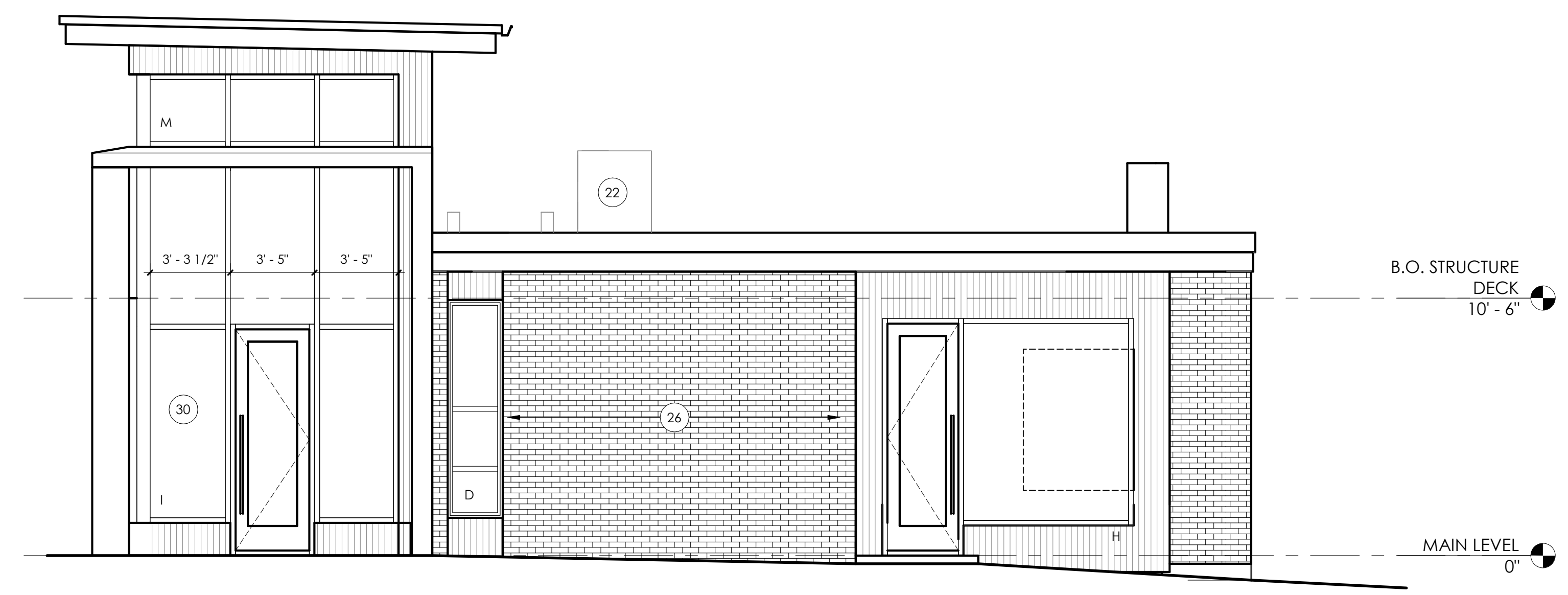
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PROJECT # 2024-010
PHASE

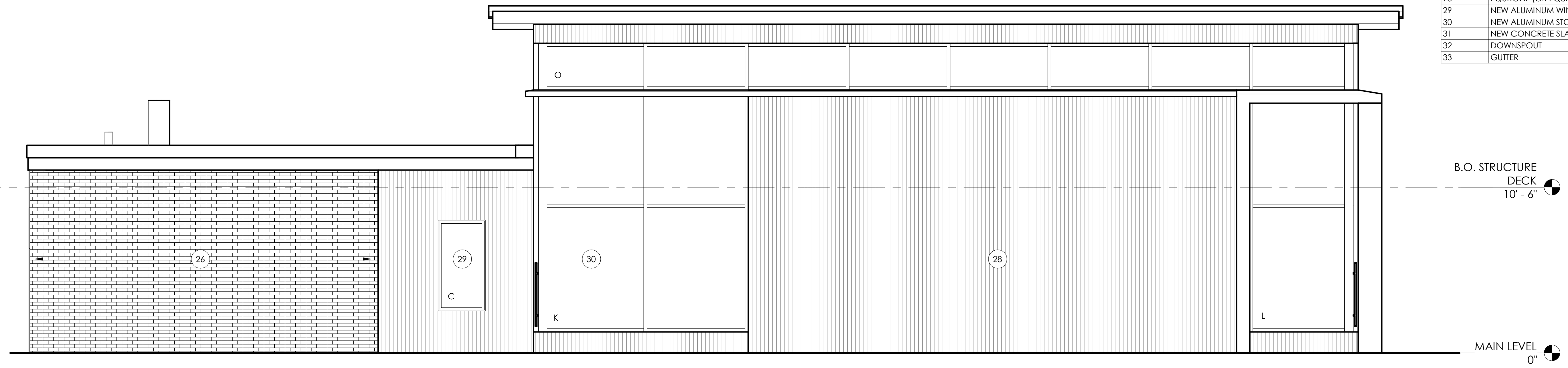
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2 SOUTH ELEVATION
A201 1/4" = 1'-0"



1 WEST ELEVATION
A201 1/4" = 1'-0"

SHEET NAME
EXTERIOR ELEVATIONS

A201

SHEET NUMBER

MARQUETTE CULTURAL CENTER

501 S Front St
Marquette, MI 49855

PROJECT TEAM

STRUCTURAL

GEI CONSULTANTS
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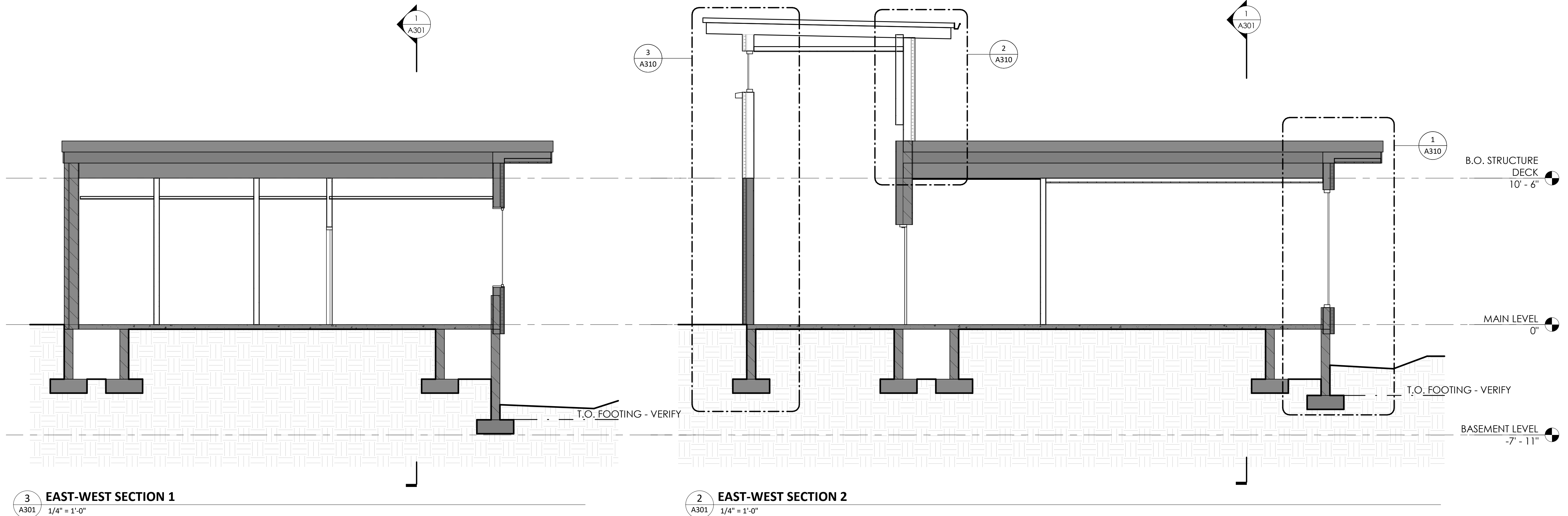
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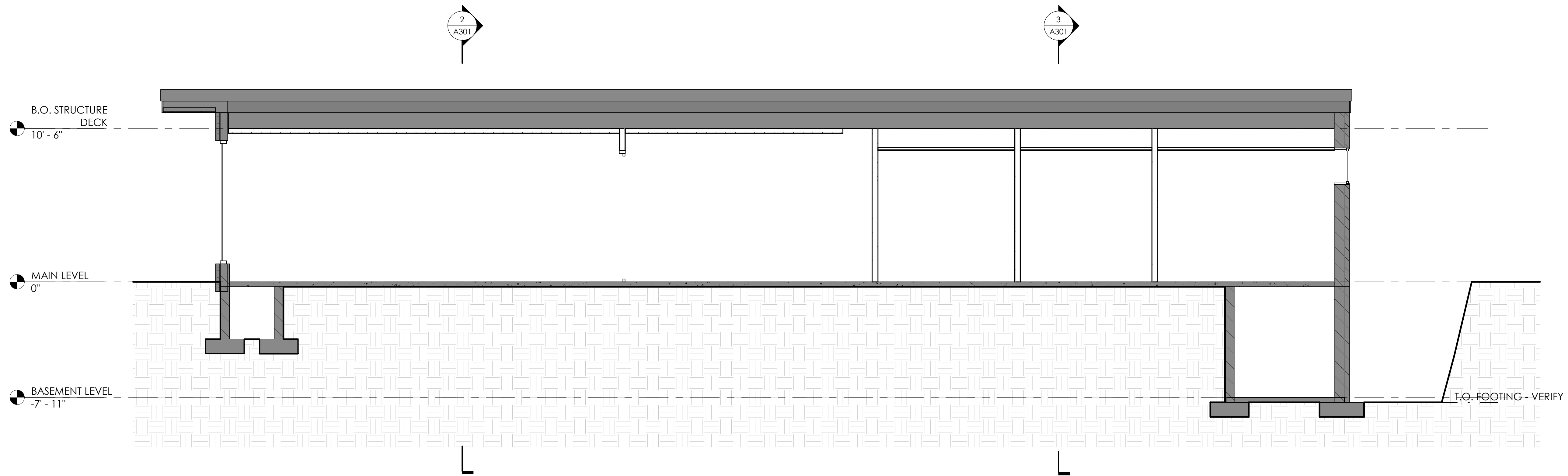
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Date Description
1 11.01.24 BID ISSUE



3 EAST-WEST SECTION 1
A301 1/4" = 1'-0"

2 EAST-WEST SECTION 2
A301 1/4" = 1'-0"



1 NORTH-SOUTH SECTION
A301 1/4" = 1'-0"

SHEET NAME
BUILDING SECTIONS

A301

SHEET NUMBER

MARQUETTE CULTURAL CENTER

501 S Front St
Marquette, MI 49855

PROJECT TEAM

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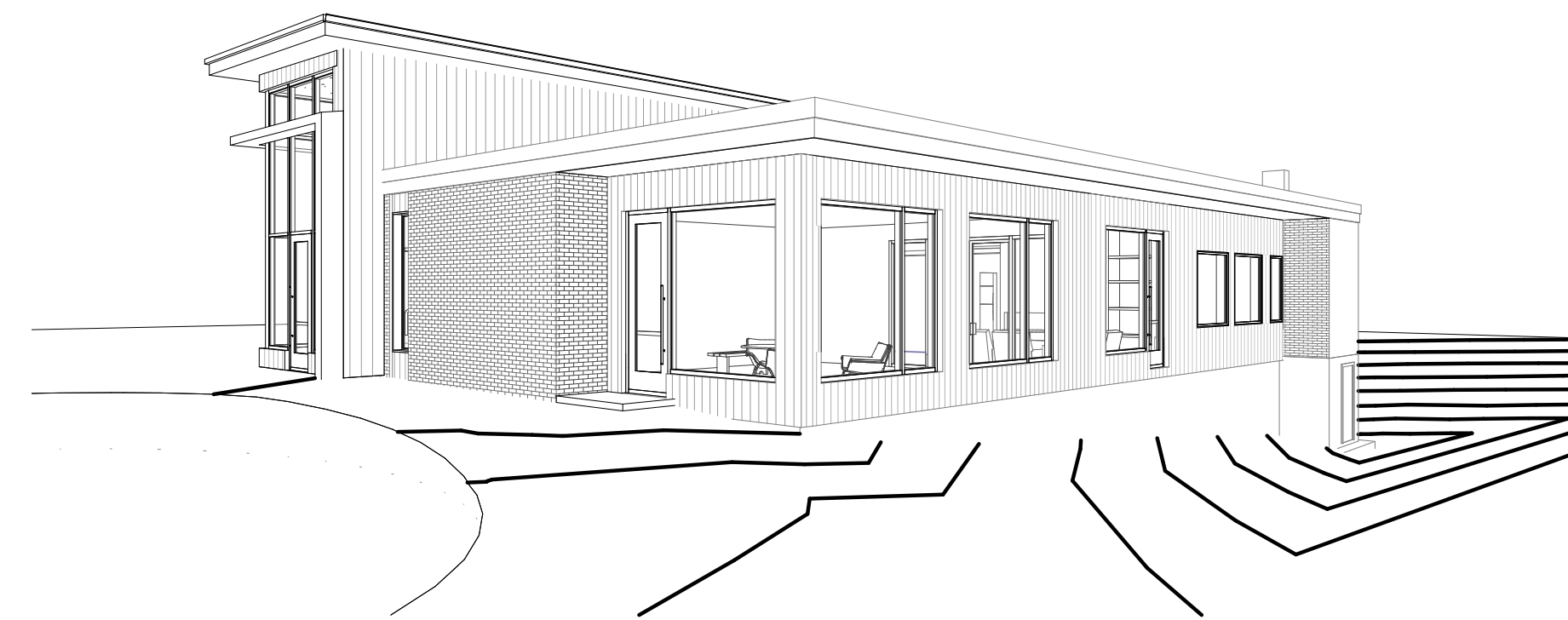
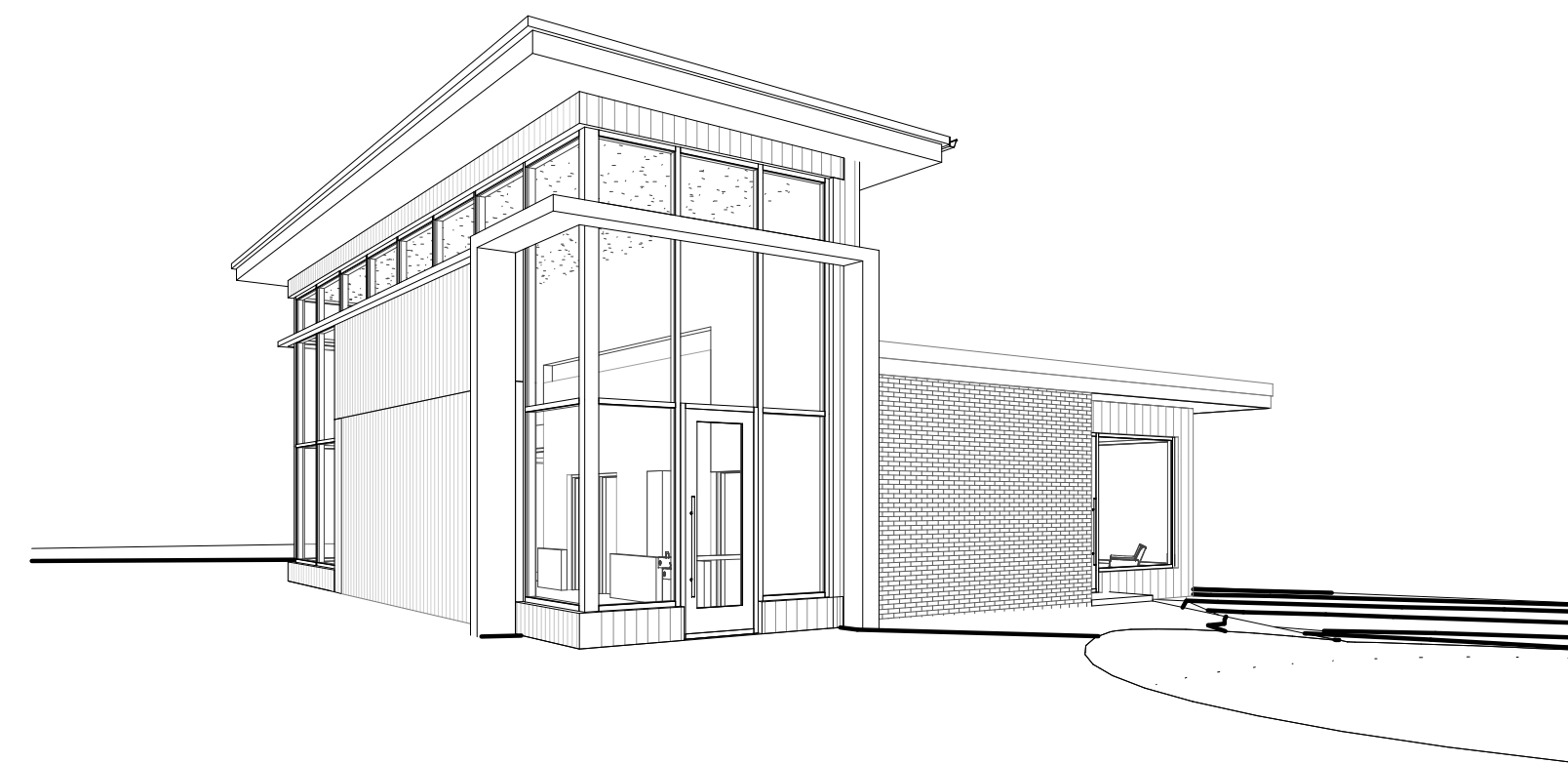
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#	Date	Description
1	11.01.24	BID ISSUE



SHEET NAME

3D VIEWS

A900

SHEET NUMBER



CITY OF MARQUETTE
PLANNING AND ZONING
1100 Wright Street
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Planning Commission
FROM: Dave Stensaas, City Planner and Zoning Administrator
DATE: November 15, 2024
SUBJECT: Work Session – Land Development Code Amendments

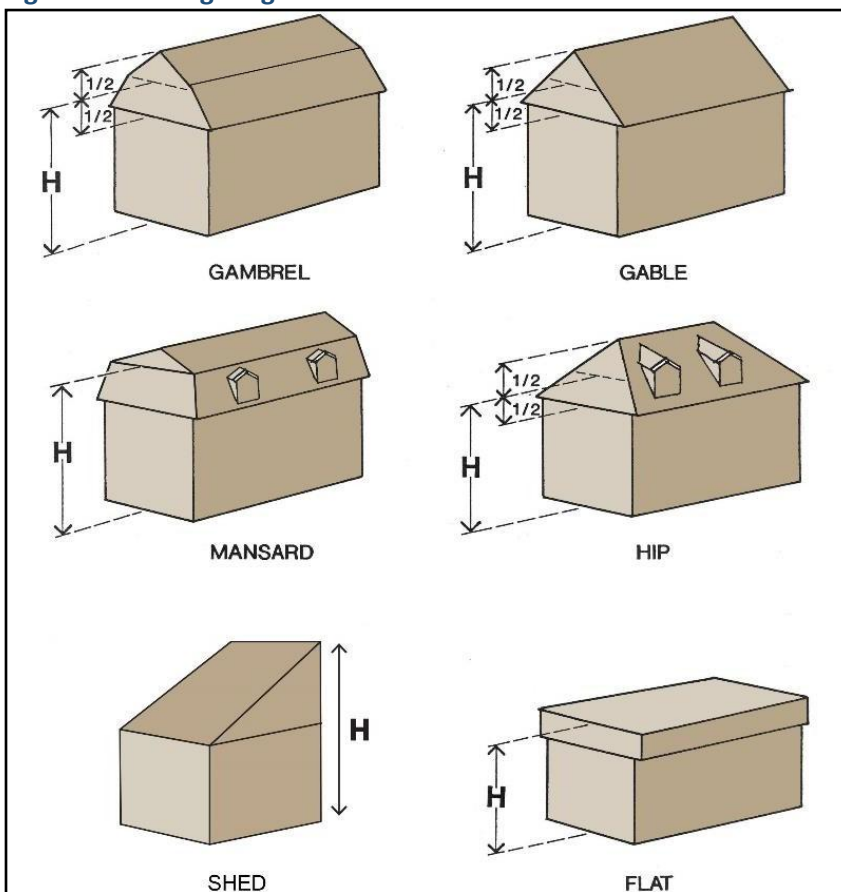
Staff and the Planning Commission (PC) will begin to work on another set of amendments to the Land Development Code (LDC). This effort will likely continue until early spring of 2025. A document of proposed amendments follows.

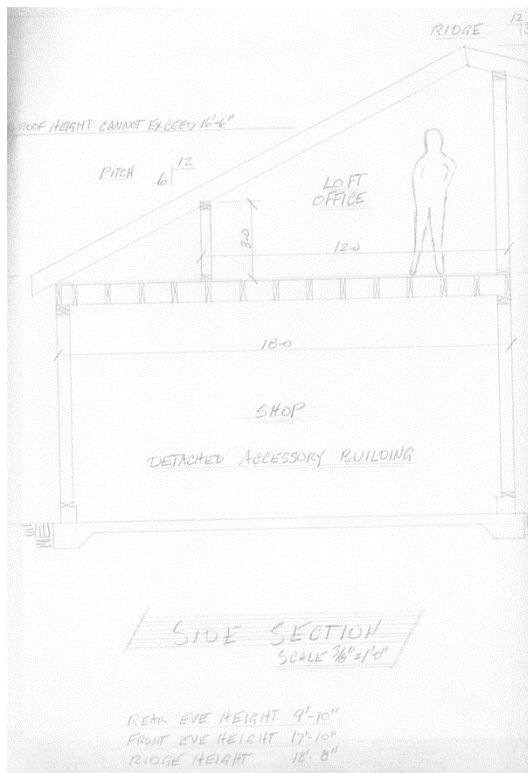
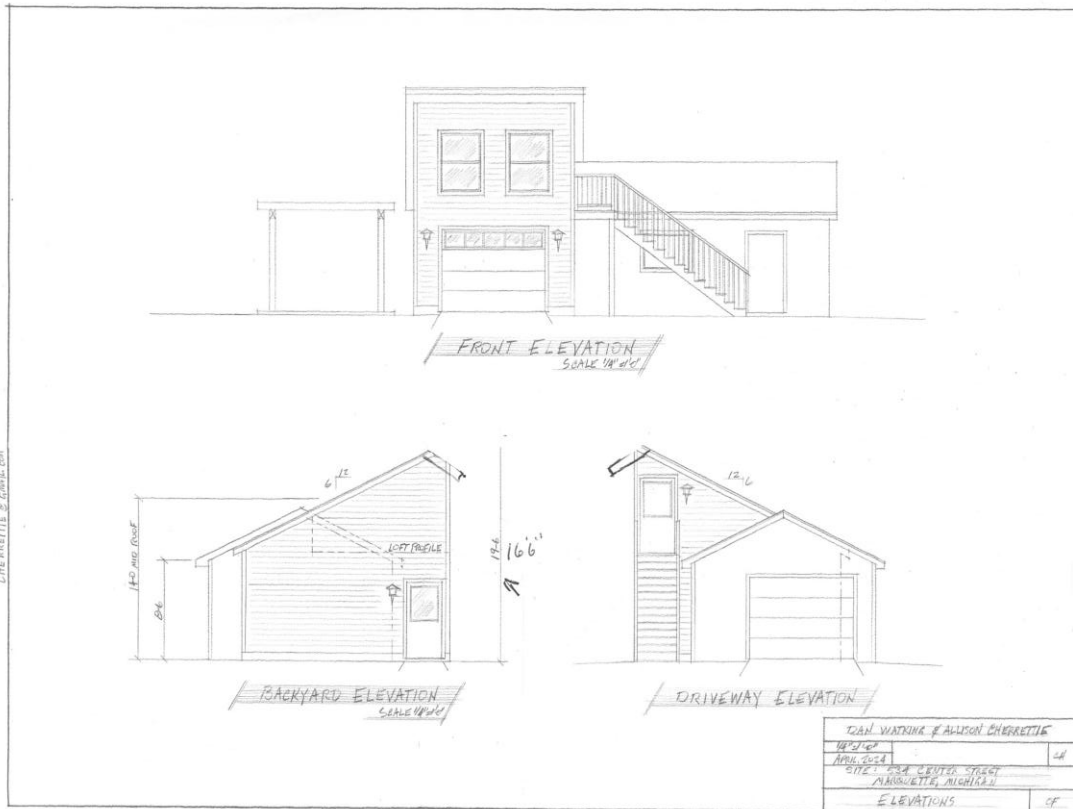
Land Development Code language for Discussion at the 11-19-24, Planning Commission meeting

Building Height Definition for asymmetrical gable roof

(34) **Building, Height:** The vertical distance between the average grade (see definition of "Grade") and the highest point of the roof surface for flat roofs; to the deck line of Mansard roofs; the average height between eaves and ridge for gable, hip, and gambrel roofs; and the maximum height of the highest wall for a shed roof. (See [Figure 2. Building Height](#)). **Asymmetrical gable roofs will be measured from the longest roof – the vertical distance between the average grade and the average height between eaves and ridge.**

Figure 2. Building Height





Discussion: A person asked if the pictures above would count as a gable roof and be measured as such with the LDC building height definition. Per the Zoning Administrator we do not differentiate between symmetrical and asymmetrical gable roofs, so this would count. We would measure the longest roof with the midpoint (average height between eaves and ridge to the average grade). So, we thought we should clarify this in the definition.

Add our Policy to the LDC

Section 54.503 Condominium Developments

- (A) **Intent and Application.** The following regulations shall apply to all condominium and site condominium developments within the City of Marquette.
- (B) **Site Condominiums.** Pursuant to authority conferred by Section 241 (Law, Ordinance, or Regulation of Local Unit of Government) of the Condominium Act, as amended, all site condominiums must be approved by the City Commission following review and recommendation for approval by the Planning Commission. In determining whether to recommend a site condominium for approval to the City Commission, the Planning Commission shall consult with and receive a written response from the Planning Director, City Attorney, City Engineer, and Zoning Administrator regarding the adequacy of the master deed, deed restrictions, utility systems and street, development layout and design and compliance with all requirements of the Condominium Act and the Land Development Code.
- (1) **Notice.** Prior to the Planning Commission meeting, a notice shall be sent by mail or personal delivery to the contiguous adjacent property owners, and the adjacent property owners from the site access point (this includes those across the street from the site access point).

A site condominium request is not a public hearing, it is a new business item like site plan review. It has been our policy to send a notice as stated above, and we would like to add it to the LDC.

Residential Limited Animal Keeping

Section 54.643 Residential Limited Animal Keeping.

- (A) **Requirements Applicable to Residential Limited Animal Keeping of Female Chickens (Hens).** In addition to the requirements of [Section 54.642\(A\)](#), the following shall apply to the Residential Limited Animal Keeping of hens:
- (1) **Maximum Number of Hens.** A maximum of six (6) hens per single-family or two-family dwelling unit may be kept.
 - (2) **Male Chickens (Roosters) Prohibited.** Male chickens (roosters) are prohibited.
 - (3) **Prohibited Locations of Keeping Hens.** Hens are prohibited in a residence, porch, or attached garage.
 - (4) **Keeping of Hens Required on the Lot.** Hens must be confined to the lot.

- (5) **Enclosure Housing for Hens.** Enclosed housing for hens (the hen house or coop) is prohibited in a front yard. Enclosed housing must be fully enclosed, roofed, and provide at least one (1) square foot of indoor usable floor space per animal. Enclosed housing must be designed to discourage rodents, dogs, cats, and wildlife from gaining entry.
- (6) **Access to Fresh Water.** Fresh water must be provided for hens at all times.
- (7) **Outdoor Usable Space for Hens.** Outdoor usable space (a run) of at least two (2) square feet per hen must be provided and be attached to the coop. Outdoor usable space must be enclosed to prevent hens from leaving the lot and must not be located in a front yard.
 - (a) **If the outdoor space is just enclosed with a fence, it has to meet Section 54.706(C)(1) for the LDR or MDR zoning district requirements.**
 - (b) **If the outdoor space has a roof or cover, then it has to meet Section 54.705(A) for the LDR or MDR zoning district requirements.**
- (8) **Setback of Housing for Hens.** Enclosed housing for hens must meet the same setback requirements for accessory buildings ([Section 54.705\(A\)](#)), except that the enclosed housing must be set back at least 20 feet from a principal building on an adjoining property. Mobile chicken housing must meet the required setbacks at all times.



If the run has fence material and a roof on top, we should add something that allows it to be an accessory structure and a height of 16.5 would be allowed. Right now, if it is fencing the max height is 6-ft in the rear yard.

Directional Signs

Section 54.1103 Definitions

(11) Directional Sign. A non-commercial sign that is designed and erected to safely direct the flow of vehicular, pedestrian, and boat traffic, including emergency response vehicles and personnel. Inclusion of a business name or logo on a directional sign is not commercial advertising as that is needed to help identify and direct vehicles and pedestrians to a location.

Section 54.1107 Exempt Signs Permitted in All Zoning Districts

(J) Non-commercial directional signs on public property by a public agency with jurisdiction over the property, the purpose of which is to promote safety for vehicles and pedestrians (including emergency responders). For all other properties, the maximum sizes of permitted noncommercial directional signs, which are constructed for the purpose of promoting safety for vehicles and pedestrians (including emergency responders), are based on the following table:

Site Area	Square Feet of Signage per 1,000 Square Feet of Site Area	Maximum Size of Any One Sign
Under 50,000 square feet	0.75 square feet/1,000 square feet	4 square feet
50,000 to 100,000 square feet	0.50 square feet/1,000 square feet	8 square feet
100,000 to 200,000 square feet	0.35 square feet/1,000 square feet	16 square feet
Over 200,000 square feet	0.15 square feet/1,000 square feet	20 square feet

This needed to be defined to allow for it.

Approval Period Expiration Date and New language for Expansion

Section 54.1202 Nonconforming Uses and Structures

If a structure or the use of a structure or of the land is lawful at the time of enactment of this Ordinance or an amendment to this Ordinances, then that structure or use may be continued although the structure or use does not conform to the Ordinance or amendment. The following sub-sections contain provisions for: classifications of different nonconforming uses and structures; repairs; maintenance; discontinuance; substitutions; expansions; and reconstruction of nonconforming structures and uses:

- (A) Classifications of Nonconforming Uses and Structures.** Pursuant to Section 208 of the Michigan Zoning Enabling Act (Public Act 110 of 2006, as amended), the City of Marquette establishes different classifications of nonconforming uses and structures as defined and provided for in this article. Class A Nonconforming Uses and Structures are regulated in [Section 54.1202\(B\)](#), and Class B Nonconforming Uses and Structures are regulated in

[Section 54.1202\(C\)](#):

(B) Regulations Pertaining to Class A Nonconforming Use or Structure Designation.

(1) Class A Nonconforming Uses and Structures. Class A Nonconforming Uses or Structures are:

(a) One- and Two-Family Uses and Structures. One- and two-family uses and structures that are nonconforming may be maintained, repaired, altered, or added to as long as they remain otherwise conforming or reduce the extent of the nonconforming portion of the structure. Additions or alterations to the exterior of the structure shall conform to all requirements of this Ordinance.

(i) Exception: Two single-family structures on one lot/parcel are considered Class B Nonconforming and would need to get approval from the BZA to be classified as Class A Nonconforming.

(b) Nonconforming Uses or Structures Designated by the Board of Zoning Appeals as Class A Nonconforming Uses or Structures. To qualify as a Class A Nonconforming Use or Structure, the Board of Zoning Appeals must make affirmative findings on all of the following:

(i) Continuance thereof would not be contrary to the public health, the safety, or welfare, or to the spirit of this Ordinance.

(ii) The use of structure does not and is not likely to significantly depress the value of nearby properties.

(iii) The use or structures was lawful at the time of its inception.

(iv) No useful purpose would be served by strict application of the provisions or requirements of this Ordinance with which the use or structures does not conform. All nonconforming uses and structures not designated as Class A are Class B nonconforming uses or structures. Class A or Class B designations do not apply to nonconforming lots ([Section 54.1203](#)).

(2) Procedure for Obtaining Class A Designation and Expansion of Class A Designation Conditions. A written application shall be filed setting forth the name and address of the applicant, stating the nonconformity's applicability to [Section 54.1202\(B\)\(1\)](#), giving a legal description of the property to which the application pertains, and including such other information as may be necessary to enable the Board of Zoning Appeals to make a determination of the matter. The notice and hearing procedure before the Board of Zoning Appeals shall be the same as in [Section 54.1406](#). The decision shall be in writing and shall set forth the findings and reasons on which it is based. Conditions shall be attached, including any time limit, where necessary to assure that the use or structure does not become contrary to the public health, safety, or welfare of the spirit and purpose of this Ordinance. No vested interest shall arise out of a Class A designation except as permitted by this article.

- (3) **Revocation of Class A Designation or Expansion of Class A Designation.** Any Class A designation shall be revoked, following the same procedure required for designation, upon a finding that as a result of any change of conditions or circumstances the use or structure no longer qualifies for Class A designation.
- (4) **Regulations Pertaining to Class A Nonconforming Uses and Structures.** No Class A nonconforming use shall be resumed if it has been discontinued for a continuous period of at least 18 months or if it has been changed to a conforming use for any period of time. No Class A structure shall be used, altered, or enlarged in violation of any condition imposed in its designation.
- (5) **Expansion of a Class A Nonconforming Use and Structure.** No Class A use or structure shall be expanded unless they receive approval from the Board of Zoning Appeals.
- (a) **To qualify for an Expansion of a Class A Nonconforming Use or Structure,** the Board of Zoning Appeals must make affirmative findings on all of the following:
- (i) Continuation and expansion thereof would not be contrary to the public health, the safety, or welfare, or to the spirit of this Ordinance.
 - (ii) The expansion of the use and/or structure does not and is not likely to significantly depress the value of nearby properties.
 - (iii) The use or structures was lawful at the time of its inception.
 - (iv) No useful purpose would be served by strict application of the provisions or requirements of this Ordinance with which the use or structures does not conform.
- (b) **Approval Period.** If the petitioner has not obtained a Zoning Permit, obtained a Building Permit and commenced construction to implement an Expansion of a Class A Nonconforming Use or Structure within one (1) year of the date of its approval by the Board of Zoning Appeals, said an Expansion of a Class A Nonconforming Use or Structure shall expire. The Board of Zoning Appeals, upon application made before expiration, may grant an extension of not more than one (1) year from the expiration date. The Board Zoning Appeals, at its discretion, may schedule a public hearing in accordance with [Section 54.1406](#) prior to granting an extension. Not more than two (2) such extensions may be granted.

For Expansions of Class A we wanted to add language for the review and expiration for the approval period.

Adding uses that were missing

Section 54.322 Third Street Corridor District Form-Based Code

- (hh) Use, Commerce:** for the purpose of the Third Street Corridor District, commerce uses shall be considered to encompass all of the following:
- (i)** Executive, Administrative, and Professional Offices
 - (ii)** Medical and Dental Offices, and Clinics
 - (iii)** Day Care Centers
 - (iv)** On-premise Alcohol Sales
 - (v)** Sidewalk Cafes
 - (vi)** Outdoor Food and Beverage Service
 - (vii)** Outdoor Recreation
 - (viii)** All of the Civic Use Categories
 - (ix)** All of the Retail Use Categories
 - (x)** Parking Facilities and Structures, including a parking lot attendant shelter.

(mm) Use, Retail: shall be considered to encompass all of the following:

- (i) Retail Service:** establishments providing services, as opposed to products, to the general public, including restaurants, bars, finance, real estate and insurance, travel agencies, health and educational services, galleries, and temporary storage of recreational equipment, provided that the temporary storage is ancillary to the primary retail service.
- (ii) Retail Specialty:** Include, but are not limited to the sale of gifts, antiques, flowers, books, jewelry, wearing apparel or craft shops making articles exclusively for sale at retail on the premises.
- (iii) Retail Trade:** Establishments engaged in selling new goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

Figure 24: Table of Permitted Land Uses and Special Land Uses in the TSC District will be updated to add bars, sidewalk cafes on private property, medical and dental offices.

Flag signs

Section 54.1107 Exempt Signs Permitted in All Zoning Districts

Certificates of Zoning Compliance shall not be required for the following signs provided that said signs meet all other requirements of this Ordinance, including but not limited to those in [Section 54.1109](#). Approval of the property owner is required prior to the erection of a sign. It is the

responsibility of the party erecting the sign to determine if a building permit is required.

- (K) Any number of noncommercial flags may be located on any site. Only one (1) commercial flag or pennant may be displayed and shall not exceed 45 sq. ft. in area. Support structures shall meet the requirements of either a freestanding flagpole or a wall-mounted flagpole.

Should we allow for more flag/pennant signs.



Intentional Community Dwelling

(111) Intentional Community: A planned residential community designed to have a high degree of social cohesion. The members of an intentional community typically have common interests, which may be an organizing factor, such as a social, religious, or spiritual philosophy, and are likely to share responsibilities and resources. Intentional communities include cooperative housing communities, communes, convents, eco-villages, and housing cooperatives. Property may be owned collectively, and/or new members of an intentional community may be selected by the community's existing membership.

Section 54.614 Dwelling, Intentional Community

- (A) **Maximum Occupancy.** Occupancy of an Intentional Community Dwelling shall not exceed more than one person per 200 square feet of habitable space
- (B) **Parking.** Each applicant for an Intentional Community Dwelling shall prepare a parking management plan. The plan shall limit the number of automobiles to be parked in the public right-of-way to three (3).
- (C) **Conversion from Single-Family Residential Buildings.** When an Intentional Community Dwelling is established within a single-family dwelling, the single-family appearance and function of the building shall not be altered through the addition of separate entrances or kitchens.
- (D) **Conversion from Duplex and Multi-Family Residential Buildings.** When two-family

and multi- family buildings are converted into an Intentional Community Dwelling, the entire building must remain an Intentional Community Dwelling while any portion of it is so occupied.

- (E) **Proximity to Other Intentional Community Dwellings.** The lot on which an Intentional Community Dwelling is located shall not be within 1,500 feet from a lot on which another Intentional Community Dwelling is located, but the Planning Commission may permit two (2) Intentional Community Dwelling units to be located closer than 1,500 feet apart if they are separated by a major physical barrier, including, without limitation, an arterial street, a commercial district, or a topographic feature that avoids the need for dispersal.
- (F) **Violations.** No person shall occupy an Intentional Community Dwelling in violation of this section or intentionally or negligently misrepresent the permitted occupancy of a dwelling unit in violation of this section.
- (G) **Revocation.** Violation of this Ordinance or any conditions of approval required by the Planning Commission shall be grounds for revocation of the Special Land Use Permit in accordance with this Ordinance.

Section 54.306 Permitted Uses by District

Figure 8. Table of Permitted Land Uses and Special Land Uses by Zoning District

Key: P=Permitted S=Special Land Use [blank]=Use Not Permitted

Land Use	LDR	MDR	MFR	MHP	MU	CBD	GC	RC	M	C	I-M	CR	BLP	Use Standards
	Residential Uses													
Adult Foster Care, Family Home	P	P	P	P	P	P								
Adult Foster Care, Large Group Home			S											Section 54.602
Adult Foster Care, Small Group Home	P	P	P		P									Section 54.602
Child or Day Care, Family Home	P	P	P	P	P	P								
Child or Day Care, Group Home	P	P	P		P									Section 54.608
Dwelling, Accessory Unit	P	P	P		P	P								Section 54.612
Dwelling, Intentional Community	S	S	S		S	S								Section 54.614
Dwelling, Live/Work					P	P								Section 54.615
Dwelling, Multiple-Family, 5+ dwelling units			P		P	P								Section 54.616
Dwelling, Single-Family Attached			P		P	S								
Dwelling, Single-Family Detached	P	P	P		P	S								Section 54.617
Dwelling, Two-Family (Duplex)	P	P	P		P	P								Section 54.613
Dwelling, Triplex	S	P	P		P	P								
Dwelling, Quadplex	S	S	P		P	P								
Foster Family Group Home	S	S	S		S	S								
Foster Family Home	P	P	P		P	P								
Home Occupation	P	P	P		P	P								Section 54.621
Home Office	P	P	P		P	P								Section 54.622
Mobile Home Park				P										Section 54.631
Nursing Home, Convalescent Home, Extended Care Facility, Assisted Living Facility			S		S	S								Section 54.633
Residential Limited Animal Keeping	P	P												Section 54.643