

∞ AGENDA ∞

MARQUETTE CITY PLANNING COMMISSION
Tuesday, November 12th, 2024, at 6:00 p.m.
Commission Chambers at City Hall – 300 W. Baraga Ave.

MEETING CALLED TO ORDER

- 1) ROLL CALL
- 2) APPROVE AGENDA
- 3) APPROVE MINUTES: **Minutes of 10-01-24 Special Meeting**
- 4) CONFLICT of INTEREST

1. PUBLIC HEARINGS
2. CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS
3. OLD BUSINESS
4. NEW BUSINESS

A. 16-SPR-11-24 - 401 E. Fair Ave., Site Plan for YMCA Expansion

B. 2025 Planning Commission Proposed Meeting Dates

5. CITIZENS WISHING TO ADDRESS THE COMMISSION ON NON-AGENDA ITEMS
6. CORRESPONDENCE, REPORTS, MINUTES OF OTHER BOARDS/COMMITTEES

A. Materials from the Climate Adaptation Task Force's Marquette 2049 Project Learning Circle #3 – Housing, Health, and Transportation

7. TRAINING
8. WORK SESSION ON REPORTS/PLANS/ORDINANCES
9. COMMISSION AND STAFF COMMENTS
10. ADJOURNMENT

PUBLIC COMMENT

A member of the audience speaking during the public comment portion of the agenda shall limit his/her remarks to 3 minutes. Time does not need to be reserved for an item of business listed on the agenda, or otherwise addressed under Item #2, as time is provided for public comment for each item of business.

PUBLIC HEARINGS

The order of presentation for a public hearing shall be as follows:

- a. City Staff/Consultants
- b. Applicant
- c. Correspondence
- d. Public Testimony
- e. Commission Discussion (Commissioners must state any Ex-Parte contact or Conflicts of Interest prior to engaging in any discussions), if it occurred, prior to entering into discussion or voting on a case).



**OFFICIAL PROCEEDINGS
MARQUETTE CITY PLANNING COMMISSION
October 01, 2024**

A regular meeting of the Marquette City Planning Commission was duly called and held at 6:00p.m. on Tuesday, October 01, 2024, in the Commission Chambers at City Hall. A video of this meeting is available on the City's website and may be accessed by clicking [here](#).

ROLL CALL

Planning Commission (PC) members present: W. Premeau, M. Rayner, K. Granger, Chair S. Mittlefehldt, Vice Chair K. Clegg, D. Fetter, S. Lawry, C. Gottlieb.

PC Members absent: none

Staff present: City Planner and Zoning Administrator Dave Stensaas, Planning and Community Development Director Dennis Stachewicz.

AGENDA

It was moved by C. Gottlieb, seconded by K. Clegg, and carried 8-0 to approve the agenda as presented.

MINUTES

The minutes of the 08-27-24 Special Meeting were approved as presented by consent.

PUBLIC HEARINGS

A. Draft Community Master Plan – Recommendation to City Commission

S. Mittlefehldt stated:

To address the first item on the agenda, we have a public hearing for the draft Community Master Plan, and discussion of the recommendation to the City Commission. I will hand the floor to the city staff to give an overview of the process and then if people would like to speak, any comments related to the final draft of the Community Master Plan will be welcome, but first I'll hand it over to the city, Dennis or Dave.

D. Stensaas stated that this is a culmination of a project that has been in the works for almost two years. We determined that the Master Plan was in need of being updated quite extensively, when the Planning Commission went through an exercise about two years ago, around the end of 2022, with a check list that confirmed the Master Plan needed to be rewritten, more than just updated. We then hired Beckett & Raeder through a competitive process of finding a consulting firm to help us with this project. It is going to replace this Master Plan that we adopted in 2015, when the Planning Commission is satisfied that the Master Plan is complete and represents the community's desires for things that they expressed seeing in the Master Plan, and that it reflects the input that was given through the extensive public input process that was provided. This draft of the Plan has been provided on the City's website as of the middle of last week. It's now in the hands of the Planning Commission to determine whether or not they're satisfied with the updates.

D. Stachewicz stated:

Two meetings ago, it was a cancelled meeting for the Planning Commission, we sat in here for about three hours and worked through a lot of the edits. I believe all of those were taken care of by the consultants as agreed upon by the Planning Commission and that should be reflected in this draft.

S. Mittlefehldt stated:

With that, if there's any members of the public that would wish to comment, come to the podium, please state your name and address and three minutes.

Mr. M. Conley of 500 E. Ridge St., stated:

I would like to thank you for listening, considering my concerns and then making the changes. I am happy with the plan, and I really appreciate you considering the changes and then moving forward to making them. It doesn't seem like a lot of changes were made, at least the concerns that I had, but a few changes with the wording, some of the phrasing, really changes the outcome. I really appreciate it. I am happy with it. I encourage you to adopt this pass it on to the City Commission as it is. Thank you, Dennis. Thank you, Dave. Thank you, Commissioners.

Ms. Barb Kelly, of 430 Arch St., stated:

I have lived at this address since 1977, probably long before most of you were born. I also wish to thank the Planning Commission for listening carefully when you were finalizing the Master Plan, to concerns of the neighbors adjacent to the downtown from Front St. to Lakeshore Blvd., to Fair. And I've mentioned this before, but just wanted to share a few more details about it - Arch and Ridge Street's national historic district resides in this area and runs from Front St. to Lake Superior. The national register of historic places is the nation's official list of properties important in American history, architecture, engineering, archaeology, and culture. It was established in 1966 as part of the National Historic Preservation Act, as a way to identify important historic properties across the country and encourage their preservation. The Arch and Ridge Street's national historic district was established in 1980 after two years of documentation by the Marquette Beautification Committee and the State Historic Preservation office and is now celebrating 44 years of existence. The entire, aforementioned area was originally in the master plan to allow commercial development. In my view, this change reflects the sentiments and passion that I saw in all the master plan meetings. A love of neighborhood, a strong desire to control traffic, a great need to preserve our beaches and historic places, and an emphasis on identifying what makes Marquette so special and prioritize in saving it. Strong sentiment was voiced for saving our designated scenic route on Lakeshore Blvd. and keeping its development more residential and keeping the Lake Superior shoreline visible and accessible. Thank you very much for listening to the voices of the Marquette community in your deliberations.

S. Mittlefehldt asked if there was anyone else for public comment. With no more public comment, she moved on to Planning Commission comment regarding the latest Master Plan draft.

W. Premeau said that the Master Plan draft includes nice pictures.

M. Rayner said thank you for all that work two weeks ago, and I hear you were here a long time and I'm sorry I missed [the meeting]. I am pleased with our product. Nothing is going to be perfect, but I'm pleased.

C. Gottlieb stated:

I agree with Commissioner Premeau, that the pictures are wonderful. In reviewing the revisions made from the last meeting, however, I think it was well done. I went through the document again and I have no suggested changes, though it did provide me the opportunity to once again to look up the word indigenous and [to ponder] should it be capitalized or not? And I'm not going to make a big deal whether it is capitalized in this case, although I don't think it should be.

K. Clegg stated:

From a design perspective, I'm actually going to say the pictures are great and I like the layout of it, it seems like it's very easily digestible, which is part of the point of this style of Master Plan. We're trying to get people to read it and actually use it, and I think that this document does accomplish that. I'm really proud of what we've done, happy with the changes that were made, and I would vote to approve it.

D. Fetter stated:

I am satisfied where we ended up with the Community Master Plan. It had a lot of work; a lot of effort went into it and a lot of great feedback. Thank you for all that. I think we can move forward with it.

S. Lawry stated:

It looks a whole lot better looking at it on paper than scrolling through it on a screen, and makes it a lot easier to work with. I do think it did capture all of the thoughts that were brought up through the outreach processes that were part of the preparation. There are a few things in there that maybe individuals don't agree with, but that's what the consultant got from the public and I think that's what we should present to the commission, and to recommend it for adoption. I think it's a good product.

S. Mittlefehldt stated:

I agree with what everyone else has said. I really appreciate everyone on this commission who took a lot of time to go through everything with a fine-tooth comb and provide comments. I really appreciate the public, who have sat through some of those three-hour meetings with us and helped us get to a stronger plan that is more responsive to the community's input. I want to thank Dennis and Dave who really helped shepherd the process. You did a really great job of making sure that voices were heard in this process and that builds trust, I think, in the final product, and I think that's really important for something like this. I would also approve of this. Is there a motion to make a recommendation to the City Commission?

It was moved by C. Gottlieb, seconded by M. Rayner and carried unanimously (8-0) to move the Draft Community Master Plan to the City Commission for approval.

CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS

None

CITIZENS WISHING TO ADDRESS THE COMMISSION ON AGENDA ITEMS

None

CORRESPONDENCE & REPORTS FROM OTHER BOARDS AND COMMISSIONS

A. Materials from Climate Adaptation Task Force Learning Circle #2 – Trash and Recycling

D. Stensaas commented on the related agenda materials and discussed some things he learned from this Learning Circle session, and discussed the recently completed Learning Circle session and the three upcoming sessions. The Planning Commission and staff discussed related issues.

COMMISSION AND STAFF COMMENTS

M. Rayner said that she loves the painting on the front cover of the Draft Community Master Plan.

C. Gottlieb said that he attended the County's *Community Climate Dialogue Dinner event* at Barrel+Beam on Thursday the 26th of September, with about 60 others, and related his positive experience at the event.

K. Clegg said he wanted to encourage everyone to sign up and attend the next Climate Adaptation Task Force project meeting at NMU on October 9th, and that he is signed up and looking forward to going. He said that he is privileged to be attending the MSU-Extension Citizen Planner course over the next six

weeks, beginning tomorrow evening. He also said that he's excited that the Commission was able to recommend this plan for adoption and stated let's move on with the project and on to the next thing.

S. Lawry said that, related to climate change, that he recently had the opportunity to visit a number of port cities in Europe and it occurred to him that if the ice cover on Lake Superior is going to be lost each winter, we have the opportunity to become a year-round port and we probably should be planning how we could accommodate that and the economic benefits that go with it in our future plans.

D. Stachewicz said that because he isn't at the Planning Commission meetings often he would be open to any questions that members may have. He discussed the status of the EPA "cleanup grant" project at the former Cliffs-Dow property on N. Lakeshore Boulevard, and that there would be some "in-situ" ["in place"] remediation related to contamination of that area occurring in conjunction with the final phase of the Lakeshore Boulevard project, and that good results will help finally get some movement on that property. He said that the environmental-legal counsel for the project has been instrumental in getting the grant and he's really happy about that. He also said EGLE has been doing some investigation and he has some interesting samples from 20 feet below the lakebed. He also answered questions about the former hospital site, and noted that the final demolition stage is now underway, and that the NMU Foundation has come to an agreement with the Veridea Group to transfer the property to them. He also said that he is hopeful that a meeting will be held soon to discuss potential development of the site, but there are no plans that have been submitted. He also addressed a question about the Parks and Recreation Master Plan.

D. Stensaas said that since we're talking about projects, staff was recently presented with a revised site plan for the first phase of the Vault Marquette project. He said that a land division application for the project has to be approved before the site plan can be approved, but that the project would be moving along quickly. He also said that a student enterprise group from Michigan Tech got in touch and said they have the property owner's permission to conduct a study on the feasibility of creating a commercial solar project at the site of the former Presque Isle power plant. He also thanked the planning commission for their thoughtful comments and hard work on the Community Master Plan project.

ADJOURNMENT

The meeting was adjourned by Chair S. Mittlefehldt at 6:50 p.m.



CITY OF MARQUETTE
PLANNING AND ZONING
1100 WRIGHT ST
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Planning Commission
FROM: Andrea Landers, Zoning Official
DATE: October 25, 2024
SUBJECT: 16-SPR-11-24 – YMCA Building Addition 401 E. Fair (1420 Pine St.)
(PIN: 0511040)

Staff has reviewed the proposed site plan for the construction of a two-story addition (Option 1 +/-14,500 S.F. or Option 2 +/-19,300 S.F.) and site improvements for 401 E. Fair (1420 Pine St.), and has provided comments regarding the plan.

Please see attached STAFF REPORT/ANALYSIS packet for more specific information regarding the site plan.

Recommended Action:

The Planning Commission should review the site plan and support information provided in this packet and determine whether or not the site for the construction of a two-story addition (Option 1 +/-14,500 S.F. or Option 2 +/-19,300 S.F.) and site improvements for (16-SPR-11-24) is in compliance with the City of Marquette Land Development Code, more specifically, the Site Plan Review Standards in Section 54.1402(E).

Staff also recommends that the Planning Commission consider appropriate conditions of approval to ensure that any comments provided by staff and which the Planning Commission concurs with and have not been answered by the developer, are addressed.

As always, it is highly recommended that any motion regarding the amended plan include:

After review of the site plan and the supplemental documentation dated 9-30-24, and the Staff Report for 16-SPR-11-24, the Planning Commission (finds/does not find) substantial compliance with the City of Marquette Land Development Code, the Site Plan Review Standards in Section 54.1402(E), and hereby (approves/denies) the site plan (as presented/with the following conditions).

STAFF FILE REVIEW/ANALYSIS

Completed by Andrea Landers – Zoning Official

Reviewed by David Stensaas – City Planner and Zoning Administrator



File #: 16-SPR-11-24

Date: November 7, 2024

Project/Application: Final Site Plan Review for the construction of a two-story addition (Option 1 +/-14,500 S.F. or Option 2 +/-19,300 S.F.) and site improvements.

Location: 401 E. Fair (1420 Pine St.)

Parcel ID: 0511040

Available Utilities: Natural Gas, Electricity, City Water, City Sewer, and Garbage Collection.

Surrounding Zoning:
North: C – Civic
South: PUD – Planned Unit Development
East: C – Civic & MDR – Medium Density Residential
West: C – Civic & M - Municipal

Zoning District and Standards (Staff Comments in Bold Text):

M - Municipal District

Dimensional Regulations	Allowed	Provided
Front Yard	None	+0 ft
Side Yard	5 Feet	+5 ft
Side Yard total of 2	10 Feet	N/A
Rear Yard	20 Feet	+20 ft
Min. Lot Size	None	N/A
Min. Lot Width	24 Feet	+24
Max. Building Height (Q)	N/A	34-ft

Section 54.403 Footnotes to Schedule of Regulations

(Q) Height Exemptions. There shall be no height restriction on chimneys, flagpoles, public monuments, and wireless telecommunications facilities except when they are part of a special land use. Items attached to a building such as chimneys, weather vanes, lightning arrestors, etc. may be exempt as well.

Section 54.903 Minimum Number of Parking Spaces Required (Staff Comments in Bold Text):

The YMCA (Y) leases its land within a city-owned parcel that also hosts Lakeview Arena (LVA). The parking areas are managed by the City and the Y's lease states that the City is responsible for snow removal. The Y therefore does not need to show snow storage areas for parking.

As LVA provides a public recreation function, its use is immune from strict compliance with the Land Development Code (LDC), including parking standards. But the parcel has enough parking spaces, per the 2018 layout below, for the LDC requirements of the YMCA's calculated demand.

Spaces needed for patrons of the two facilities are varied in time throughout the day, and LVA's parking demand changes significantly with changes in the seasons. Hence, there is a shared-use arrangement for these parking spaces around the site. As the vehicular parking for uses of the LVA are not at all separated from those of the YMCA, staff is not requiring a parking plan to be provided by the applicant with this site plan for any parking spaces that are not within the Y's leasehold area.

The City does intend to resurface the parking area when funding becomes available, and at that time the City will determine how it will choose to layout parking spaces.



Relationship to Site Plan Review Standards (Staff Comments in Bold Text):

Per Section 54.1402(E) of the Land Development Code, "Site Plan Review Standards. In addition to the development standards of this Ordinance as well as the underlying zoning district, each site plan shall be designed to ensure that":

- (1) **Public Health, Safety, and Welfare.** The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this Ordinance.

The proposed site plan for the construction of a two-story addition (Option 1 +/-14,500 S.F. or Option 2 +/-19,300 S.F.) and site improvements. The proposal is not anticipated to harm the public health, safety, or welfare.

- (2) **Safe and Efficient Traffic Operations.** Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be

provided. Drives, streets, and other elements such as walkways shall be designed to promote safe and efficient traffic operations within the site and at its access points.

The site has existing driveways off of Pine Street and Fair Avenue.

- (3) **Vehicular and Pedestrian Circulation.** The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.

They are proposing a concrete sidewalk to the north and west sides of the proposed addition.

- (4) **Topography and Landscaping.** The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.

The proposed turf restoration is shown only in the lease area on sheets C2.0 and C2.0A.

- (5) Storm Water Management. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.

City Engineering staff have reviewed the plans for storm water management and the proposal meets this requirement.

- (6) Emergency Vehicle Access. All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.

The Police and Fire Department have reviewed the plans and have no comment regarding vehicle access.

- (7) Outdoor Storage and Loading and Unloading Areas. All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.

They are not proposing any new dumpsters.

- (8) Lighting. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.

Per the sheet ES1.0, there will 6 new wall lights on the proposed addition. Please also see the attached cut sheets they submitted.

- (9) Location of Building Entrances. For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.

The buildings' main entrance faces the parking lot.

- (10) Nuisances. No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.

It is not anticipated that this development will be a nuisance to surrounding properties.

- (11) City of Marquette Engineering Design and Construction Standards. The site plan must comply with the City of Marquette Engineering Design and Construction Standards.

This must be met.

History of Planning Commission or Board of Zoning Appeals Cases and Zoning Compliance Permits

14-ZCP-03-18: Commercial interior remodeling to convert bathrooms and changing area to Youth Center with study areas

- Approval for commercial interior remodeling to convert bathrooms and changing area to Youth Center with study areas per information provided on the application and the site plan dated 3-1-18.

03-CUP-05-14 (04-SPR-05-14 & 88-ZCP-07-14): Conditional Use application and the site plan for the expansion of a land intensive recreational use, for the proposed construction of two additions to the existing YMCA building located at 401 E. Fair Ave. (1420 Pine St.)

- At the May 6, 2014 Planning Commission regular meeting the following motion was made: It was moved by P. Schloegel, seconded by G. Moran, and carried 7-0 that after review of the STAFF FILE REVIEW/ANALYSIS for 03-CUP-05-14, the Planning Commission finds that the request meets the intent and requirements of the Zoning Ordinance and hereby approves 03-CUP-05-14 with the following condition - an amended site plan that addresses staff comments is submitted.

04-VAR-05-14: The YMCA and City of Marquette are seeking a 2-foot height variance and a 164 parking space variance from the City of Marquette Zoning Ordinance to allow for the construction of two additions to the existing YMCA building located at 401 E. Fair Ave (1420 Pine St).

- It was moved by Mr. Huddle, seconded by Mr. Fuller and carried 5-0 that after conducting a public hearing and review of the Staff File Review/ Analysis for 04-VAR-05-14, the Board of Zoning Appeals finds that the request demonstrates the standards found in Section 80.64.4.B.1 (a. through e.) of the Zoning Ordinance and hereby approves 04-VAR-05-14 as presented.

19-VAR-11-13: The Board of Zoning Appeals is being asked to review an application for variances from the City of Marquette Sign Ordinance to allow for a 24" x 96" wall sign located at 401 E. Fair Avenue. She also stated that the proposed sign will be for the Marquette County Community Foundation and the United Way. The site is over-signed and that the United Way's existing sign would be replaced with the proposed one. The site is in a Conservation Recreation Zoning District and that for the entire site there can only be one ground sign, one pole sign, one projecting sign or one wall sign for all of non-business uses per site.

- It was moved by Mr. Vasseau, seconded by Mr. Suksi and carried 6-0 that after conducting a public hearing and review of the Staff File Review/Analysis for 19-VAR-11-13, the Board of Zoning Appeals finds that the request demonstrates the standards found in Section 80.64.4.B.1 (a. through e.) of the Zoning Ordinance and hereby approves 19-VAR-11-13 as presented.

Background

The City is leasing a portion of the property to the YMCA, you can see the leased area boundary lines on the area or block maps, and in the site plan set.

Attachments:

- Site Plan Review Application with checklist of omitted items
- Lighting cut sheets
- PD, Engineering, and Zoning Staff no comments
- DPW comments
- Applicant's responses to Fire comments
- Area Map
- Block Map
- Photos
- Site plan

CITY OF MARQUETTE SITE PLAN REVIEW APPLICATION



CITY STAFF USE

Parcel ID #: 0511040 File #: 16-SPR-11-24

Receipt/Inv #: 85386 Check #: 4918 Received by and date: 10-9-24

Site Plan Sheet Set (PC Review - 6 copies/Admin Review - 3 copies) Submitted Y N Digital Copy Y N

If applicable - Hearing Date: 11/12/24 Notice Date: N/A Application complete (checklist, etc): Y N

Does the site plan meet the required items: Y N 10-9-24

Andrew
Dman

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!

Businesses may need to be made accessible to the public and employees per the Americans with Disabilities Act and State Construction Code.

FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))

<p>Commercial, Industrial, Residential with 3 or more units, and Final PUD Site Plan (includes zoning compliance fee)</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/> Sketch Plan</td><td style="text-align: right;">\$945</td></tr> <tr><td><input type="checkbox"/> Preliminary SPR</td><td style="text-align: right;">\$1,875</td></tr> <tr><td><input type="checkbox"/> Administrative Review (CDRT review)</td><td style="text-align: right;">\$2,060</td></tr> <tr><td><input type="checkbox"/> Administrative Review (Non-CDRT review)</td><td style="text-align: right;">\$1,080</td></tr> <tr><td><input checked="" type="checkbox"/> Planning Commission Review</td><td style="text-align: right;">\$2,350 2420</td></tr> </table> <p>Revised Site Plan (Developer Initiated)</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/> Administrative Review (CDRT)</td><td style="text-align: right;">\$1,550</td></tr> <tr><td><input type="checkbox"/> Administrative Review (Non-CDRT review)</td><td style="text-align: right;">\$1,050</td></tr> <tr><td><input type="checkbox"/> Planning Commission Review</td><td style="text-align: right;">\$1,790</td></tr> </table>	<input type="checkbox"/> Sketch Plan	\$945	<input type="checkbox"/> Preliminary SPR	\$1,875	<input type="checkbox"/> Administrative Review (CDRT review)	\$2,060	<input type="checkbox"/> Administrative Review (Non-CDRT review)	\$1,080	<input checked="" type="checkbox"/> Planning Commission Review	\$2,350 2420	<input type="checkbox"/> Administrative Review (CDRT)	\$1,550	<input type="checkbox"/> Administrative Review (Non-CDRT review)	\$1,050	<input type="checkbox"/> Planning Commission Review	\$1,790	<p>Site Condominium</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/> Site Condominium Review</td><td style="text-align: right;">\$2,035</td></tr> <tr><td><input type="checkbox"/> Revised (Developer Initiated)</td><td style="text-align: right;">\$985</td></tr> </table> <p>Plats/Subdivision</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/> Preliminary</td><td style="text-align: right;">\$2,035</td></tr> <tr><td><input type="checkbox"/> Final</td><td style="text-align: right;">\$2,035</td></tr> <tr><td><input type="checkbox"/> Revised</td><td style="text-align: right;">\$985</td></tr> </table>	<input type="checkbox"/> Site Condominium Review	\$2,035	<input type="checkbox"/> Revised (Developer Initiated)	\$985	<input type="checkbox"/> Preliminary	\$2,035	<input type="checkbox"/> Final	\$2,035	<input type="checkbox"/> Revised	\$985
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<input type="checkbox"/> Revised	\$985																										

Site Plan Review fee is included in the Special Land Use Permit or Planned Unit Development application fees

If you have any questions, please call 228-0425 or e-mail alanders@marquettemi.gov. Please refer to www.marquettemi.gov to find the following information:

Planning Commission page for filing deadline and meeting schedule
Excerpts from the City Land Development Code

- Section 54.1402 Site Plan Review (this is attached to the application).
- Section 54.1401 Zoning Permits and Zoning Compliance Review.
- If you are applying for a Site Condominium/Plat/Subdivision, please review Article 5.

STORMWATER

Will you be managing stormwater and applying for a stormwater utility fee reduction? Yes No
If yes, please refer to the Stormwater Utility Fee Reduction Application on the City website at www.marquettemi.gov under the Engineering applications.

PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

APPLICANT CONTACT INFORMATION

PROPERTY OWNER

Name Jon Swenson - City of Marquette
Address 401 East Fair Avenue
City, State, Zip Marquette, MI 49855
Phone # 906-225-8593
Email jswenson@marquettemi.gov

APPLICANT/OWNER'S REPRESENTATIVE

Name Andrew Mansfield
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Phone # 906-228-4480
Email andrewm@intdesigns.com

ARCHITECT

Name Travis Hongisto
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Phone # 906-228-4480
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ENGINEER

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Phone # 906-228-4480
Email andrewm@intdesigns.com

SURVEYOR

Name Stacey Bluse
Address 830 W Washington St
City, State, Zip Marquette, MI 49855
Phone # 906-228-5125
Email sbluse@trimediaee.com

401 E Fair Ave
PROPERTY INFORMATION

Property Address: 1420 Pine Street

Property Identification Number: 52-52-005-110-40

Size of property (frontage / depth / sq. ft. or acres): 13.7 Ac

Zoning District: M-Municipal

Current Land Use: YMCA/Lakeview Arena and Parking Areas

Surrounding Zoning Districts:

North - See Plans

East - See Plans

South - See Plans

West - See Plans

Surrounding Land Use:

North - See Plans

East - See Plans

South - See Plans

West - See Plans

DESCRIPTION OF PROJECT

Proposed use(s): Indoor Recreation Area

Proposed structures (including stairs) and dimensions, building style, and materials:

Construction of a new 2-story building addition on the west side of the existing YMCA. See attached plans.

Proposed site improvements:

Parking lot restoration, sidewalk, grading and storm sewer. See attached plans.

Proposed phases and timelines for work:

Start construction spring 2025

Ultimate ownership: City of Marquette

SIGNATURE

I hereby certify the following:

1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
2. The request would not violate any deed restrictions attached to the property involved in the request.
3. I have read the attached Site Plan Review section of the Land Development Code and understand the necessary requirements that must be completed.
4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.
5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.
6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).

Applicant Signature: 

Date: 9-18-24

1. I am the legal owner of the property for which this application is being submitted
2. I authorize City Staff and the Planning Commission members to inspect the site.
3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.

Property Owner Signature: 

Date: 9-18-24

Project Name: YMCA

File #: 16-SPR-11-24

Parcel #: 52-52-005-110-40

PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.

Site Plan Information Required in the Site Plan Set (See Figure 52 in LDC)		APPLICANT	
		Location in site plan	
Identification of Project			
1. The applicant's name.		Title	
2. Name of the development.		Title	
3. The preparer's name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.		Title	
4. Small scale location sketch of sufficient size and scale. (SKETCH PLAN ONLY)		Title	
5. A survey of the property, sealed by a surveyor licensed in the State of Michigan.		Survey	
6. Date of preparation and any revisions.		All Sheets	
7. North arrow.		All Sheets	
8. Complete and current legal description and size of property in acres.		C0.0	
Existing Features			
9. Property lines and dimensions drawn to scale.		Survey	
10. Zoning and current land use of applicant's property and all abutting properties and of properties across any public or private street from the site.		C0.0 and C0.1	
11. Lot lines and all structures on the property and within 100 feet of the site's property lines.		C0.1	
12. Locations of all significant natural features – streams, wetlands and floodplains (see Section 54.805), steep slopes (see Section 54.806).		Survey	
13. Boundary of any Riparian Overlay Districts, per Section 54.320(E) . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per Section 54.806		N/A	
14. Any existing private or public easements		Survey	
15. Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.		Survey	
16. Locations of existing utilities.		Survey	
17. Existing topography at a minimum of two (2) foot contour intervals.		Survey	
		Location in site plan	N/A attach reason
Proposed Construction			
18. Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See Article 3 , Article 4 , and Article 7 .		C0.0	C2.0, C2.0A No. 0 Ab. 1
19. Floor area and ground coverage ratios. See Article 3 and Article 4 .		N/A	
20. Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code. (Preliminary Site Plan submittal only)		C 4	. 0
21. Proposed topography with a site grading plan with topography at a maximum of two (2) foot contour intervals.		C3.0	

	APPLICANT	
	Location in site plan	N/A attach reason
22. Boundary of any Riparian Overlay Districts, per Section 54.320(E) . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per Section 54.806		N/A
23. Location and method of screening for all waste dumpsters. See Section 54.1003(F) .		N/A
24. Location and dimensions of parking spaces. See Article 9 .		C2.0
25. General landscaping design concept acceptable to the Zoning Administrator. (SKETCH PLAN ONLY)		N/A
26. A landscaping plan indicating proposed plant locations with common plant name, number, and size at installation. Berms, retaining walls or fences shall be shown with elevations from the surrounding average grade. See Article 10		N/A
27. Details of exterior lighting including locations, height, and method of shielding. See Section 54.802 .	ES1.0	+ cut sheets
28. The location of all permanent or temporary signs, existing or proposed, including their area, size, height, illumination, and the type of construction. See Article 11 .	C2.0	C2.1, C3.0 C3.1, CS.1
29. Locations of utility services (with sizes) and storm water management elements, including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per Section 54.803 . Any proposed public or private easements.	C 2	. 0
30. Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.		N/A
31. If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed.	N /	A
Site Circulation Details and Access Design		
32. General site circulation and access including: indication of street right-of-way and pavement widths; access points; and location of pedestrian paths. See Section 54.907 . (SKETCH PLAN ONLY)	C2.0	
33. Street horizontal and vertical dimensions, including curve radii.		N/A
34. Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See Section 54.907 .		N/A
35. Schematic location and names of abutting public streets and other right-of-ways, and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	C2.0	
36. Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See Section 54.907 .		N/A
37. Locations, dimensions, and names of abutting public streets and other right-of-ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Survey	
38. Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.	C2.0	
39. Written verification of access easements or agreements, if applicable.		N/A
Additional Information		
40. Any other information necessary to establish compliance with this and other ordinances.		N/A

	APPLICANT	
	Location in site plan	N/A attach reason
Voluntary Information/Considerations – callouts/notes and narrative would be appreciated		
41. Infrastructure for Electric Vehicle (EV) charging stations (wiring, conduit, etc.)		N/A
42. Incorporation of green infrastructure elements such as a bioswale/rain garden (see Fig. 41), pervious pavers, vegetative/green roof, living retaining wall, French drains.		N/A
43. Public art elements such as sculpture, murals, interactive installations.		N/A
44. Affordable housing (including of explanation of how affordability is calculated).		N/A
45. Encourage colorful cladding materials (black, white, grey materials should be limited to <50 percent of total exterior cladding and trim colors).		N/A
46. Inclusion of bicycle parking facilities (racks, shelters, lockers, etc.) not required by the LDC.		N/A

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
ENGINEERING DEPT			
Please refer to the Engineering Department General Guidelines and Standards for Street and Utility Design: https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev.-5-4-16.pdf			
Will you be managing stormwater and applying for a stormwater utility fee reduction? ___ Yes ___ No If yes, please refer to the Stormwater Utility Fee Reduction Application: https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf			
47. Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	C 0	. 0	
48. Curb cut, water, sanitary sewer, storm sewer permits, etc. required? (obtain prior to construction activities)		N/A	
49. Vehicle maneuvering lane size	C2.0		
50. Pavement width/type	C2.0		
51. Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas		N/A	
52. Storm sewer ≥12" diameter, in right-of-way, shall be reinforced concrete		N/A	
53. Sumps in catch basins?	C4.0		
54. Plans to be stamped, dated and signed by a professional engineer	Title		
55. Is the downstream storm sewer capacity adequate?	C4.0		
56. Verify that storm water runoff volume or velocity is not increased onto adjacent properties	C4.0		
57. Does any earthwork disturb adjacent properties?	C3.0		
58. Wetland concerns/proper permits obtained?		N/A	
59. Traffic impact minimal to existing conditions (stacking, etc.)?		N/A	

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
ENGINEERING DEPT CONT.			
60. Vehicular and non-motorized circulation	C2.0		
61. Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?		N/A	
62. Is there a hydrant at the end of any proposed dead end water main?		N/A	
63. Size and material type of proposed and existing utilities shown?	Survey		
64. Street horizontal and vertical dimensions, radii		N/A	
65. Width and materials for non-motorized paths		N/A	
66. Dimension of access points including distance from adjacent driveways or intersecting streets		N/A	
67. Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance	C4.0		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
PUBLIC WORKS DEPT.			
68. Delineate & dimension all public or private easements	Survey		
69. Show public utility main locations & sizes within 100 feet of property boundary	Survey		
70. Extension or re-routing of public utility systems required	C4.0		
71. Capacity and condition concerns of existing utility lines to serve the project	C4.0		
72. Abandonment of existing utility lines associated with the project		N/A	
73. Location of existing and proposed utility services (with sizes), including storm water to be shown	C4.0		
74. Utility metering requirements of the project		N/A	
75. Backflow and cross connection requirements applicable to the project including any proposed irrigation systems		N/A	
76. Sanitary waste pretreatment requirements		N/A	
77. Adequate snow storage provided on the property, without clear vision or utility obstructions		N/A	
78. Provisions to collect drainage from snow storage areas collected on property		N/A	
79. Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections)		N/A	
80. Additions or changes to public signing or traffic control required or recommended		N/A	

PUBLIC WORKS DEPT. CONT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
81. Additions to existing public sidewalks, or plowed routes, required or recommended		N/A	
82. Impact of project on public snow removal/storage		N/A	
83. Effect on plowing or ice control priorities		N/A	
84. New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements		N/A	
85. Adequate, proper, and accessible on-site waste storage		N/A	
86. Adequate clearances and clear vision maintained for maintenance and sanitation equipment		N/A	
87. Removal, trimming, or planting of public trees required		N/A	
88. Maintenance-friendly design for any portions of the project to become public property	C2.0		
89. Storage of hazardous materials associated with the project near public utilities		N/A	
90. Blasting near public utilities associated with the project		N/A	

FIRE DEPARTMENT DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
91. Buildings meet NFPA standards/NFPA Life Safety Code 101/ BOCA National Property Maintenance Code	A2.0		
92. Proper water supply for fire suppression including fire hydrants and water mains		N/A	
93. Safe outlets for flushing fire hydrants		N/A	
94. Easements to test hydrants		N/A	
95. Water supply meets NFPA standards		N/A	
96. Fire Apparatus Access		N/A	
97. Surface Construction	C2.0		
98. Ability to support fire trucks	C2.0		
99. Fire truck angle of approach	C2.0		
100. Outside turning radius	C2.0		
101. Grade of drive or road ok	C3.0		
102. Overhead clearance adequate		N/A	
103. Driveways and access roads meet NFPA standards	C2.0/C3.0		

POLICE DEPARTMENT DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
104. Cross reference with accident data at nearest intersection(s)		N/A	

City of Marquette – Site Plan Omitted Items

- #13
 - Did not include as there are no Riparian Overlay Districts in the vicinity of the project.
- #22
 - Did not include as there are no Riparian Overlay Districts in the vicinity of the project. Same as Item #13.
- #23
 - There are no dumpsters proposed.
- #25
 - There is no landscaping proposed
- #26 Landscaping Plan
 - There is no landscaping proposed
- #30
 - There are no proposed fire hydrants, standpipe connections, etc.
- #31
 - Did not include since this is not scheduled for phased development
- #33
 - There are no street connections proposed as part of this project
- #33
 - There are no street connections proposed as part of this project.
- #34
 - There are no access points proposed.
- #36
 - There are no access points proposed.
- #39
 - There are no easements or agreements associated with this project.
- #40
 - No additional information required.
- #41
 - No EV infrastructure included in this project
- #42
 - No green infrastructure included in this project
- #43
 - No public art included in this project
- #44
 - No housing included in this project
- #45
 - This is a statement
- #46
 - No bike parking facilities included in this project
- #48
 - Permits will be obtained prior to beginning construction
- #51
 - No new parking areas proposed
- #52
 - No storm sewer proposed in the ROW

- #58
 - No wetlands on the project
- #59
 - No changes to streets/driveways
- #61
 - No sanitary sewer changes
- #62
 - No proposed fire hydrants
- #64
 - No proposed streets
- #65
 - No proposed non-motorized paths
- #66
 - No changes to existing access points
- #72
 - No proposed abandonment of existing utilities
- #74
 - No changes to utility metering
- #75
 - No changes to water utility
- #76
 - No changes to existing sanitary sewer
- #77
 - No changes to snow storage locations, decreased available parking area
- #78
 - No changes to snow storage locations, decreased available parking area
- #79
 - No work in the ROW
- #80
 - No changes to public signing or traffic control
- #81
 - No additions to public sidewalks or plowed routes
- #82
 - Project does not have an impact on public snow removal
- #83
 - Project does not have an impact on plow priorities
- #84
 - No work in the ROW
- #85
 - No changes to on-site waste storage
- #86
 - No changes to on-site waste storage
- #87
 - No tree removal associated with the project
- #89
 - No hazardous material associated with the project
- #90

- No blasting is anticipated
- #92
 - No changes to existing water supply
- #93
 - No changes to existing fire hydrants. No proposed fire hydrants.
- #94
 - No changes to existing fire hydrants. No proposed fire hydrants.
- #95
 - No changes to existing water supply
- #96
 - No changes to existing fire hydrants. No proposed fire hydrants
- #102
 - No overhead obstructions proposed.
- #104
 - Do have access to crash data

Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison

GWC Galleon Wall

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

Quick Facts

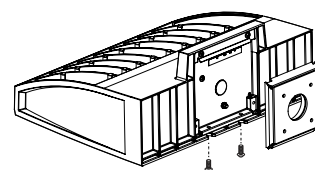
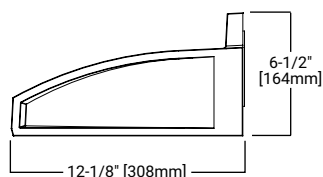
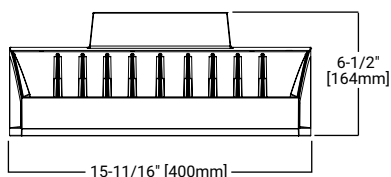
- Choice of thirteen high-efficiency, patented AccuLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Connected Systems

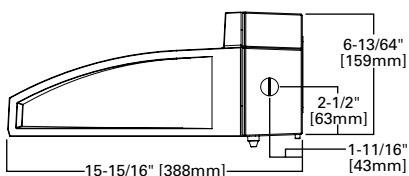
- WaveLinx PRO Wireless
- WaveLinx LITE Wireless
- Enlighted

Dimensional Details

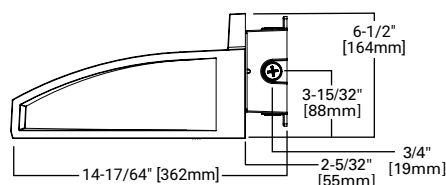
Net Weight: 17.0 lbs (7.7 kgs)



GWC with CBP option installed
(Thru-Branch Back Box accessory MA1059XX)



GWC with accessory BB/GWCXX Back Box installed



NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GWC-SA2C-740-U-T4FT-GM

Product Family ¹	Light Engine		Color Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
GWC =Galleon Wall BAA-GWC =Galleon Wall, Buy American Act Compliant ³⁴ TAA-GWC =Galleon Wall, Trade Agreements Act Compliant ³⁴	SA1 =1 Square SA2 =2 Squares ²	A =615mA B =800mA C =1000mA D =1200mA ⁴ Z =Configured ⁴⁰	722 =70CRI, 2200K 727 =70CRI, 2700K 730 =70CRI, 3000K 735 =70CRI, 3500K 740 =70CRI, 4000K 750 =70CRI, 5000K 760 =70CRI, 6000K 827 =80CRI, 2700K 830 =80CRI, 3000K AMB =Amber, 590nm ^{3,4}	U =120-277V 1 =120V 2 =208V 3 =240V 4 =277V 8 =480V ^{6,7} 9 =347V ⁶ DV =277-480V DuraVolt Drivers ^{7,8,36}	T2 =Type II T3 =Type III T4FT =Type IV Forward Throw T4W =Type IV Wide SL2 =Type II w/Spill Control SL3 =Type III w/Spill Control SL4 =Type IV w/Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right RW =Rectangular Wide Type I 5NQ =Type V Square Narrow 5MQ =Type V Square Medium 5WQ =Type V Square Wide	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)		Accessories (Order Separately) ³⁵		
F =Single Fused (120, 277 or 347V. Must Specify Voltage) FF =Double Fused (208, 240 or 480V. Must Specify Voltage) 10K =10kV Surge Module 20K =Series 20kV UL 1449 Surge Protective Device 2L =Two-Circuit Light Engine ³⁷ DIM =External 0-10V Dimming Leads ^{9,10} CBP =Battery Pack with Back Box, Cold Weather Rated ^{2,4,14,32} CBP-CEC =Battery Pack with Back Box, Cold Weather Rated, CEC compliant ^{2,4,14} BB =Shipped with Back Box Accessory ³⁸ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right HSS =Factory Installed House Side Shield ²³ GRSBK =Factory Installed Glare Shield, BK ^{4,27} GRSWH =Factory Installed Glare Shield, WH ^{4,27} UPL =Uplight Housing ¹³ HA =50°C High Ambient ¹² LCF =Light Square Trim Plate Painted to Match Housing ²² MT =Factory Installed Mesh Top CC =Coastal Construction finish ⁵ CE =CE Marking and Small Terminal Block ²⁴ AHD145 =After Hours Dim, 5 Hours ¹⁶ AHD245 =After Hours Dim, 6 Hours ¹⁶ AHD255 =After Hours Dim, 7 Hours ¹⁶ AHD355 =After Hours Dim, 8 Hours ¹⁶ DALI =DALI Driver ¹¹		BPC =Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PR =NEMA 3-PIN Twistlock Photocontrol Receptacle PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁵ FADC =Field Adjustable Dimming Controller ³⁹ SPB1 =Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ^{19,33} SPB2 =Dimming Occupancy Sensor with Bluetooth Interface, 8' - 20' Mounting ^{19,33} SPB4 =Dimming Occupancy Sensor with Bluetooth Interface, 21' - 40' Mounting ^{19,33} MS-LXX =Motion Sensor for On/Off Operation ^{17,18,19} MS/DIM-LXX =Motion Sensor for Dimming Operation ^{17,18,19} WPS2XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{30,31,41} WPS4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{30,31,41} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{31,41} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{31,41} LWR-LW =Enlightened Wireless Sensor, Wide Lens for 8'-16' Mounting Height ^{19,20,21} LWR-LN =Enlightened Wireless Sensor, Narrow Lens for 16'-40' Mounting Height ^{19,20,21}		OA/RA1013 =Photocontrol Shorting Cap OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V MA1252 =10kV Circuit Module Replacement MA1059XX =Thru-branch Back Box (Must Specify Color) BB/GWCXX =Back Box (Must Specify Color) LS/HSS =Field Installed House Side Shield ^{23,25} LS/GRSBK-2PK =Glare Shield, Black ^{45,27} LS/GRSWH-2PK =Glare Shield, White ^{25,27} LS/PFS =Perimeter Shield, Black ²⁸ FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ¹⁷ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-pin) ^{26,29}		

- NOTES:**
- DesignLight Consortium® Qualified. Refer to www.designlights.org, Qualified Products List under Family Models for details.
 - Two light squares with CBP options limited to 25°C. CBP not available in combination with sensor options at 1200mA.
 - Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
 - Not available with HA option.
 - Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
 - Require the use of a step down transformer. Not available in combination with sensor options at 1200mA.
 - 480V not to be used with ungrounded or impedance grounded systems.
 - DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information.
 - Cannot be used with other control options.
 - Low voltage control leads extended 18" from fixture.
 - Not available in 1200mA. When used with CBP or HA options, only available with single light square.
 - Not available in 1200mA, UPL or CBP options. Available with single light square.
 - Not available with SL2, SL3, SL4, HA, CBP, PR or PR7 options.
 - Operates a single light square only. Operates at 20°C to 40°C. Backbox is non-IP rated.
 - Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
 - Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
 - The FSIR-100 configuration tool is required to adjust parameters such as high and low modes, sensitivity, time delay and cutoff. Consult your lighting representative at Cooper Lighting Solutions for more information.
 - Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.)
 - Includes integral photosensor.
 - Enlightened wireless sensors are factory installed requiring network components in appropriate quantities.
 - White sensor shipped on all housing color options.
 - Not available with HSS or GRS options.
 - Not for use with 5NQ, 5MQ, 5WQ or RW optics. The light square trim plate is painted black when the HSS option is selected.
 - CE is not available with the 1200, DALI, LWR, MS, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only.
 - One required for each light square.
 - Requires PR7.
 - Not for use with T4FT, T4W or SL4 optics.
 - Set of 4 pcs. Once set required per Light Square.
 - Cannot be used in conjunction with additional photocontrol or other controls systems (BPC, PR, PR7, MS, LWR).
 - WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
 - Replace XX with sensor color (WH, BZ, or BK).
 - Specify 120V or 277V.
 - Smart device with mobile application required to change system defaults. See controls section for details.
 - Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCE.COM website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
 - For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
 - Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
 - 2L not available with FF, AHD or DALI options. Controls and/or battery packs operate only one of the two circuits when 2L is specified. 2L with controls options not available with 347V or 480V.
 - Not available with CBP or CBP-CEC options.
 - Cannot be used with PR7 or other motion response control options.
 - Customer specific specifications utilizes standard products with small adjustments to meet unique requirements such as packaging, labels, wattage adjustments, etc.
 - Controls system is not available with photocontrol receptacles (PR, PR7) or other controls systems (FADC, SPBx).

Product Specifications

Construction

- Driver enclosure thermally isolated from optics for optimal thermal performance
- Die-cast aluminum heat sinks
- IP66 rated housing
- 1.5G vibration rated

Optics

- Patented, high-efficiency injection-molded AccuLED Optics technology
- 13 optical distributions
- IDA Certified (3000K CCT and warmer only)

Electrical

- LED driver assembly mounted for ease of maintenance
- Standard with 0-10V dimming
- Optional 10kV or 20kV surge module
- Suitable for operation in -40°C to 40°C ambient environments; Optional 50°C high ambient (HA) configuration
- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels. Comes pre-set to the highest position at the lumen output selected

Mounting

- Gasketed and zinc plated rigid steel mounting attachment
- "Hook-N-Lock" mechanism for easy installation

Finish

- Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Heat sink is powder coated black
- RAL and custom color matches available
- Coastal Construction (CC) option available

Typical Applications

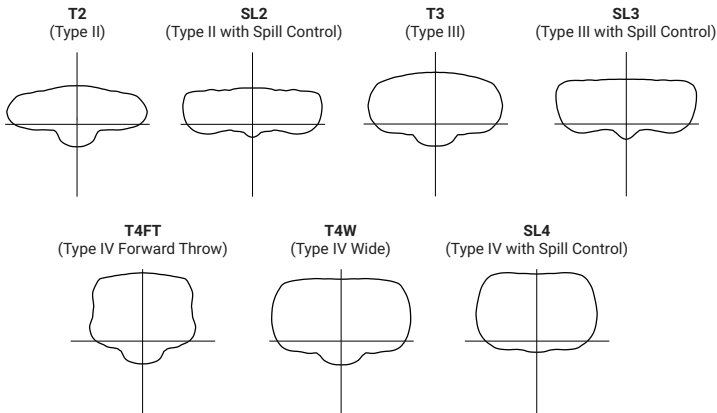
- Exterior Wall, Walkway

Warranty

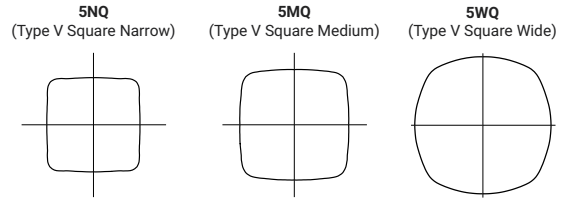
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Optical Distributions

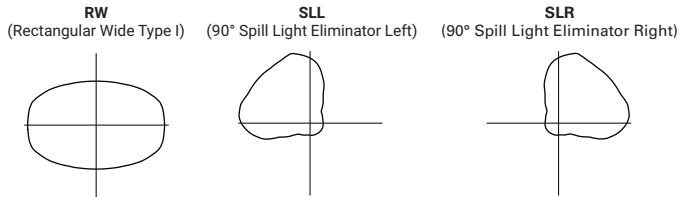
Asymmetric Area Distributions



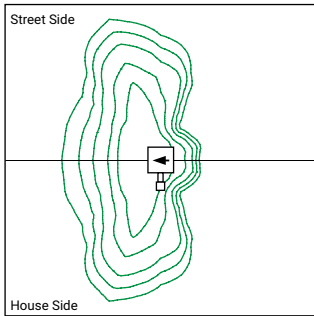
Symmetric Distributions



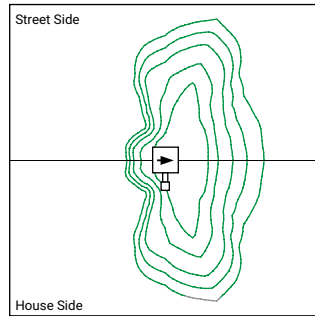
Specialized Distributions



Optic Orientation



Optics Rotated Left @ 90° [L90]



Optics Rotated Right @ 90° [R90]

Energy and Performance Data

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

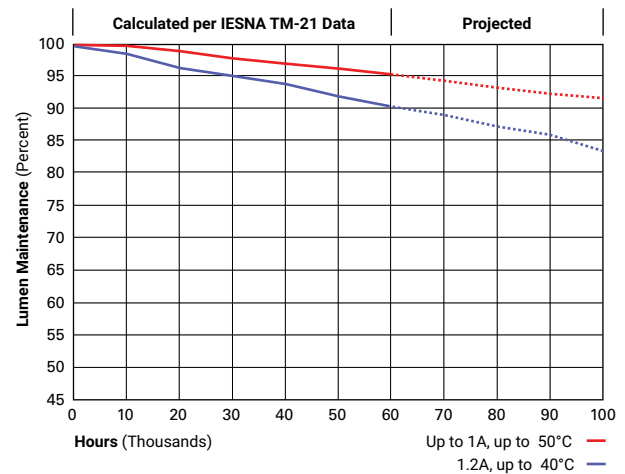
FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Maintenance

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



Energy and Performance Data

[View GWC Galleon Wall IES files](#)

4000K/5000K/6000K CCT, 70 CRI

Number of Light Squares		1				2			
Drive Current		615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (A)		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
Input Current @ 480V (A)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
Optics									
T2	Lumens	4,883	5,989	7,412	8,131	9,543	11,703	14,485	15,891
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
	Lumens per Watt	144	136	126	121	145	136	128	123
T3	Lumens	4,978	6,105	7,556	8,288	9,729	11,929	14,764	16,196
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
T4FT	Lumens	5,008	6,140	7,599	8,337	9,783	11,998	14,850	16,290
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	147	140	129	124	148	140	131	126
T4W	Lumens	4,942	6,060	7,502	8,229	9,658	11,843	14,658	16,080
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
	Lumens per Watt	145	138	127	123	146	138	130	125
SL2	Lumens	4,874	5,979	7,399	8,117	9,528	11,684	14,461	15,863
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G3
	Lumens per Watt	143	136	125	121	144	136	128	123
SL3	Lumens	4,976	6,104	7,555	8,287	9,727	11,927	14,763	16,194
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
SL4	Lumens	4,729	5,799	7,178	7,873	9,239	11,333	14,025	15,387
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4
	Lumens per Watt	139	132	122	118	140	132	124	119
5NQ	Lumens	5,134	6,296	7,793	8,547	10,033	12,303	15,226	16,704
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	151	143	132	128	152	143	135	129
5MQ	Lumens	5,228	6,412	7,935	8,705	10,216	12,529	15,508	17,011
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	134	130	155	146	137	132
5WQ	Lumens	5,242	6,428	7,956	8,728	10,244	12,563	15,548	17,056
	BUG Rating	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	135	130	155	146	138	132
SLL/SLR	Lumens	4,373	5,365	6,640	7,283	8,547	10,481	12,973	14,231
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	129	122	113	109	130	122	115	110
RW	Lumens	5,087	6,238	7,721	8,472	9,941	12,190	15,088	16,553
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	150	142	131	126	151	142	134	128

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

3000K CCT, 80 CRI

Number of Light Squares		1				2			
Drive Current		615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (A)		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
Input Current @ 480V (A)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
Optics									
T2	Lumens	3,880	4,759	5,890	6,461	7,583	9,300	11,510	12,628
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
T3	Lumens	3,956	4,851	6,004	6,586	7,731	9,479	11,732	12,870
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
	Lumens per Watt	116	110	102	98	117	110	104	100
T4FT	Lumens	3,980	4,879	6,038	6,625	7,774	9,534	11,800	12,945
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	117	111	102	99	118	111	104	100
T4W	Lumens	3,927	4,816	5,961	6,539	7,675	9,411	11,648	12,778
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	116	109	101	98	116	109	103	99
SL2	Lumens	3,873	4,751	5,880	6,450	7,571	9,285	11,491	12,605
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
SL3	Lumens	3,954	4,851	6,004	6,585	7,729	9,478	11,731	12,868
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	116	110	102	98	117	110	104	100
SL4	Lumens	3,758	4,608	5,704	6,256	7,342	9,006	11,145	12,227
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3
	Lumens per Watt	111	105	97	93	111	105	99	95
5NQ	Lumens	4,080	5,003	6,193	6,792	7,973	9,776	12,099	13,274
	BUG Rating	B2-U0-G0	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
	Lumens per Watt	120	114	105	101	121	114	107	103
5MQ	Lumens	4,154	5,095	6,305	6,917	8,118	9,956	12,323	13,518
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	122	116	107	103	123	116	109	105
5WQ	Lumens	4,166	5,108	6,322	6,936	8,140	9,983	12,355	13,553
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	123	116	107	104	123	116	109	105
SLL/SLR	Lumens	3,475	4,263	5,276	5,787	6,792	8,329	10,309	11,309
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	102	97	89	86	103	97	91	88
RW	Lumens	4,042	4,957	6,135	6,732	7,900	9,687	11,990	13,154
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	119	113	104	100	120	113	106	102

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

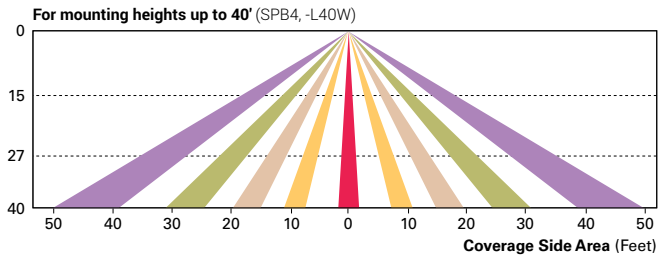
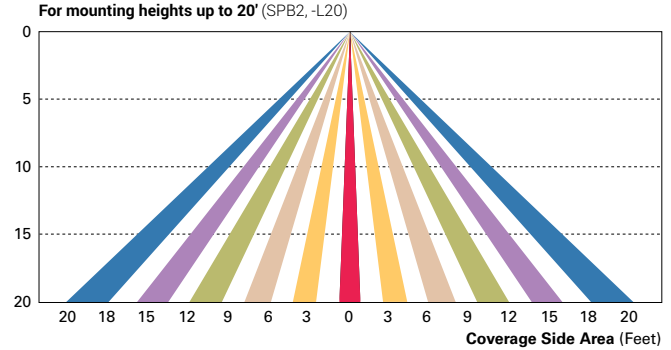
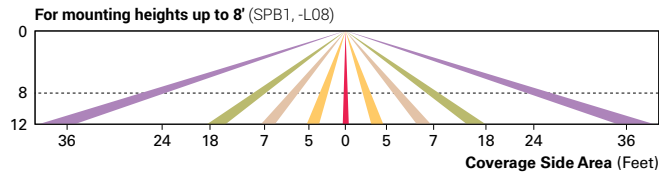
Control Options

0-10V This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

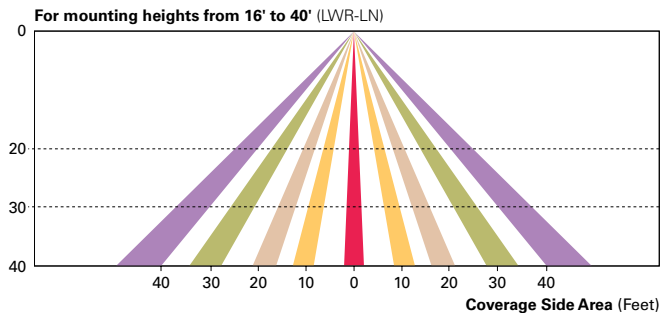
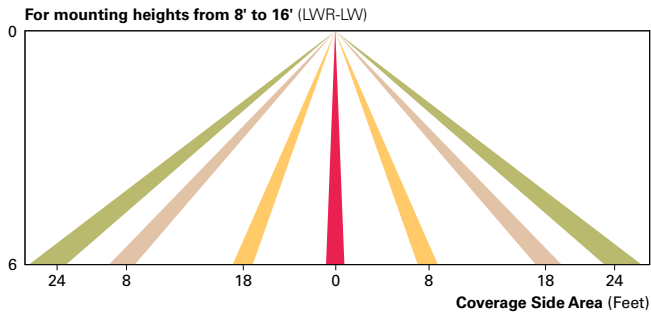
Photocontrol (BPC, PR, and PR7) Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted control system is a connected lighting solution, combining LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes while collecting valuable data about building performance and use. Software applications utilizing energy dashboards maximize data inputs to help optimize the use of other resources beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A) The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.



**CITY OF MARQUETTE
POLICE DEPARTMENT
300 W. BARAGA AVE.
MARQUETTE, MI 49855
(906) 228-0400
www.marquettemi.gov**

MEMORANDUM

TO: Planning Commission
FROM: James Finkbeiner, Road Patrol Captain
DATE: October 22, 2024
SUBJECT: **Review of 16-SPR-11-24 and 192-ZCP-10-24 (Zoning Compliance)**

**Parcel ID's # 0511040
401 East Fair Avenue (1420 Pine Street)
The YMCA**

I have reviewed the plans and have no comments at this time.

Captain James Finkbeiner
Road Patrol Captain
Marquette City Police Department



SITE PLAN REVIEW COMMITTEE
Site Plan Review
CITY OF MARQUETTE
300 W. Baraga
Marquette, MI 49855

Date: October 25, 2024

Location: 401 E. Fair Ave.

Submittal Documents:

Plan Title: YMCA field house

Submitted by: IDI

Plans Stamped: 9/30/24

The following are the plan review comments from the Engineering Department for the documents identified above.

- No Comments on this plan set.

Respectfully Submitted,

Engineering Department



**CITY OF MARQUETTE
PLANNING AND ZONING
1100 WRIGHT ST
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov**

MEMORANDUM

TO: YMCA
FROM: Andrea Landers, Zoning Official
DATE: October 25 2024
SUBJECT: Review of 16-SPR-11-24 – 401 E. Fair Ave (1420 Pine St) YMCA
Building Addition (PIN: 0511040)

Zoning staff has no comments.

4 Outlook

RE: 16-SPR-11-24 YMCA building addition 401 E Fair Ave (1420 Pine St)

From Scott Cambensy <scambensy@marquette.mi.gov>

Date Thu 10/24/2024 5:17 PM

To Andrea Landers <alanders@marquette.mi.gov>

Cc Dennis Stachewicz <dstachewicz@marquette.mi.gov>; David Stensaas <dstensaas@marquette.mi.gov>; Mik Kilpela <mkilpela@marquette.mi.gov>; Jon Swenson <jswenson@marquette.mi.gov>

Andrea,

To me the entire property that is being applied to be modified is what should be shown on the site plan for review. Essentially that is everything on the block south of the northerly portion of the drainage ditch. The plan shows that on the location map and then really only concentrates on the 2014 lease agreement area after that. Changes affect LVA and the skate park. I think any modification outside of the current building envelope should show the overall parking plan for the entire site. Whether showing the modified parking is something IDI shows as a concept or Mik and his team design and share with IDI is up to you. It's not just the layout for plowing, it's traffic flow, drainage, safety, snow storage, ADA accessibility, number of parking spaces, and serviceability of the lot. I also think that a parking arrangement for sharing maintenance costs should be in place before this project moves forward.

Without showing the above items there is not really anything for me to review. If it is not the responsibility of the YMCA (lessee) to show anything outside of the lease, then it should be up to the lessor to show those items prior to any construction taking place.

Scott

MEMORANDUM

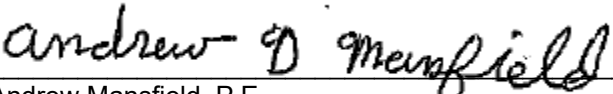
TO: Andrea Landers, Zoning Official
FROM: Andrew Mansfield, IDI
DATE: October 25, 2024
SUBJECT: Review of 16-SPR-11-24: 1420 Pine Street - YMCA Site Plan Review

Responses to City of Marquette Planning and Zoning Comments dated 10-21-24 are below in red.

Fire Department Comments:

1. Will there be a fire alarm annunciator panel installed in the new addition?
No, a fire alarm annunciator panel will not be installed in the new addition.
2. Will the building be equipped with an exterior Knox Box?
Yes, a new Knox Box will be added as part of this project.

Thank You,


Andrew Mansfield, P.E.

16-SPR-11-24 Area Map

LEGEND

- Parcels_Address Number Labels
- Building FootPrints_updating
- Lease_Sites_Update_Poly
- Street Labels
- Streets
- 🔥 Fire Hydrants
- ⏸ WaterShutOff
- ⊙ Water Valves & Gates
- Water Lateral Lines
- Watermains
- Water Structures
- Storm Manholes
- Storm Catch Basins
- Storm Pipes

Storm_Ditches_and_Streams

INFO

- DAYLIGHT
- IN ROAD/BRIDGE CULVERT
- IN STORM SEWER
- ⚙ Sewer_Lift_Stations
- 🔧 SewerCleanOuts
- ⚡ Sewer System Valves
- Sewer Manholes
- Sewer Lateral Lines
- Sewer Pressurized Mains
- Sewer Gravity Mains

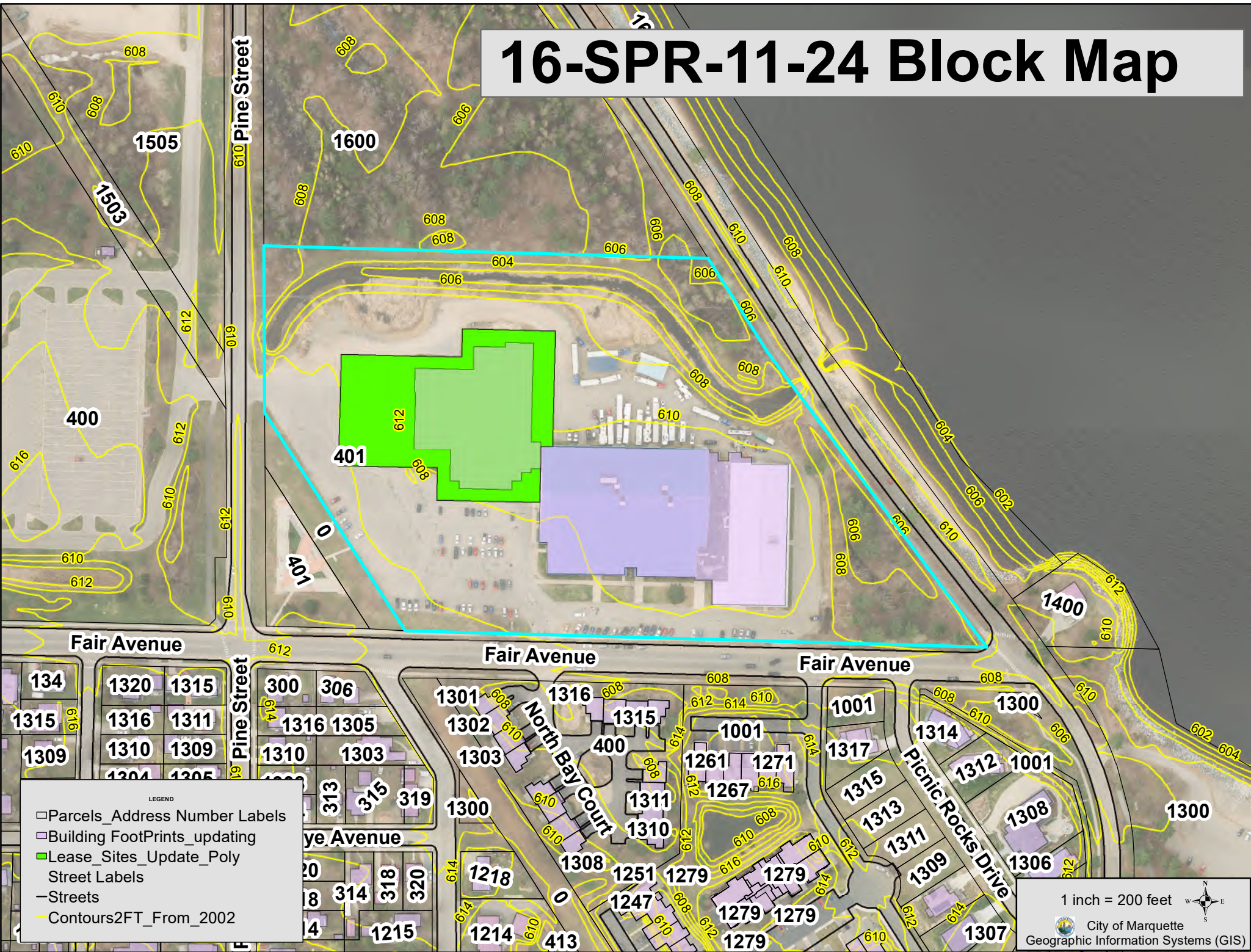
San Flow Direction

FLOW_DIR

- EAST
- NORTH
- SOUTH
- WEST




16-SPR-11-24 Block Map



LEGEND

- Parcels_Address Number Labels
- Building FootPrints_updating
- Lease_Sites_Update_Poly
- Street Labels
- Streets
- Contours2FT_From_2002

1 inch = 200 feet



City of Marquette
Geographic Information Systems (GIS)





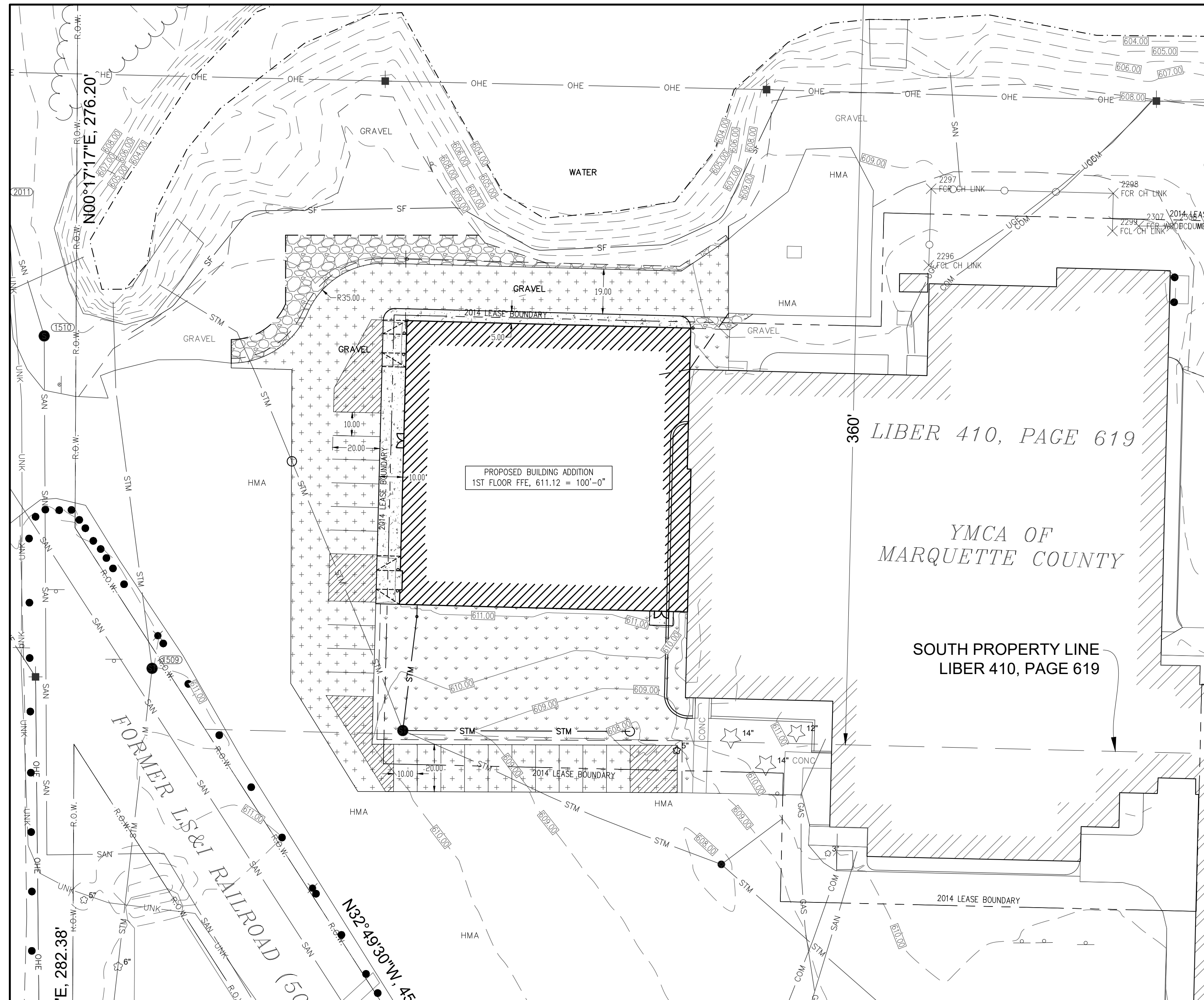




YMCA FIELD HOUSE

1420 PINE STREET

MARQUETTE, MICHIGAN



LOCATION & PROPERTY MAP W/ PROPOSED WORK
SCALE: 1 INCH = 30 FEET

REVISIONS	
DATE	ISSUE
09-30-24	SITE PLAN REVIEW

PROJECT DESCRIPTION

CONSTRUCTION OF A FIELD HOUSE ADDITION ON THE WEST SIDE OF THE EXISTING MARQUETTE YMCA BUILDING. OTHER ITEMS OF WORK INCLUDE PARKING LOT MODIFICATIONS, SIDEWALKS, UTILITY WORK, TURF RESTORATION ETC.

GENERAL NOTES

- EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE CITY OF MARQUETTE STANDARD SPECIFICATIONS.
- THE PROPOSED IMPROVEMENTS COVERED BY THESE PLANS ARE IN ACCORDANCE WITH THE AASHTO, A POLICY ON GEOMETRIC DESIGN OF ROADS AND STREETS, OR PER THE CITY OF MARQUETTE ENGINEERING DEPARTMENT GENERAL GUIDELINES FOR STREET AND UTILITY DESIGN STANDARDS.
- ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION OR REMOVAL THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DEVELOPER'S ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS AS APPROPRIATE. ALL REVISIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. PLAN REVISIONS MAY NEED ZONING ADMINISTRATOR AND CITY ENGINEER APPROVAL.
- MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL PAVING CONSTRUCTION PER CITY OF MARQUETTE STANDARD DETAILS.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. HOWEVER, THE TYPE OF VEGETATION MUST EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION, A PRECONSTRUCTION CONFERENCE BETWEEN THE CITY OF MARQUETTE, THE DEVELOPER, THE CONTRACTOR, UTILITY COMPANIES, ANY AFFECTED PARTIES, AND ANY OTHER ENTITY THE CITY OR DEVELOPER MAY REQUIRE, SHALL CONVEY.
- THE DEVELOPER OR HIS/HER DESIGNATED AGENT SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE DEVELOPER OR HIS/HER DESIGNATED AGENT SHALL FURNISH THE CITY OF MARQUETTE ACCURATE "AS-BUILT" DRAWINGS FOLLOWING COMPLETION OF ALL CONSTRUCTION. THESE "AS-BUILT" DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE CITY ENGINEERING DEPARTMENT PRIOR TO FINAL ACCEPTANCE. FINAL "AS-BUILT" DRAWINGS SHALL BE DELIVERED TO THE CITY ENGINEERING DEPARTMENT IN PAPER FORM AND ON A CD/DVD IN CAD/DWG FORMAT.
- THE CITY OF MARQUETTE CITY COMMISSION SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT AND/OR RIGHT OF WAY OR DEED DOCUMENTS HAVE BEEN SIGNED AND RECORDED, AND ALL MATERIALS, PIPING, STRUCTURES HAVE BEEN INSPECTED AND TESTED TO THE CITY ENGINEERS APPROVAL.
- ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND ALL WORK DONE IN PUBLIC RIGHTS OF WAY OR EASEMENTS MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER.
- PRIOR TO ANY CONSTRUCTION, THE DEVELOPER OR HIS/HER DESIGNATED AGENT SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES, SUCH AS, BUT NOT LIMITED TO, THE CITY OF MARQUETTE, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, COUNTY OF MARQUETTE, ETC.
- CONSTRUCTION INSPECTION SHALL BE PERFORMED BY THE CITY OF MARQUETTE FOR INFRASTRUCTURE THAT WILL BE DEDICATED TO THE CITY FOR PUBLIC USE. CONTRACTOR SHALL PROVIDE 72 HOUR NOTICE OF CONSTRUCTION ACTIVITIES.

CITY OF MARQUETTE

REVIEWED FOR COMPLIANCE:

CITY OF MARQUETTE, MICHIGAN DATE
CITY ENGINEER

REVIEW IS FOR GENERAL COMPLIANCE WITH THE CITY OF MARQUETTE ENGINEERING DEPARTMENT "GENERAL GUIDELINES AND STANDARDS FOR STREET AND UTILITY DESIGN" AND "STANDARD SPECIFICATIONS" FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

ENGINEER

STATE OF MICHIGAN
COUNTY OF MARQUETTE

I, ANDREW D. MANSFIELD, DO HEREBY CERTIFY THAT THE UNDERGROUND INFRASTRUCTURE, DRAINAGE IMPROVEMENTS, AND SITE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE LOCAL AND STATE SUBDIVISIONS AND BUILDING REGULATION ORDINANCES, COUNTY BUILDING REGULATION, CITY OF MARQUETTE ZONING ORDINANCE, STATE AND FEDERAL REQUIREMENTS, AND STORM WATER DRAINAGE AND MANAGEMENT POLICY ADOPTED BY THE CITY OF MARQUETTE, MICHIGAN.

INDEX OF DRAWINGS

COVER	SITE COVER
1	TOPOGRAPHIC SURVEY
C0.0	NOTES
C0.1	ADJACENT PARCELS
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C2.0A	ADD ALTERNATE SITE PLAN
C3.0	GRADING PLAN
C3.0A	ADD ALTERNATE GRADING PLAN
C4.0	UTILITY PLAN
C4.0A	ADD ALTERNATE UTILITY PLAN
C5.0	SITE DETAILS
C5.1	SITE DETAILS
A0.1	COMPOSITE FLOORPLAN
A2.0	ENLARGED NEW WORK PLANS
A6.0	EXTERIOR ELEVATIONS
A6.1	EXTERIOR ELEVATIONS

PROJECT SAFETY NOTES:

- PROJECT SAFETY SHALL BE IN ACCORDANCE WITH THE LAWS OF THE STATE OF MICHIGAN AND THE MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S CURRENT REGULATIONS.

STREET AND DRAINAGE NOTES:

- ALL FIELD TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE OWNER'S EXPENSE. ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY'S INSPECTOR AND HE/SHE SHALL BE GIVEN A MINIMUM OF 2 BUSINESS DAYS NOTICE PRIOR TO ANY TESTING.
- BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 95% MAXIMUM DENSITY TO WITHIN 5" OF THE TOP OF CURB. BACKFILL MATERIAL USED SHALL BE MOIST CLASS II. THE REMAINING BACKFILL BEHIND THE CURB SHALL BE 4" OF CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- DEPTH OF COVER FOR ALL CROSSING UNDER PAVEMENT FOR GAS, ELECTRIC, TELEPHONE, AND CABLE TV, SHALL BE A MINIMUM OF 30".
- STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE TO PROVIDE POSITIVE DRAINAGE TOWARD THE CURB UNLESS OTHERWISE INDICATED DUE TO SPECIAL CIRCUMSTANCES.

WATER AND WASTEWATER NOTES:

- THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER TO COORDINATE UTILITY MAIN, STRUCTURE, AND UTILITY TIE-INS AND NOTIFY HIM/HER AT LEAST 2 BUSINESS DAYS PRIOR FOR INSPECTION SERVICES.
- ALL WATER AND WASTEWATER TAPS INTO THE CITY OF MARQUETTE PUBLIC SYSTEM SHALL BE DONE BY THE CITY OF MARQUETTE PUBLIC WORKS DEPARTMENT. A MINIMUM OF 72 HOURS NOTICE WILL BE GIVEN TO THE DEPARTMENT FOR WORK REQUIRED FOR TAPPING ACTIVITIES. PERMITS ARE REQUIRED FROM THE CITY OF MARQUETTE ENGINEERING DEPARTMENT FOR WATER, WASTEWATER, AND STORM WATER TAPS INTO THE PUBLIC SYSTEM. ALLOW 3 BUSINESS DAYS TO PROCESS PERMIT APPLICATIONS.
- THE CONTRACTOR MUST OBTAIN A WATER METER FROM THE CITY OF MARQUETTE PUBLIC WORKS DEPARTMENT FOR ALL PUBLIC WATER USED DURING CONSTRUCTION.
- THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM QUALITY TESTING FOR ALL WASTEWATER PIPE INSTALLED AND PRESSURE PIPE HYDROSTATIC TESTING OF ALL WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING PUMPS AND GAUGES), SUPPLIES AND LABOR NECESSARY TO PERFORM THE TESTS PER CITY OF MARQUETTE SPECIFICATION REQUIREMENTS. QUALITY AND PRESSURE TESTING SHALL BE MONITORED BY THE INSPECTOR FROM THE CITY OF MARQUETTE ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY INSPECTOR AND PROVIDE NO LESS THAN 2 BUSINESS DAYS NOTICE PRIOR TO PERFORMING DISINFECTION, QUALITY TESTING OR PRESSURE TESTING.
- THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES ON THE PUBLIC SYSTEM. VALVE OPERATION MUST BE COORDINATED WITH THE CITY OF MARQUETTE PUBLIC WORKS DEPARTMENT.
- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL NOTIFY MISS DIG A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ADJOINING PROPERTY OWNER TO LOCATE PRIVATE UTILITIES THAT MAY BE PLACED NOT ONLY ON PRIVATE PROPERTY BUT ON PUBLIC PROPERTY.

TRAFFIC CONTROL NOTES

- ANY METHODS, STREET MARKING AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIAN OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.
- ALL PUBLIC STREETS THAT ARE TO BE CLOSED OR INTERRUPTED DUE TO THE CONSTRUCTION ACTIVITIES WILL REQUIRE COORDINATION WITH THE CITY OF MARQUETTE ENGINEERING DEPARTMENT FOR A PUBLIC SERVICE ANNOUNCEMENT. A MINIMUM OF 72 HOUR NOTICE WILL BE GIVEN TO THE CITY ENGINEERING DEPARTMENT FOR SAID CLOSURES OR INTERRUPTIONS.
- PARKING RESTRICTION MUST BE POSTED 24 HOURS BEFORE WORK STARTS AND WILL BE AT THE EXPENSE OF THE CONTRACTOR/DEVELOPER.
- THE HOURS OF CONSTRUCTION OPERATIONS WILL FOLLOW THE NOISE RESTRICTIONS AS PER THE CITY OF MARQUETTE NUISANCE ORDINANCE AND AS SPECIFIED IN THE CITY OF MARQUETTE STANDARD CONSTRUCTION SPECIFICATIONS.

EROSION AND SEDIMENTATION CONTROL NOTES

- EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY GUIDEBOOK OF BEST MANAGEMENT PRACTICES FOR MICHIGAN WATERSHEDS.
- ALL SLOPES SHALL BE SOODED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
- SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR'S CERTIFIED STORM WATER OPERATOR FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY OF MARQUETTE'S HYDROLOGY ENGINEER OR FIELD REPRESENTATIVE, THEY ARE WARRANTED.
- ALL MUD, DIRT, ROCKS, DEBRIS, ETC., SPILLED, TRACKED OR OTHERWISE DEPOSITED ON EXISTING PAVED STREETS, DRIVES AND AREAS USED BY THE PUBLIC SHALL BE CLEANED UP IMMEDIATELY.

Prepared By:

IDI ARCHITECTURE
ENGINEERING
CONSULTING

MARQUETTE OFFICE:
1021 W. BARAGA AVENUE
MARQUETTE, MI 49855
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IDI Project No: 24-102

COVER

TOPOGRAPHIC SITE SURVEY

PART OF GOV'T LOT 2, SECTION 14, T48N-R25W, CITY OF MARQUETTE, MARQUETTE COUNTY, MICHIGAN

- LINE LIBRARY**

 - OVERHEAD ELECTRIC
 - TREE LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BUILDING OUTLINE
 - EDGE OF WATER
 - PROPERTY LINE
 - WATER MAIN
 - SANITARY MAIN
 - STORM MAIN
 - NATURAL GAS MAIN
 - FENCE
 - RETAINING WALL
 - UNKNOWN UNDERGROUND UTILITY

HATCH LIBRARY

 - BITUMINOUS ASPHALT
 - CONCRETE
 - BUILDING
 - GRAVEL
 - RIP-RAP

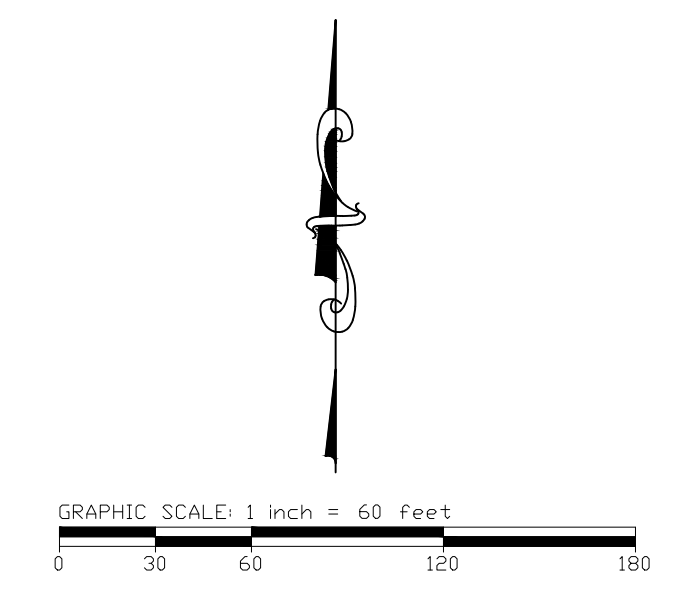
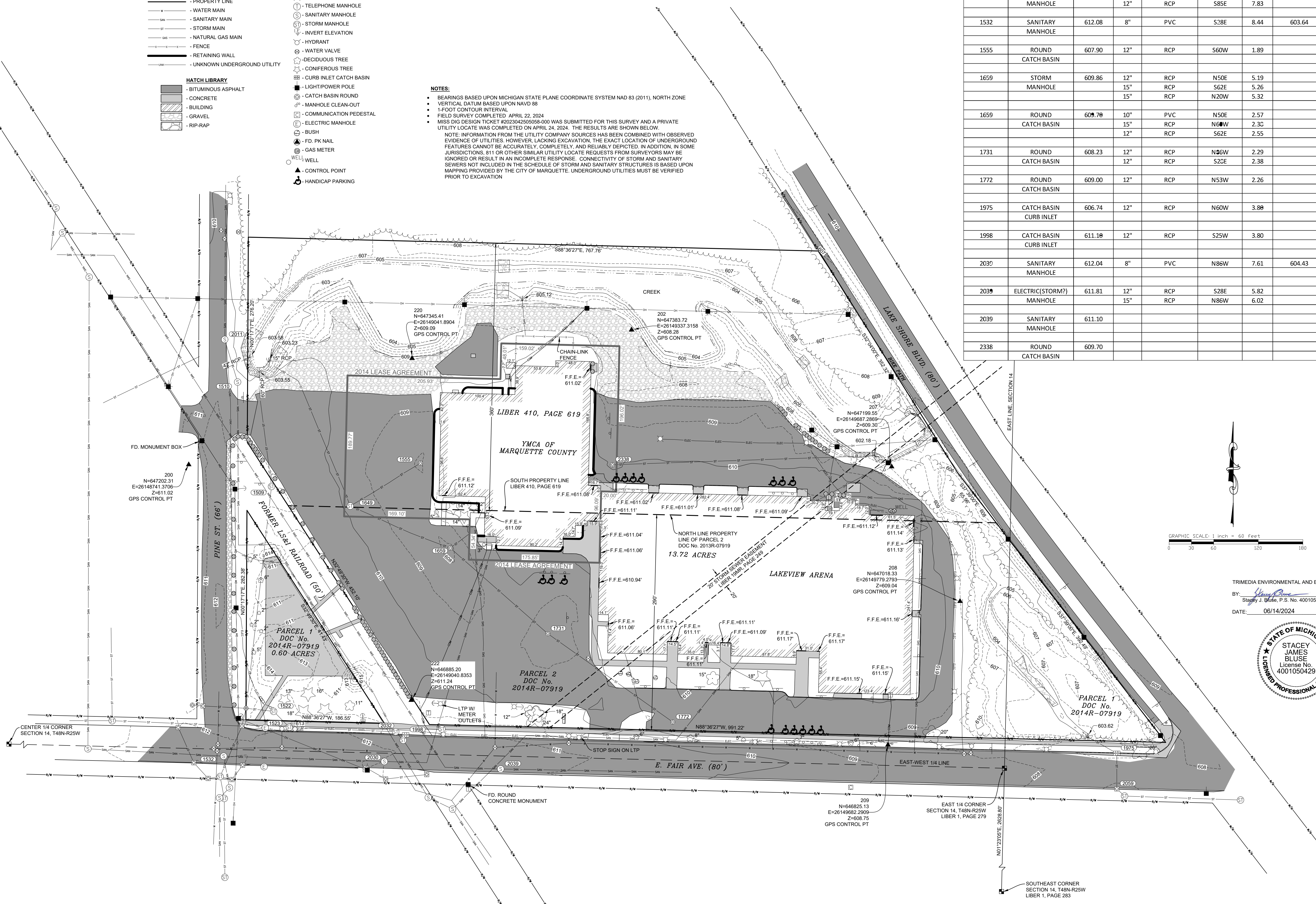
SYMBOL LIBRARY

 - - GUARD POST
 - - POWER POLE
 - - GUY ANCHORS
 - - SIGN
 - - TELEPHONE PEDESTAL
 - - GUY POLE
 - - LIGHT POLE
 - - TELEPHONE MANHOLE
 - - SANITARY MANHOLE
 - - STORM MANHOLE
 - - INVERT ELEVATION
 - - HYDRANT
 - - WATER VALVE
 - - DECIDUOUS TREE
 - - CONIFEROUS TREE
 - - CURB INLET CATCH BASIN
 - - LIGHT/POWER POLE
 - - CATCH BASIN ROUND
 - - MANHOLE CLEAN-OUT
 - - COMMUNICATION PEDESTAL
 - - ELECTRIC MANHOLE
 - - BUSH
 - ▲ - FD. PK NAIL
 - - GAS METER
 - - WELL
 - ▲ - CONTROL POINT
 - ♿ - HANDICAP PARKING

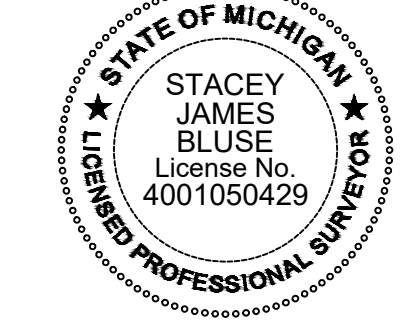
NOTES:

- BEARINGS BASED UPON MICHIGAN STATE PLANE COORDINATE SYSTEM NAD 83 (2011), NORTH ZONE
- VERTICAL DATUM BASED UPON NAVD 88
- 1-FOOT CONTOUR INTERVAL
- FIELD SURVEY COMPLETED APRIL 22, 2024
- MISS DIG DESIGN TICKET #202304255059-000 WAS SUBMITTED FOR THIS SURVEY AND A PRIVATE UTILITY LOCATE WAS COMPLETED ON APRIL 24, 2024. THE RESULTS ARE SHOWN BELOW.
- NOTE: INFORMATION FROM THE UTILITY COMPANY SOURCES HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. CONNECTIVITY OF STORM AND SANITARY SEWERS NOT INCLUDED IN THE SCHEDULE OF STORM AND SANITARY STRUCTURES IS BASED UPON MAPPING PROVIDED BY THE CITY OF MARQUETTE. UNDERGROUND UTILITIES MUST BE VERIFIED PRIOR TO EXCAVATION

SCHEDULE OF STORM AND SANITARY STRUCTURES									
STR No.	STR TYPE	RIM ELEV.	SIZE	TYPE	DIRECTION	DROP	INVERT ELEV.	COMMENTS	
1509	STORM MANHOLE	611.01						FLUSH IN GRASS NO PIPES COMING IN	
1532	STORM MANHOLE	611.01	15"	RCP	S85E	7.16		TO #1523	
					N82W	7.17		TO #1404	
1532	STORM MANHOLE	612.00	15"	RCP	N45W	8.06		TO #1523	
					S85E	7.83			
1532	SANITARY MANHOLE	612.08	8"	PVC	S28E	8.44	603.64	CITY MANHOLE 787 INVENTORY	
1555	ROUND CATCH BASIN	607.90	12"	RCP	S60W	1.89			
1659	STORM MANHOLE	609.86	12"	RCP	N50E	5.19		TO #1523	
					S62E	5.26		TO #1659	
					N20W	5.32		TO #22247	
1659	ROUND CATCH BASIN	609.78	10"	PVC	N50E	2.57		TO #1649	
					N60W	2.30		TO #1731	
					S62E	2.55			
1731	ROUND CATCH BASIN	608.23	12"	RCP	N80W	2.29		TO #1659	
					S20E	2.38		TO #1772?	
1772	ROUND CATCH BASIN	609.00	12"	RCP	N53W	2.26		TO #1731	
1975	CATCH BASIN CURB INLET	606.74	12"	RCP	N60W	3.88		TO #2143	
1998	CATCH BASIN CURB INLET	611.18	12"	RCP	S25W	3.80			
2030	SANITARY MANHOLE	612.04	8"	PVC	N86W	7.61	604.43	CITY MANHOLE 787A INVENTORY	
2039	ELECTRIC(STORM?) MANHOLE	611.81	12"	RCP	S28E	5.82		TO #1523	
					N86W	6.02			
2039	SANITARY MANHOLE	611.10						FORCED MAIN	
2338	ROUND CATCH BASIN	609.70						FULL OF DIRT	



TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC
 BY: *Stacey J. Bluse*
 Stacey J. Bluse, P.S. No. 4001050429
 DATE: 06/14/2024



YMCA OF MARQUETTE COUNTY
 PART OF GOV'T LOT 2, SECTION 14, T48N-R25W
 CITY OF MARQUETTE, MICHIGAN

DATE	DESCRIPTION	ISSUED
06/14/24	FINAL SUBMITTAL	
05/17/24	DRAFT	

DESIGNED: JBS
 DRAWN: JBS
 CHECKED: SJB/SJK
 APPROVED: SJB

TRIMEDIA
 JOB NUMBER:
 2024-1090
 SHEET TITLE:
 Topographic
 Site Survey
 SHEET NUMBER:
 1 OF 1

P:\2024\2024-1090 YMCA Marquette - Site Survey Drawings\2024-1090 YMCA Topo Survey.dwg

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2012 EDITION AND SUPPLEMENTAL SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED IN THE PLANS OR SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL EXISTING TURF AREAS WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES THROUGHOUT THE PROJECT OR AS SPECIFIED. TURF AREAS SHALL MATCH ADJACENT GRADES IN ADDITION TO GRADES SPECIFIED. TURF RESTORATION CONSISTS OF: SCREENED TOPSOIL SURFACE, 6 INCH; CHEMICAL FERTILIZER NUTRIENT, IF REQUIRED; MOIST SEED MIXTURE TDS; STRAW MULCH BLANKETS AND MULCH ANCHORING. THE CONTRACTOR SHALL BE REQUIRED TO WATER TURF AREAS TO PROMOTE HEALTHY GROWTH UNTIL THE FIRST CUTTING. AT THAT TIME THE OWNER SHALL TAKE ALL RESPONSIBILITY FOR MAINTENANCE.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY AND ALL AREAS DISTURBED OR DAMAGED OUTSIDE OF THE OWNERS PROPERTY, AS A RESULT OF THE CONTRACTORS OPERATIONS, AT NO ADDITIONAL COST TO THE PROJECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND ORDINANCES FOR WORK AT THE SITE. THIS SHALL INCLUDE ALL M.I.O.S.H.A. REGULATIONS.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM FOR DUST CONTROL AND SHALL ALLOW NO ONSITE BURNING, WITHOUT PRIOR APPROVAL FROM THE OWNER, ENGINEER AND THE LOCAL FIRE DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FEES AND OBTAINING ANY REQUIRED PERMITS FOR WORKING WITHIN THE RIGHT-OF-WAY INCLUDING SEWER TAPS, OFF STREET PARKING, SIDEWALK AND/OR ROAD CLOSURES, SIDEWALK AND CURB REPLACEMENT, ETC. THE CONTRACTOR SHALL PROVIDE THE LOCAL MUNICIPALITY WITH ANY ROAD CLOSURE AND DETOUR PLAN, IF REQUIRED, PRIOR TO PROCEEDING WITH WORK. CONTACT LOCAL MUNICIPALITY FOR REQUIREMENTS BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT FOR THIS PROJECT. THE CONTRACTOR SHALL PROTECT OR PLACE NEW BENCHMARKS AND/OR CONTROL POINTS, AS REQUIRED. AN ELECTRONIC COPY OF THE AUTOCAD ".DWG" FILE SHALL BE PROVIDED TO THE CONTRACTOR OR THEIR SURVEYOR.
- ANY PROPERTY IRONS DAMAGED OR REMOVED BY THE CONTRACTORS OPERATIONS, SHALL BE REPLACED BY A SURVEYOR LICENSED IN THE STATE OF MICHIGAN AT NO COST TO THE PROJECT.
- THE CONTRACTOR WILL BE REQUIRED TO COORDINATE THEIR WORK WITH THE BUILDING CONTRACTORS OR UTILITY COMPANIES' WORK AT NO ADDITIONAL COST TO THE PROJECT.
- SITE CLEARING SHALL INCLUDE SURFACE DEBRIS, REMOVING ABOVE AND BELOW GROUND IMPROVEMENTS, ROCKS, DESIGNATED TREES, SHRUBS AND OTHER VEGETATION AND ABANDONED UTILITIES AS NECESSARY TO PERFORM THE WORK IN THE CONTRACT. ALL REMOVAL ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS, BENCHMARKS AND/OR EXISTING STRUCTURES TO REMAIN FROM DAMAGE OR DISPLACEMENT.
- TREES IN THE INFLUENCE OF THE PROPOSED NEW WORK SHALL BE REMOVED. TREE REMOVAL SHALL INCLUDE COMPLETE REMOVAL OF THE STUMP AND INCLUDE REMOVAL OF ANY ROOTS WHICH ARE LOCATED WITHIN THE INFLUENCE OF THE SUBBASE EXCAVATION, BUILDING CONSTRUCTION AND UTILITY TRENCH EXCAVATION. WHEN EXCAVATING THROUGH ROOTS, PERFORM WORK BY HAND AND CUT ROOTS WITH A SHARP AXE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF REMOVED, SURPLUS AND/OR WASTE MATERIAL FROM THE SITE. ALL TRANSPORTATION AND DISPOSAL OF THE REMOVED ITEMS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATION AND ALL LOCAL, STATE AND FEDERAL LAWS.
- SAW CUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO REMOVAL. WHERE SAW CUT IS REQUIRED IN CONCRETE SLABS AND/OR CURB & GUTTER, SAW CUT FULL DEPTH AT THE NEAREST JOINT. IF A SAWCUT EDGE BECOMES DAMAGED PRIOR TO THE INSTALLATION OF NEW WORK, THE EDGE SHALL BE RECUT, AS DIRECTED BY THE ENGINEER, AND THE PAVEMENT REPLACED AT NO ADDITION COST TO THE PROJECT.

TRAFFIC CONTROL AND MAINTENANCE

- TRAFFIC SHALL BE MAINTAINED IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), 2011 EDITION AND ALL CURRENT MDOT STANDARD PLANS, AS REQUIRED. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MAINTENANCE PLAN TO THE ENGINEER FOR APPROVAL, 10 DAYS PRIOR TO BEGINNING WORK.
- ALL SIGNS, BARRICADES, WARNING LIGHTS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MMUTCD. SIGNING FOR STREET CLOSURES SHALL BE IN ACCORDANCE WITH THE MMUTCD. ANY SIGNS TEMPORARILY REMOVED DUE TO CONSTRUCTION ACTIVITIES, SHALL BE TEMPORARILY RELOCATED, AS DIRECTED BY THE ENGINEER, UNTIL FINAL RESTORATION IS COMPLETED AND THEN RETURNED TO THEIR ORIGINAL LOCATION.
- DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PLACE THE PROPER CONSTRUCTION SIGNING IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND ALL CURRENT MDOT STANDARD PLANS, AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE THE LOCAL MUNICIPALITY WITH ANY ROAD CLOSURE AND DETOUR PLAN, IF REQUIRED, PRIOR TO PROCEEDING WITH WORK. CONTACT LOCAL MUNICIPALITY FOR REQUIREMENTS BEFORE PROCEEDING WITH WORK.

UTILITY NOTES

- UTILITIES AND UTILITY SERVICE INFORMATION, SHOWN ON THE PLANS, ARE BASED ON UTILITY STAKING AND IS FOR INFORMATION ONLY, AS ACTUAL LOCATIONS MAY VARY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY LOCATIONS BEFORE PROCEEDING WITH WORK.
- FOR THE PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, THE CONTRACTOR IS REQUIRED TO CONTACT "MISS DIG" BY PHONE AT 811 OR 800-482-7171 OR VIA THE WEB AT EITHER ELOCATE.MISSDIG.ORG FOR SINGLE ADDRESS OR RTE.MISSDIG.ORG, A MINIMUM OF 72 HOURS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
- THE CONTRACTOR WILL BE REQUIRED TO COORDINATE ALL OF THEIR WORK WITH THE UTILITY COMPANIES WORK, IF ANY, AT NO ADDITIONAL COST TO THE PROJECT.
- COSTS AND FEES CHARGED BY THE UTILITY COMPANIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE MADE A PART OF THE CONTRACT.
- DAMAGE TO EXISTING UTILITIES, OUTSIDE THE SCOPE OF WORK SHOWN ON THE PLANS, IS THE RESPONSIBILITY OF THE CONTRACTOR AND REPAIR, AS SUCH, SHALL BE AT NO ADDITIONAL COST TO THE PROJECT.
- IN CASES WHERE EXISTING SEWERS, DRAINS, GAS SERVICE CONNECTIONS, TELEPHONE OR ELECTRICAL FACILITIES, WATER SERVICE CONNECTIONS, ETC. ARE ENCOUNTERED, THE CONTRACTOR SHALL PERFORM THEIR WORK IN SUCH A MANNER THAT THE SERVICE WILL BE UNINTERRUPTED. THE CONTRACTORS METHOD FOR MAINTAINING AND SUPPORTING THE EXISTING UTILITIES AND THEIR SERVICE CONNECTIONS, IF REQUIRED, SHALL BE AS SUCH TO AVOID SETTLEMENT OF THE UTILITIES BEFORE AND AFTER PLACING BACKFILL.
- STORM SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARQUETTE STANDARD SPECIFICATION FOR STORM WATER COLLECTION SYSTEMS.
- SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MARQUETTE STANDARD SPECIFICATION FOR SANITARY SEWER COLLECTION SYSTEMS.
- SEE ELECTRICAL, MECHANICAL AND PLUMBING PLANS FOR EXACT CONNECTIONS TO PROPOSED BUILDING UTILITIES.
- UTILITY DISINFECTION AND ALL OTHER TESTING AS REQUIRED BY THE GOVERNING CODE IS THE RESPONSIBILITY OF THE CONTRACTOR.



GRADING

- FINAL GRADING SHALL PROVIDE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE AWAY FROM BUILDINGS.
- THE CONTRACTOR SHALL GRADE THE SITE ACCORDING TO THE GRADING PLAN. IN THE ABSENCE OF A PLAN, THE CONTRACTOR IS TO GRADE THE SITE SO THAT THE NEW GRADES BLEND GENTLY INTO THE EXISTING GRADES. CONTRACTOR TO SLOPE GRADE AWAY FROM BUILDINGS A MINIMUM OF 2 INCHES IN 10 FEET.
- MAINTAIN OPTIMUM MOISTURE CONTENT OF MATERIALS WHEN GRADING.

EROSION CONTROL NOTES

- THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT FOR THIS PROJECT. CONTACT THE MARQUETTE COUNTY RESOURCE MANAGEMENT AND DEVELOPMENT DEPARTMENT FOR MORE INFORMATION AND REQUIREMENTS.
- APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF EARTH DISTURBING ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL ALL AREAS ARE FULLY RESTORED.
- ALL SOIL EROSION & SEDIMENT CONTROL (SESC) MEASURES PLACED BY THE CONTRACTOR SHALL BE IN FULL COMPLIANCE WITH PUBLIC ACT 347 OF 1972 AS AMENDED AND THE ADMINISTRATIVE RULES. THE CONTRACTOR SHALL HAVE A DEQ CERTIFIED STORM WATER OPERATOR ASSIGNED TO THIS PROJECT.
- A TRACKING PAD IS REQUIRED AT ANY CONTRACTOR INGRESS AND/OR EGRESS LOCATION WHERE SEDIMENT MAY BE TRACKED OFF-SITE. THE CONTRACTOR IS REQUIRED TO CLEAN ADJACENT STREETS OF ACCUMULATED SEDIMENT AS A RESULT OF THE CONTRACTORS ACTIVITY, AS DIRECTED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE PROJECT.
- INSTALL SEDIMENT CONTROL, INLET PROTECTION, FABRIC DROP (S58) AT EXISTING AND NEWLY CONSTRUCTED CATCH BASINS. AFTER RAIN EVENTS AND AT THE COMPLETION OF THE PROJECT, REMOVE AND CLEAN ALL ACCUMULATED SEDIMENT FROM THE CATCH BASINS.
- AT THE COMPLETION OF THE PROJECT, ONCE ALL DISTURBED AREAS HAVE BEEN FULLY RESTORED, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AND ANY ACCUMULATED SEDIMENT.
- THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF THE SITE HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL RESTORE DISTURBED AREAS AS SOON AS POSSIBLE.

MICHIGAN UNIFIED KEYING SYSTEM SOIL EROSION AND SEDIMENTATION CONTROL

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
SEDIMENT CONTROLS			
E2	GRUBBING OMITTED		FOR USE ON STEEP SLOPES TO PREVENT RILLING, GULLING AND REDUCE SHEET FLOW VELOCITY OR WHERE CLEAR VISION CORRIDORS ARE NECESSARY.
E5	DUST CONTROL		FOR USE ON CONSTRUCTION SITES, UNPAVED ROADS, ETC. TO REDUCE DUST AND SEDIMENTATION FROM WIND AND CONSTRUCTION ACTIVITIES.
E6	MULCH		FOR USE ON IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E7	TEMPORARY SEEDING		STABILIZATION METHOD UTILIZED ON CONSTRUCTION SITES WHERE EARTH CHANGE HAS BEEN INITIATED BUT NOT COMPLETED WITHIN A 2 WEEK PERIOD.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).
E9	MULCH BLANKETS		ON EXPOSED SLOPES, NEWLY SEEDED AREAS, NEW DITCH BOTTOMS OR AREAS SUBJECT TO EROSION.
E10	SODDING		ON AREAS AND SLOPES WHERE IMMEDIATE STABILIZATION IS REQUIRED.
E12	RIPRAP		USE ALONG SHORELINES, WATERWAYS, OR WHERE CONCENTRATED FLOWS OCCUR. SLOWS VELOCITY, REDUCES SEDIMENT LOAD, AND REDUCES EROSION.
EROSION CONTROLS			
S51	CHECK DAM		USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONSTRUCTED AND EXISTING FLOW CORRIDORS.
S51	SILT FENCE		USED ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ENTRANCE		USED AT EVERY POINT WHERE CONSTRUCT TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S55	SEDIMENT BASIN		AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
S56	SEDIMENT TRAP		IN SMALL DRAINAGE AREAS, ALONG CONSTRUCTION SITE PERIMETERS AND ABOVE CHECK DAMS OR DRAIN INLETS.
S57	VEGETATED BUFFER/FILTER STRIP		USE ALONG SHORELINES, WATERWAYS, OR OTHER SENSITIVE AREAS. SLOWS VELOCITY, REDUCES SEDIMENT LOAD, AND REDUCES EROSION IN AREAS OF SHEET FLOW.
S58	INLET PROTECTION FABRIC DROP		USE AT STORM WATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.
S61	TURBIDITY CURTAIN		USED DURING CONSTRUCTION ADJACENT TO A WATER RESOURCE, TO CONTAIN SEDIMENT WITHIN THE WORK AREA WHEN OTHER BMP'S CANNOT BE USED.

PROPOSED SITE WORK

- CONCRETE FOR SIDEWALKS, DUMPSTER PADS, CURB & GUTTER, ETC. SHALL MEET EITHER MDOT GRADE P1 OR S2 SPECIFICATION, UNLESS OTHERWISE SPECIFIED.
- AGGREGATE BASE MATERIAL SHALL MEET MDOT 22A SPECIFICATIONS AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY, ACCORDING TO THE SPECIFICATIONS.
- SUBBASE AND EMBANKMENT MATERIAL SHALL MEET MDOT CLASS II SPECIFICATIONS AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY, ACCORDING TO THE SPECIFICATIONS.
- PLACE 3/4" EXPANSION JOINT BETWEEN SIDEWALKS AND ANY STRUCTURE. CUT CONTROL JOINTS AT 5' 0". AND PLACE EXPANSION JOINTS AT 20' 0". OR AS DIRECTED BY THE ENGINEER.
- PLACE 1" FIBER JOINT AT 400' MAXIMUM INTERVAL IN CURB AND GUTTER. PLACE 3/4" EXPANSION JOINT BETWEEN CURB AND GUTTER AND CATCH BASINS. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS.
- ADA RAMPS SHALL COMPLY WITH CURRENT MDOT STANDARD PLAN. DETECTIBLE WARNING PANELS SHALL BE YELLOW.
- AREAS OF UNSTABLE SUBBASE NOT MEETING COMPACTION REQUIREMENTS, SHALL BE UNDERCUT AND BACKFILLED, IN ACCORDANCE WITH MDOT SUBGRADE UNDERCUTTING, TYPE II. THIS WORK SHALL BE MEASURED BY THE CUBIC YARD (CY) AND SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR "SUBGRADE UNDERCUTTING".
- CURB AND GUTTER RADII ARE DIMENSIONED FROM THE FRONT EDGE OF THE GUTTER PAN.

PROPOSED PARKING INFORMATION

ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITY, ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES, 2010. (SECTION 208.2.1)	
REQUIRED PARKING PER CITY OF MARQUETTE ZONING: INDOOR RECREATION - 1 SPACE FOR EVERY 3 CAPACITY OCCUPANTS	
PARKING REQUIRED:	= 929 TOTAL OCCUPANTS (564 EXISTING, 365 PROPOSED ADDITION) = 310 SPACES REQUIRED
PARKING REDUCTION	= 186 SPACES REQUIRED WITH PARKING REDUCTION (81 OR MORE PARKING SPACES, 60% REQUIRED)
TOTAL PARKING SPACES AVAILABLE ON SITES:	= 233 PARKING SPACES. DUE TO THE CONDITION OF THE EXISTING PARKING AREAS, MOST PARKING SPACES ARE NO LONGER MARKED. PARKING COUNT WAS OBTAINED BY COUNTING THE FEW MARKED SPACES AND LAYING OUT A POTENTIAL PARKING LAYOUT. IN ADDITION, THERE ARE ADDITIONAL PARKING SPACES ALONG FAIR AVE THAT ARE NOT INCLUDED IN THE ABOVE PARKING COUNT.

NOTES APPLYING TO STANDARD PLANS & SPECIAL DETAILS

WHERE THE FOLLOWING ITEMS ARE CALLED FOR ON THE PLANS, THEY ARE TO BE CONSTRUCTED ACCORDING TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD PLAN LISTED BELOW, UNLESS NOTED OTHERWISE. COPIES OF THESE MDOT STANDARD PLANS CAN BE OBTAINED FROM THE MDOT WEBSITE (WWW.MICHIGAN.GOV/MDOT).

ROAD STANDARD PLANS:
R-29-I DRIVEWAY OPENINGS & APPROACHES AND CURB AND GUTTER
R-30-G CONCRETE CURB AND CONCRETE CURB & GUTTER
R-37-B ISOLATION JOINT DETAILS
R-82-D BEDDING AND FILING AROUND PIPE CULVERTS
R-83-C UTILITY TRENCHES
R-96-E SOIL EROSION & SEDIMENTATION CONTROL MEASURES SEEDING AND TREE PLANTING

ROAD SPECIAL DETAILS:
R-1-G DRAINAGE STRUCTURES
R-28-J SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

PAVEMENT MARKING STANDARD PLANS:
PAVE-900-F PAVEMENT ARROW AND MESSAGE DETAILS
PAVE-905-D LONGITUDINAL LINE TYPES AND PLACEMENT
PAVE-930-C PAVEMENT MARKINGS FOR NON-SIGNALIZED INTERSECTIONS
PAVE-945-C INTERSECTION, STOP BAR AND CROSSWALK MARKINGS
PAVE-956-C PARKING AREA PAVEMENT MARKINGS

TRAFFIC SIGNING STANDARD PLANS:
SIGN-115-C SIGN LOCATION CODES PLACEMENT
SIGN-150-D SIGN SUPPORT SELECTION CHARTS
SIGN-200-D STEEL POSTS
SIGN-210-B WOOD POSTS
SIGN-230-A FOUNDATION (BREAM-AWAY)
SIGN-740-B MISCELLANEOUS SIGN CONNECTION DETAILS

TRAFFIC SIGNING SPECIAL DETAILS:
SIGN-100-C STANDARD SIGN INSTALLATIONS
SIGN-120-E ROADSIDE SIGN LOCATIONS AND SUPPORT SPACING
SIGN-205-A PERFORATED STEEL SQUARE TUBE SIGN BREAKAWAY SYS
SIGN-207-D PERFORATED STEEL SQUARE TUBE SIGN BREAKAWAY SYS

PROPERTY INFORMATION

- PROJECT LOCATION:** SECTION 14, TOWNSHIP 48N, RANGE 25W MARQUETTE COUNTY, MICHIGAN
- STREET ADDRESS:** 1420 PINE STREET MARQUETTE, MI 49855
- PROPERTY TAX ID#:** 52-52-005-110-40
- LEGAL DESCRIPTION:** A PAR. OF LAND LOC. IN N.E. 1/4 OF SEC. 14 AND THE N.W. 1/4 OF SEC 13 T48N R25W, BOUNDED ON THE S. BY THE N. R.O.W. OF W. FAIR AVE.; ON THE W. BY THE E. R.O.W. OF PINE ST.; ON THE E. BY THE W. R.O.W. OF LAKESHORE BLVD.; AND ON THE N. BY A LINE DRAWN 650'.
- EXISTING ZONING:** M - MUNICIPAL
- EXISTING USE:** YMCA, LAKE VIEW ARENA AND ASSOCIATED PARKING AREAS
- ADJACENT ZONING:** SEE MAP ON SHEET CO.1
- PRINCIPLE USE:** INDOOR RECREATION.
- STORAGE:** NO NEW PROPOSED OUTDOOR STORAGE.
- SIGNAGE:** NONE.



MAP UNIT SYMBOL	MAP UNIT NAME	ACRES IN AOI	PERCENT OF AOI
66B	UDIPSAINTMENTS-URBAN LAND COMPLEX, NEARLY LEVEL AND GENTLY SLOPING	11.7	48.1%
67B	URBAN LAND-RUBICON COMPLEX, 0 TO 6 PERCENT SLOPES	0.9	3.5%
118A	CROSSWELL-DEFORD COMPLEX, 0 TO 3 PERCENT SLOPES	11.7	48.3%
TOTALS FOR AREA OF INTEREST		24.2	100.0%

ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND ALL WORK DONE IN THE PUBLIC RIGHTS-OF-WAY OR EASEMENTS MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS

LEGEND	
2.0%...	GRADE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
GND	GROUND
BDS	BUILDING
ADJ	ADJUST ITEM
EB	EDGE OF HMA
EC	EDGE OF CONCRETE
IE	INVERT ELEVATION
BW	BACK OF WALK
FW	FACE OF WALK
TW	TOP OF WALK
EX	EXISTING
PR	PROPOSED
LF	LINEAR FEET
MP	MID POINT
PC	POINT OF CURVATURE
FFE	FINISHED FLOOR ELEVATION
TR	TOP OF ROCK
CRV	CATCH
CB	CATCH BASIN
MH	MANHOLE
STM	STORM SEWER
REL	SANITARY SEWER REMOVE ITEM
FL	RELOCATE ITEM FLOW LINE

EXISTING UTILITIES

COMMUNICATION
AT&T
200 NORTH 360 STREET, ROOM 100
MARQUETTE, MI 49855
PHONE: 906-221-2121 EMAIL: KB3261@ATT.COM

CHARTER COMMUNICATIONS
359 US-41 EAST
NECAUNEE, MI 49866
CONTACT: BRIAN KOSKI
PHONE: 906-401-0639
EMAIL: BRIAN.KOSKI@CHARTER.COM

PENINSULA FIBER NETWORK
1901 W. RIDGE STREET
MARQUETTE, MI 49855
PHONE: 906-226-7102

ELECTRIC
MARQUETTE BOARD OF LIGHT AND POWER
2200 WRIGHT STREET
MARQUETTE, MI 49855
PHONE: 906-228-0300

GAS
SMECO ENERGY COMPANY
34 US-41 EAST
NECAUNEE, MI 49866
CONTACT: ERIC LINDSAY
PHONE: 800-860-4277 EXT. 5920
EMAIL: ERIC.LINDSAY@SMECOENERGY.COM

FIRE DEPARTMENT
CITY OF MARQUETTE FIRE DEPARTMENT
416 S. THIRD STREET
MARQUETTE, MI 49855
CONTACT: IAN DAVIS
PHONE: 906-228-0410
EMAIL: FIRE@MARQUETTEMI.GOV

MARQUETTE WATER AND SEWER DEPARTMENT
850 WEST BARAGA AVE
MARQUETTE, MI 49855
CONTACT: CURT GOODMAN
PHONE: 906-225-4055

DEPARTMENT OF PUBLIC WORKS
CITY OF MARQUETTE PUBLIC WORKS
1100 WRIGHT STREET
MARQUETTE, MI 49855
CONTACT: SCOTT CEMBANSY
PHONE: 906-228-0444
EMAIL: PUBWORKS@MARQUETTEMI.GOV

DRAIN COMMISSION
MARQUETTE COUNTY DRAIN COMMISSION
2133 MONTGOMERY AVE
MARQUETTE, MI 49855
CONTACT: P. MICHAEL FARRELL
PHONE: 906-458-9118
EMAIL: pmfarrell@charternet.net

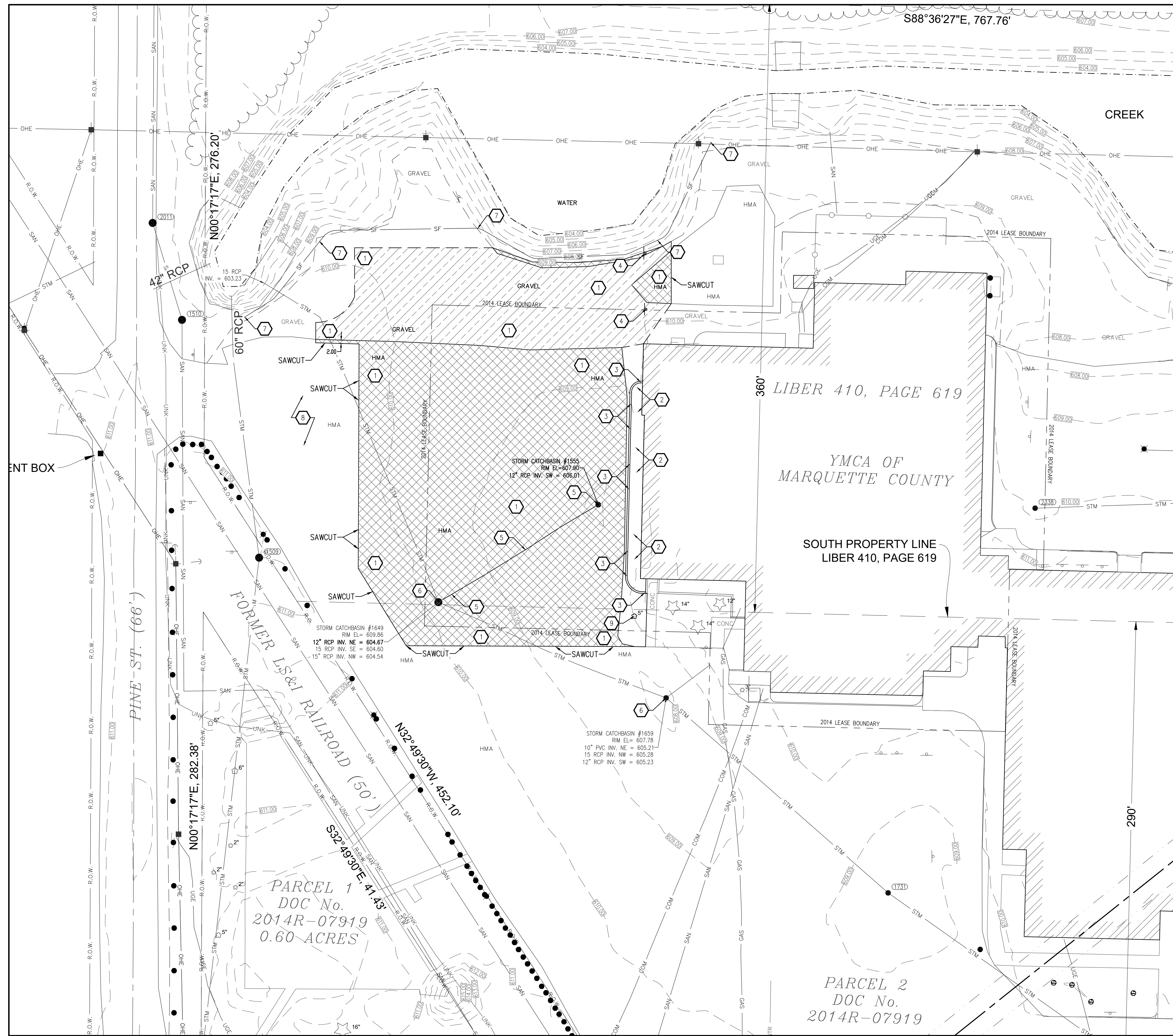
YMCA OF MARQUETTE COUNTY
FIELD HOUSE
MARQUETTE, MICHIGAN
PROJECT NO. 24-102

BY	DATE	NO. REVISIONS	DATE
DESIGN	ADM	0	09.24.24
DRAWN	ADM	1	09.30.24
CHECKED	ADM	1	
APPROVED	ADM	1	

NOTES

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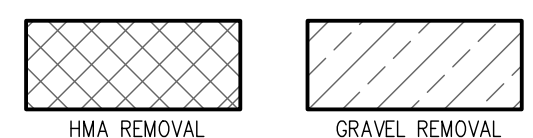
DEMOLITION PLAN
 SCALE: 1 INCH = 30 FEET
 GRAPHIC SCALE: 1 inch = 30 feet

KEYNOTES

- SEE CURRENT MDOT SPECIFICATIONS FOR MATERIALS AND INSTALLATION REQUIREMENTS UNLESS OTHERWISE SPECIFIED
- REMOVE EXISTING HMA, CONCRETE, GRAVEL, TOPSOIL AND UNDERLYING MATERIAL AS REQUIRED FOR NEW WORK. SAWCUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO REMOVAL. SAWCUT CONCRETE AND CURBS AT THE NEAREST JOINT. SEE SITE PLAN.
 - REMOVE EXISTING LANDSCAPING INCLUDING TREES, SHRUBS AND ANY ASSOCIATED ROOTS.
 - REMOVE EXISTING LANDSCAPE BLOCK RETAINING WALL.
 - REMOVE EXISTING SIGN, INCLUDING ANY CONCRETE BELOW GRADE.
 - REMOVE EXISTING STORM SEWER TO THE LIMITS SHOWN. REMOVAL INCLUDES ±110 LF OF 12" RCP PIPE, ONE (1) STORM SEWER CATCHBASIN. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING STORM SEWER PIPES AND STRUCTURES TO REMAIN.
 - INSTALL SEDIMENT CONTROL, INLET PROTECTION, FILTER DROP AT CATCHBASINS. AT THE COMPLETION OF THE PROJECT, ONCE THE TURF IS WELL ESTABLISHED, REMOVE AND CLEAN ALL ACCUMULATED SEDIMENT FROM CATCHBASIN.
 - INSTALL ±340 LF OF SEDIMENT CONTROL, SILT FENCE (ENTIRE PROJECT). AT THE COMPLETION OF THE PROJECT, ONCE THE TURF IS WELL ESTABLISHED, REMOVE.
 - A TRACKING PAD IS REQUIRED AT ALL CONTRACTOR INGRESS/EGRESS LOCATIONS WHERE SEDIMENT MAY BE TRACKED OFF SITE. LOCATIONS SHOWN ARE FOR INFORMATION ONLY AND MAY VARY WITH CONTRACTOR'S OPERATIONS. SEE DETAIL SHEET.
 - REMOVE EXISTING TREE, INCLUDING ANY ROOTS.

ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY

LEGEND



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YMCA OF MARQUETTE COUNTY
 FIELD HOUSE
 MARQUETTE, MICHIGAN
 PROJECT NO. 24-102

NO.	REVISIONS	DATE
A	OWNER REVIEW	07.26.24
0	FOR CONSTRUCTION	09.24.24
1	SITE PLAN REVIEW	09.24.24

DEMOLITION PLAN

C1.0



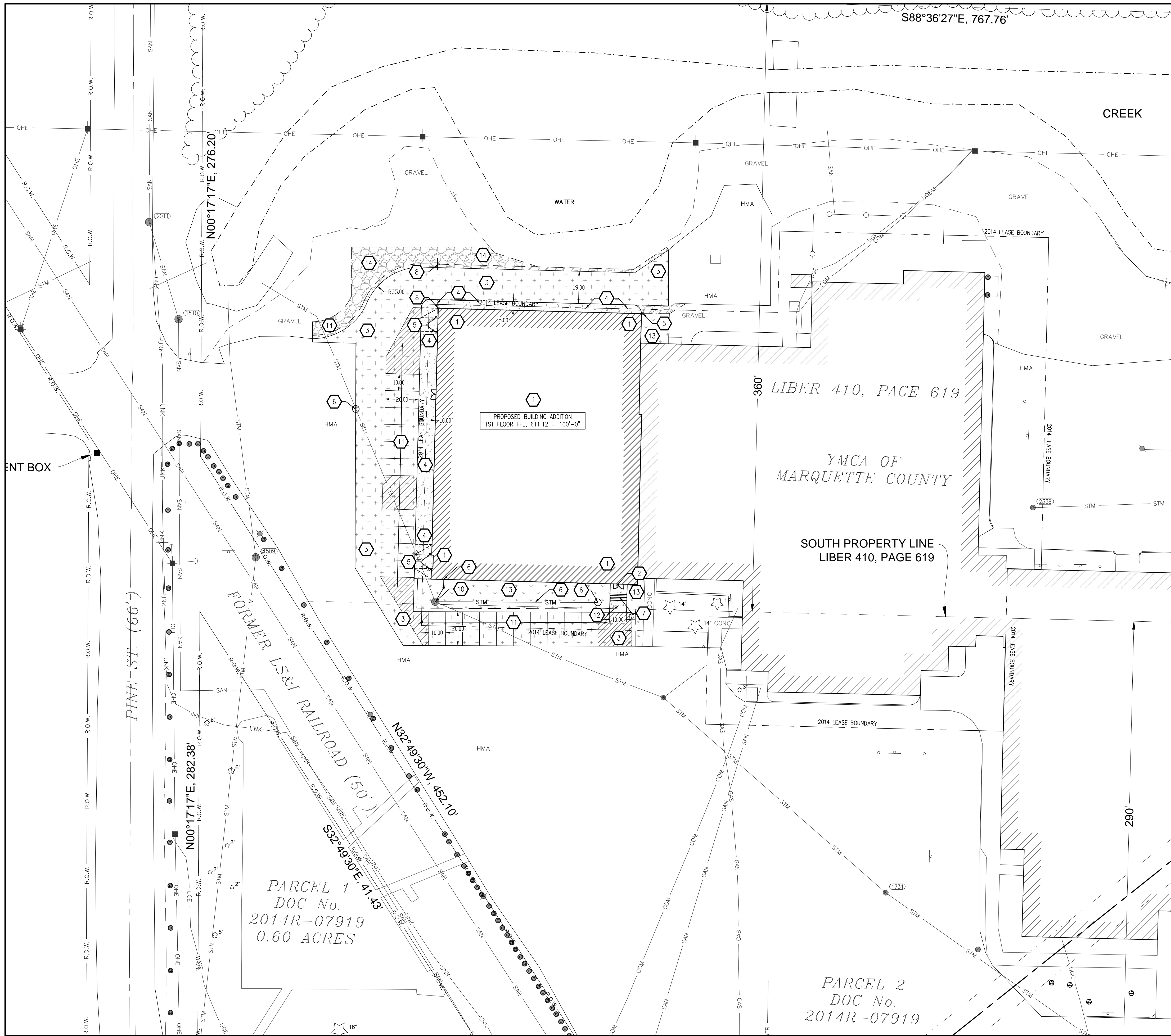
BY DATE
 ADM ADM
 DESIGN DRAWN
 CHECKED BLK
 APPROVED ADM

NO. REVISIONS
 A OWNER REVIEW
 0 FOR CONSTRUCTION
 1 SITE PLAN REVIEW

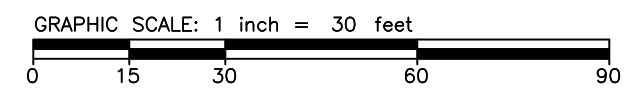
BY	DATE	NO.	REVISIONS	DATE
ADM		A	OWNER REVIEW	07.26.24
ADM		0	FOR CONSTRUCTION	09.24.24
BLK		1	SITE PLAN REVIEW	09.24.24

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 1021 W. BARAGA AVENUE
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 BRIGHTON OFFICE:
 857 W. GRAND RIVER AVE., SUITE 600
 BRIGHTON, MI 48816
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SITE PLAN
SCALE: 1 INCH = 30 FEET

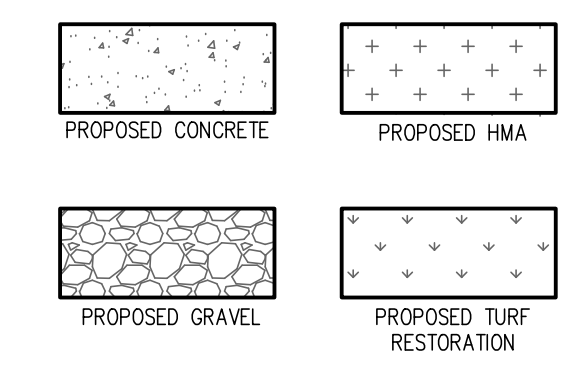


KEYNOTES

- 1. PROPOSED BUILDING ADDITION. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 2. CONSTRUCT SUPPORTED SLAB FOR PROPOSED DOOR. SEE STRUCTURAL AND ARCHITECTURAL PLANS.
- 3. CONSTRUCT A NEW PAVEMENT STRUCTURE THAT SHALL CONSIST OF SUBBASE, 12 INCH MDT CLASS II, 8 INCH MDT 22A AGGREGATE BASE, HMA, 3 INCHES PLACED IN 2 LIFTS CONSISTING OF HMA, 4L 165#/SYD LEVELING COURSE (1.5 INCH THICKNESS), AND HMA, 5L 165#/SYD TOP COURSE (1.5 INCH THICKNESS). SUBBASE AND AGGREGATE BASE SHALL EXTEND 2 FEET PAST PROPOSED HMA SURFACING LIMITS. CONSTRUCT A 2 FOOT MDT SHOULDER, 22A, 3 INCH THICK AT AREAS NOT ADJACENT TO HARD SURFACING. IF AREAS OF UNSUITABLE SUBBASE ARE ENCOUNTERED, PERFORM MDT SUBGRADE UNDERCUTTING, TYPE II AT CONTRACT UNIT PRICE. SEE GRADING AND DETAIL SHEET.
- 4. CONSTRUCT 6-INCH-THICK REINFORCED MONOLITHIC CONCRETE SIDEWALK ON SUB-BASE, 6 INCH CP MDT CLASS II. REINFORCEMENT SHALL BE WWF, 6X6, W2.1XW2.1. SEE GRADING AND DETAIL SHEET.
- 5. CONSTRUCT FIVE (5) PIPE BOLLARDS WITH POLYETHYLENE BOLLARD COVERS. COORDINATE WITH THE BUILDING CONTRACTOR. SEE DETAIL SHEET.
- 6. PROPOSED STORM SEWER. SEE UTILITY PLAN.
- 7. PROPOSED STAIRS WITH HANDRAILS. SEE DETAIL SHEET. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 8. PROPOSED SIGN. SEE GRADING AND DETAIL SHEET.
- 9. NOT USED.
- 10. ADJUST CATCHBASIN TO GRADE. REMOVE EXISTING COVER AND REPLACE WITH MDT, TYPE G COVER. SEE GRADING SHEET.
- 11. PLACE PAVEMENT MARKINGS, 4 INCH, YELLOW, WATERBORNE, FROM MDT QUALIFIED PRODUCTS LIST AS SHOWN ON PLANS.
- 12. CONSTRUCT 6-INCH-THICK REINFORCED CONCRETE SIDEWALK ON SUB-BASE, 6 INCH CP MDT CLASS II. REINFORCEMENT SHALL BE WWF, 6X6, W2.1XW2.1. SEE GRADING AND DETAIL SHEET.
- 13. RESTORE DISTURBED AREA PER TURF RESTORATION DETAIL. SEE DETAIL SHEET.
- 14. PLACE AND COMPACT 6 INCHES OF 22A GRAVEL.

ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY

LEGEND



**YMCA OF MARQUETTE COUNTY
FIELD HOUSE
MARQUETTE, MICHIGAN**

PROJECT NO. 24-102

NO.	REVISIONS	DATE
0	OWNER REVIEW	07.26.24
1	FOR CONSTRUCTION	09.24.24
1	SITE PLAN REVIEW	09.24.24

BY	DATE	NO.	REVISIONS
ADM		0	OWNER REVIEW
ADM		1	FOR CONSTRUCTION
BLK		1	SITE PLAN REVIEW
ADM			APPROVED

**ADD ALTERNATE #1
SITE PLAN**

C2.0A

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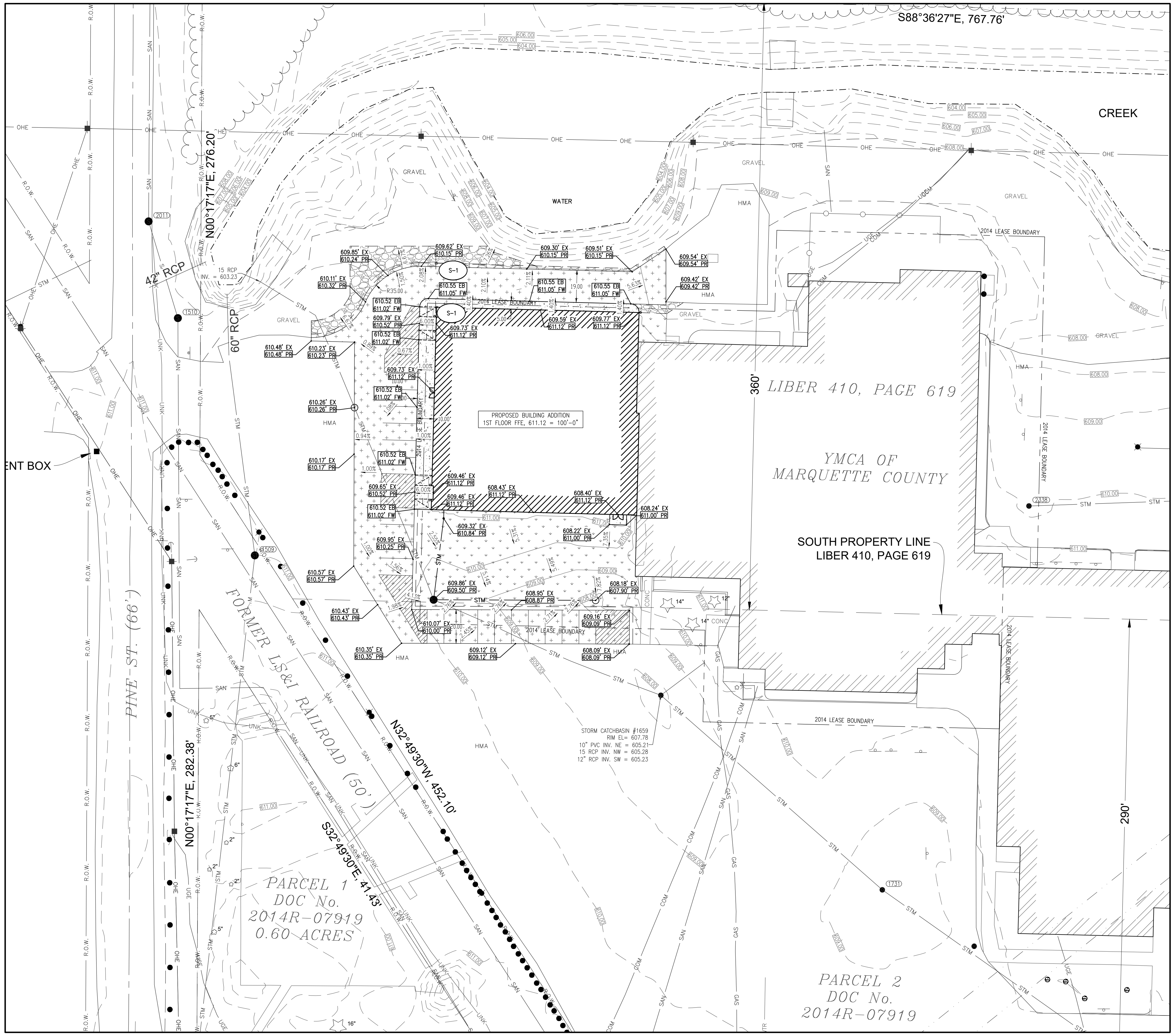


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ENGINEERING
CONSULTING**

ID

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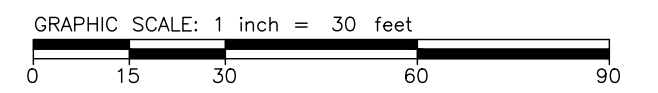
LEGEND

---	GRADE
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
GND	GROUND
BOD	BUILDING
ADJ	ADJUST ITEM
EB	EDGE OF HMA
EC	EDGE OF CONCRETE
IE	INVERT ELEVATION
EX	EXISTING
FW	FACE OF WALK
TW	TOP OF WALK
EX	EXISTING
PR	PROPOSED
LF	LINEAR FEET
MP	MID POINT
PC	POINT OF CURVATURE
FFE	FINISHED FLOOR ELEVATION
TR	TOP OF ROCK
GRV	GRAVEL
CB	CATCH BASIN
MH	MANHOLE
STM	STORM SEWER
SAN	SANITARY SEWER
REM	REMOVE ITEM
REL	RELOCATE ITEM
FL	FLOW LINE

LEGEND

[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED HMA
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED TURF RESTORATION

GRADING PLAN
SCALE: 1 INCH = 30 FEET



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YMCA OF MARQUETTE COUNTY
FIELD HOUSE
MARQUETTE, MICHIGAN
PROJECT NO. 24-102

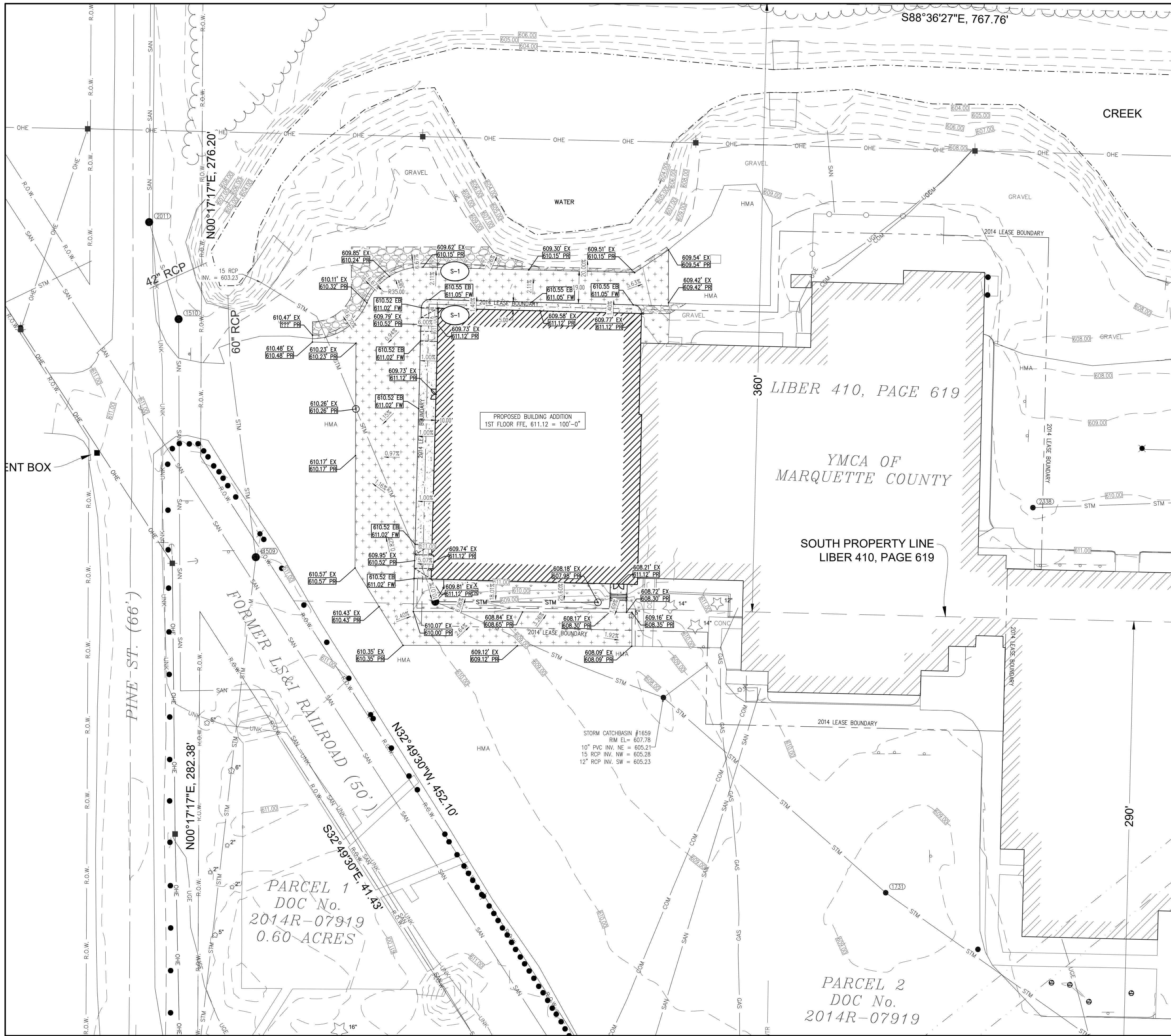
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DESIGN	ADM	07.26.24	A	07.26.24
DRAWN	ADM	09.24.24	0	09.24.24
CHECKED	BLK	09.24.24	1	09.24.24
APPROVED	ADM			

GRADING PLAN

C3.0



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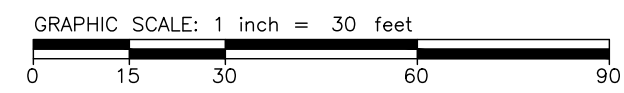
LEGEND

---	GRADE
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
GND	GROUND
BOD	BUILDING
ADJ	ADJUST ITEM
EB	EDGE OF HMA
EC	EDGE OF CONCRETE
IE	INVERT ELEVATION
EW	EDGE OF WALK
FW	FACE OF WALK
EX	EXISTING
PR	PROPOSED
LF	LINEAR FEET
MP	MID POINT
PC	POINT OF CURVATURE
FFE	FINISHED FLOOR ELEVATION
TR	TOP OF ROCK
GRV	GRAVEL
CB	CATCH BASIN
MH	MANHOLE
STM	STORM SEWER
SAN	SANITARY SEWER
REL	RELOCATE ITEM
FL	FLOW LINE

LEGEND

[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED HMA
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED TURF RESTORATION

GRADING PLAN
SCALE: 1 INCH = 30 FEET



MARQUETTE OFFICE:
 1021 W. BARAGA AVENUE
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 BRIGHTON OFFICE:
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 BRIGHTON, MI 48816
 PHONE: (810)229-2701 FAX: (810)229-6787

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 MARQUETTE, MICHIGAN
 PROJECT NO. 24-102

NO.	REVISIONS	DATE
A	OWNER REVIEW	07.26.24
0	FOR CONSTRUCTION	09.24.24
1	SITE PLAN REVIEW	09.24.24

BY	DATE
ADM	
ADM	
BLK	
ADM	

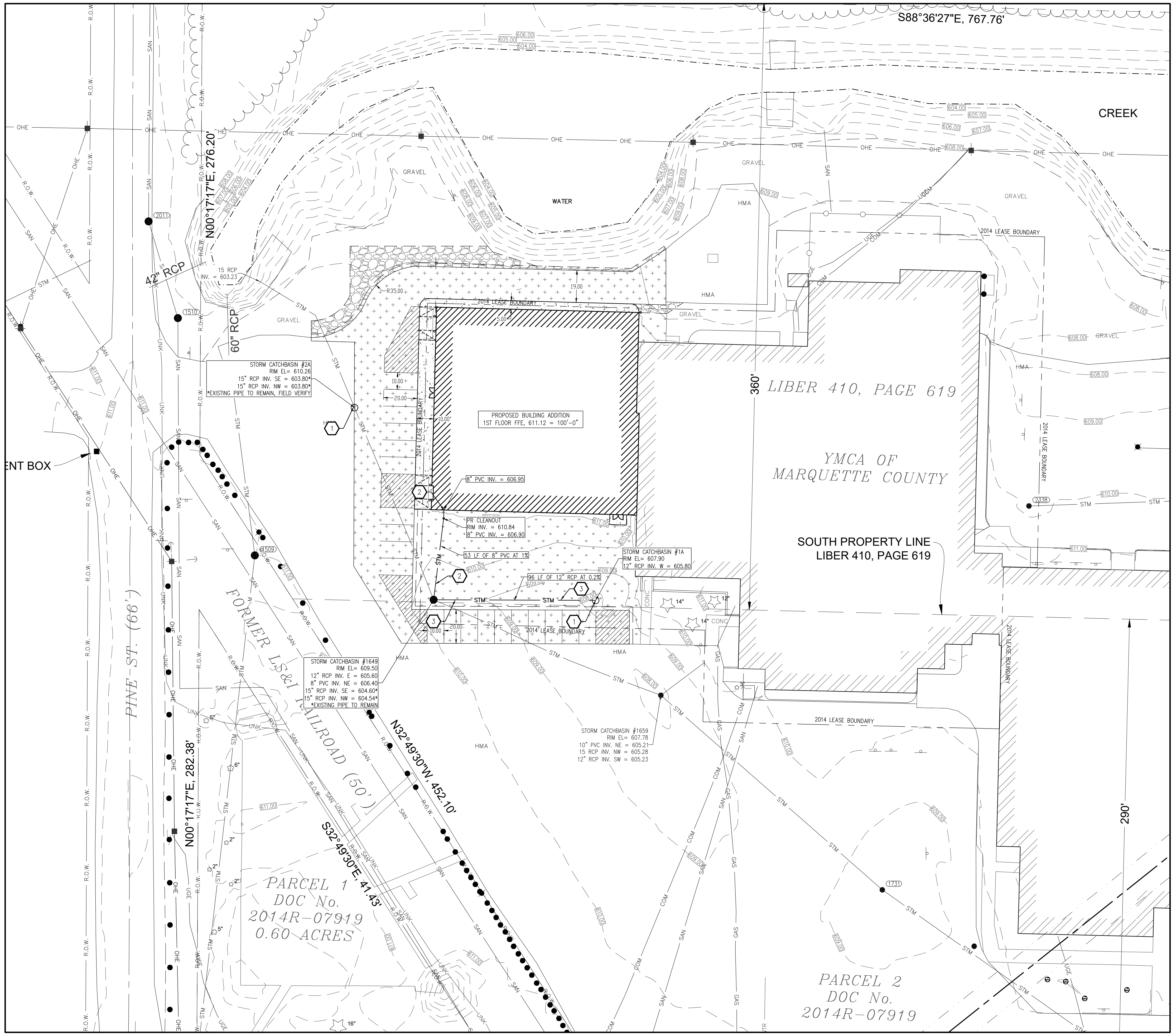
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ADD ALTERNATE #1
 GRADING PLAN

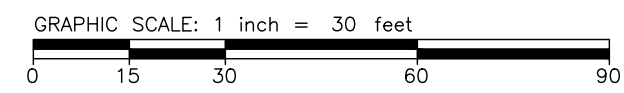
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C3.0A

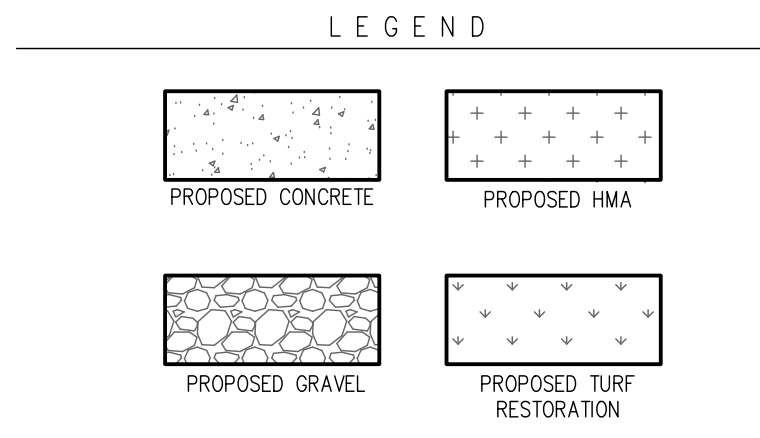




UTILITY PLAN
SCALE: 1 INCH = 30 FEET



- KEYNOTES**
- SEE CURRENT MDOT SPECIFICATIONS FOR MATERIALS AND INSTALLATION REQUIREMENTS UNLESS OTHERWISE SPECIFIED.
- INSTALL TWO (2) 4 FT DIA PRECAST CONCRETE STORM SEWER CATCH BASIN WITH 2 FT SUMP. SEE GRADING AND DETAIL SHEETS.
 - INSTALL ±53 LF OF 8 INCH SDR-35 PVC STORM SEWER PIPE WITH CLEANOUTS AS SHOWN. SITE CONTRACTOR SHALL TERMINATE NEW STORM SEWER LATERAL 5 FEET OUTSIDE OF THE PROPOSED BUILDING. SEE DETAIL SHEET. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - INSTALL ±96 LF OF 12 INCH SDR-35 PVC STORM SEWER PIPE. SEE SITE AND DETAIL SHEET.
- ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY



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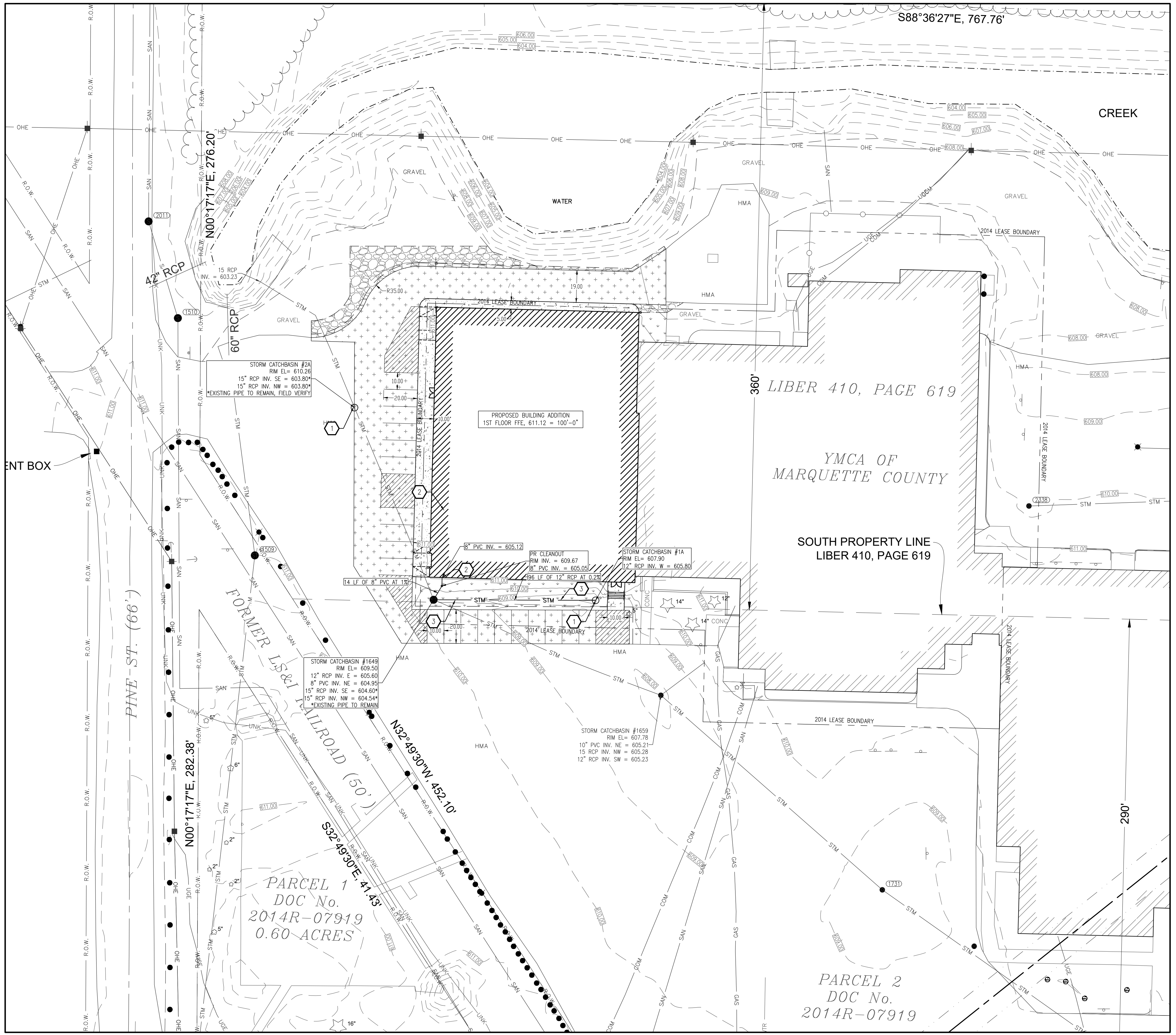
BY	DATE	NO.	REVISIONS	DATE
ADM	07/26/24	A	OWNER REVIEW	
ADM	09/24/24	0	FOR CONSTRUCTION	
BLK	09/24/24	1	SITE PLAN REVIEW	
ADM				

UTILITY PLAN

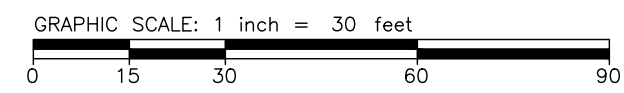
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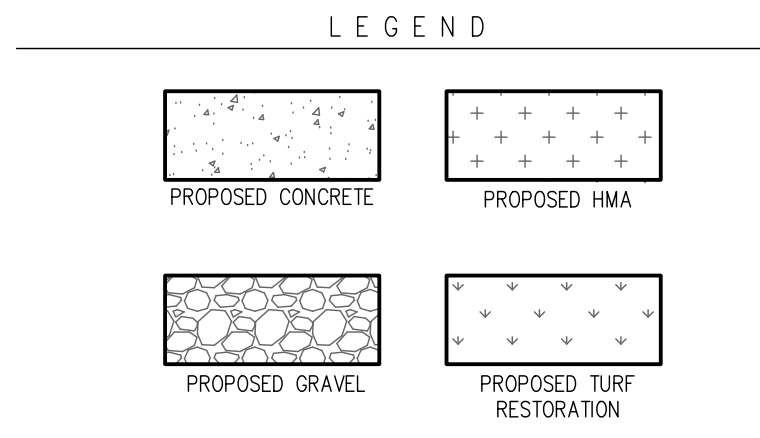




UTILITY PLAN
SCALE: 1 INCH = 30 FEET



- KEYNOTES
- SEE CURRENT MDT SPECIFICATIONS FOR MATERIALS AND INSTALLATION REQUIREMENTS UNLESS OTHERWISE SPECIFIED
- INSTALL TWO (2) 4 FT DIA PRECAST CONCRETE STORM SEWER CATCH BASIN WITH 2 FT SUMP. SEE GRADING AND DETAIL SHEETS.
 - INSTALL ±14 LF OF 8 INCH SDR-35 PVC STORM SEWER PIPE WITH CLEANOUTS AS SHOWN. SITE CONTRACTOR SHALL TERMINATE NEW STORM SEWER LATERAL 5 FEET OUTSIDE OF THE PROPOSED BUILDING. SEE DETAIL SHEET. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - INSTALL ±96 LF OF 12 INCH SDR-35 PVC STORM SEWER PIPE. SEE SITE AND DETAIL SHEET.
- ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY



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FIELD HOUSE
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1	SITE PLAN REVIEW	09/24/24

BY	DATE	NO.	REVISIONS
ADM		0	OWNER REVIEW FOR CONSTRUCTION
ADM		1	SITE PLAN REVIEW

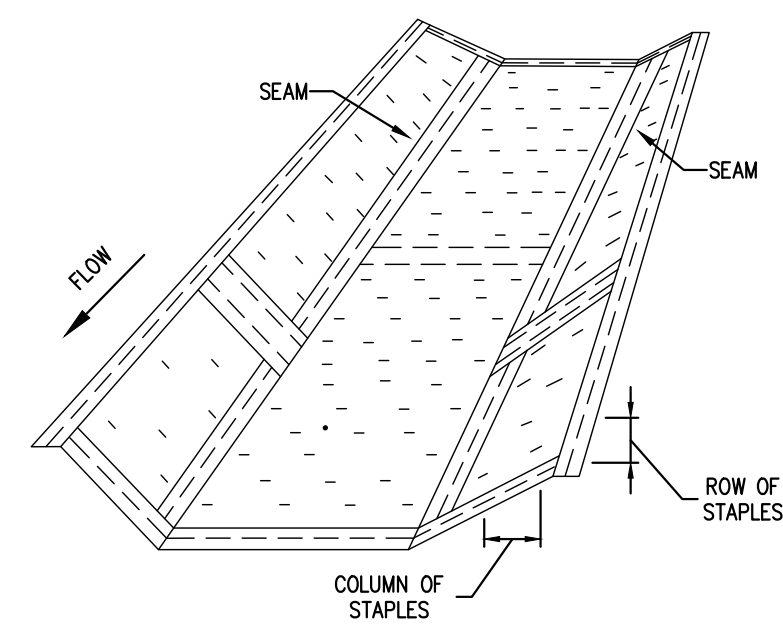
DESIGN DRAWN CHECKED APPROVED

ADD ALTERNATE #1
UTILITY PLAN

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MISS DIG 811.
Know what's below.
Call before you dig.

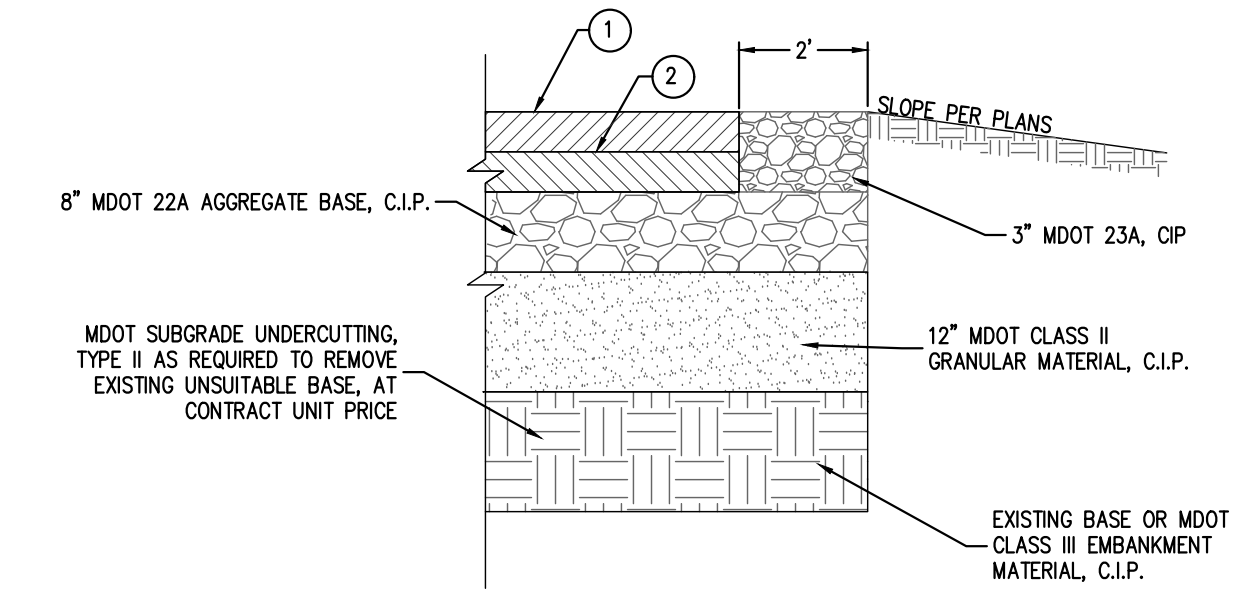
C4.0A



TURF RESTORATION DETAIL
NOT TO SCALE

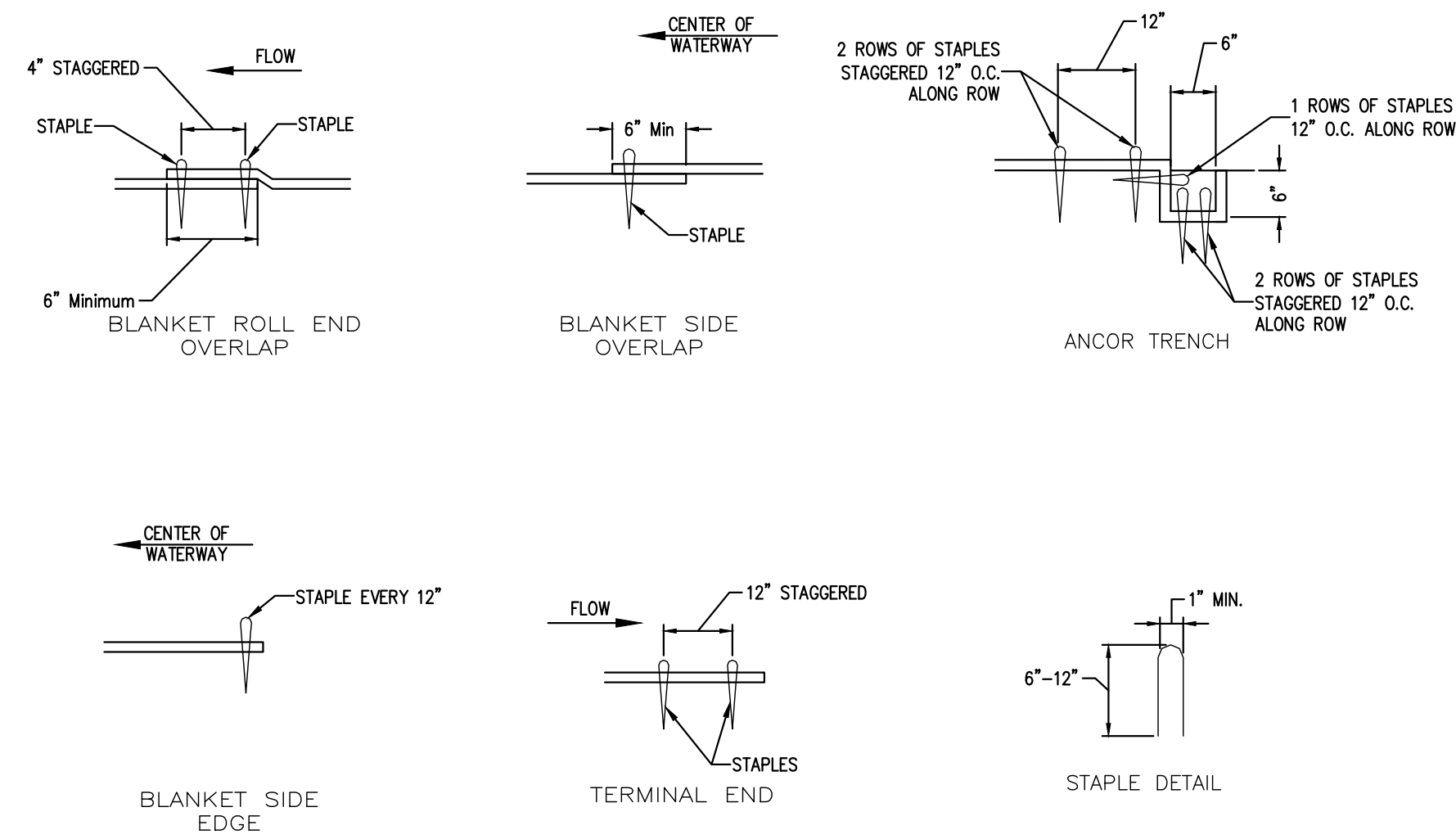
NOTE: ON SLOPES EXCEEDING 1%, STABILIZATION SHALL BE ACCOMPLISHED WITH SEED AND STRAW MULCH WITH A TACKIFIER OR STRAW BLANKETS PEGGED IN PLACE.

SEEDING RATE = 210 LBS PER ACRE MINIMUM
FERTILIZER RATE = 150 LBS PER ACRE MINIMUM
MULCHING RATE = MINIMUM 3" DEPTH (1.5 - 2.0 TONS PER ACRE)

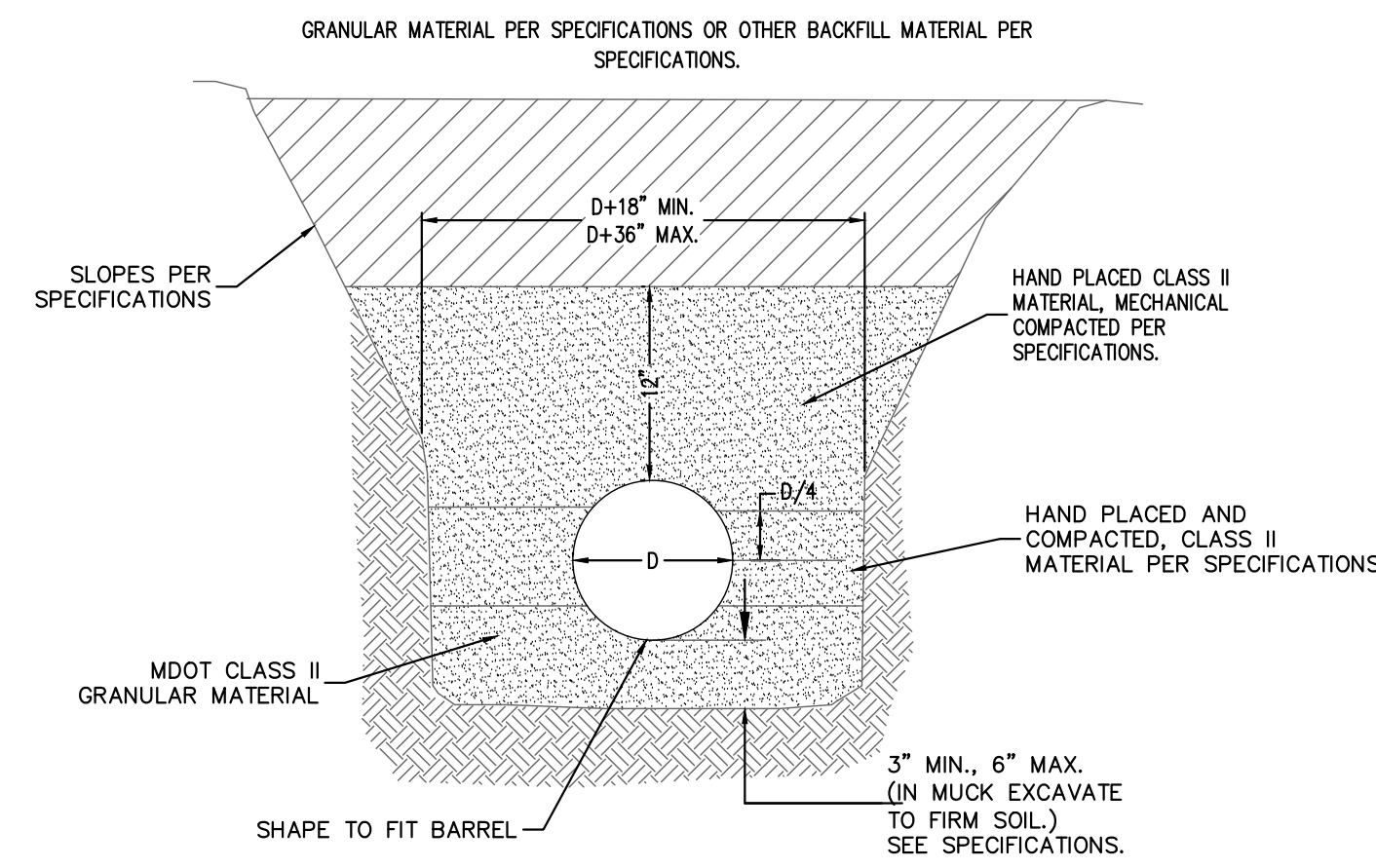


TYPICAL PAVEMENT STRUCTURE
NOT TO SCALE

HMA APPLICATION TABLE				
IDENT. NO.	ITEM	APPLICATION RATE	PERFORMANCE GRADE	REMARKS
1	HMA, 5EL	165#/SYD	58-28	TOP COURSE
2	HMA, 4EL	165#/SYD	58-28	LEVELING COURSE
N/A	HAND PATCHING	VARIES	58-28	AS REQUIRED
HMA BOND COAT			0.05 - 0.15 GAL/SYD	FOR INFO ONLY

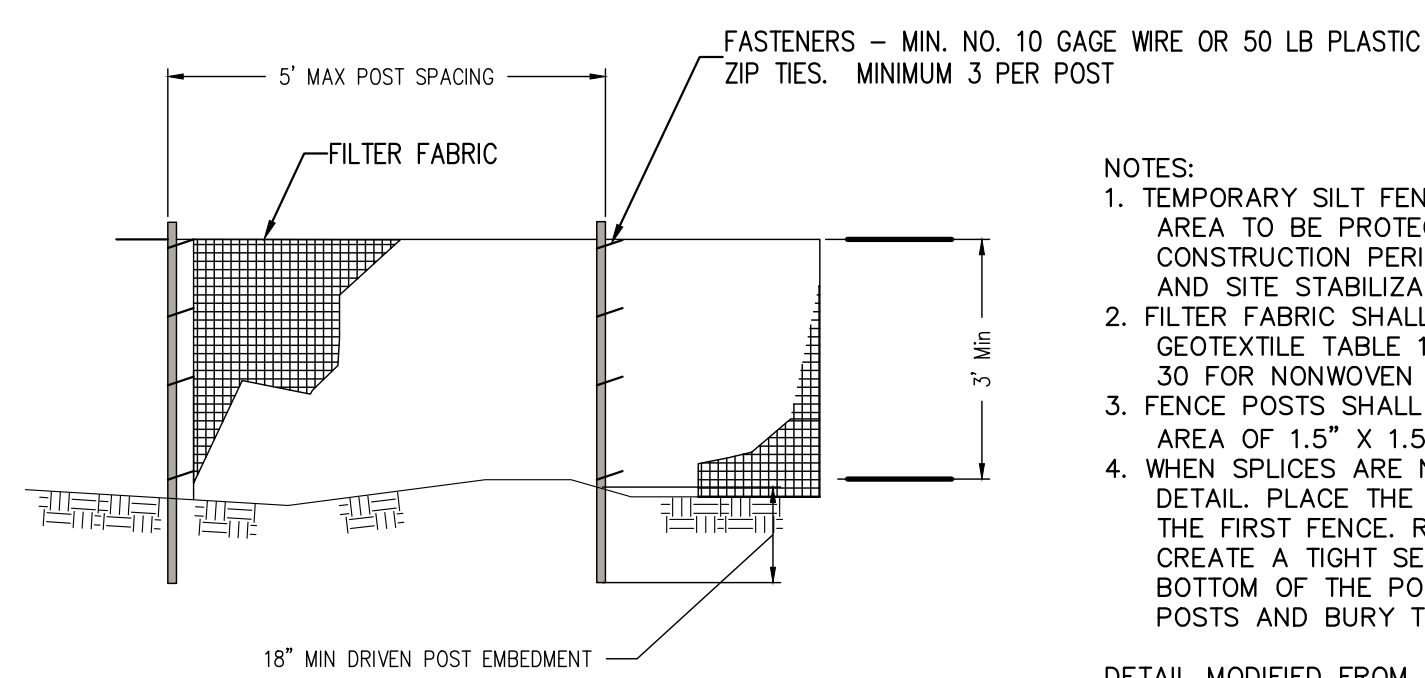


EROSION CONTROL BLANKET DETAIL
NO SCALE



UTILITY TRENCH
NOT TO SCALE

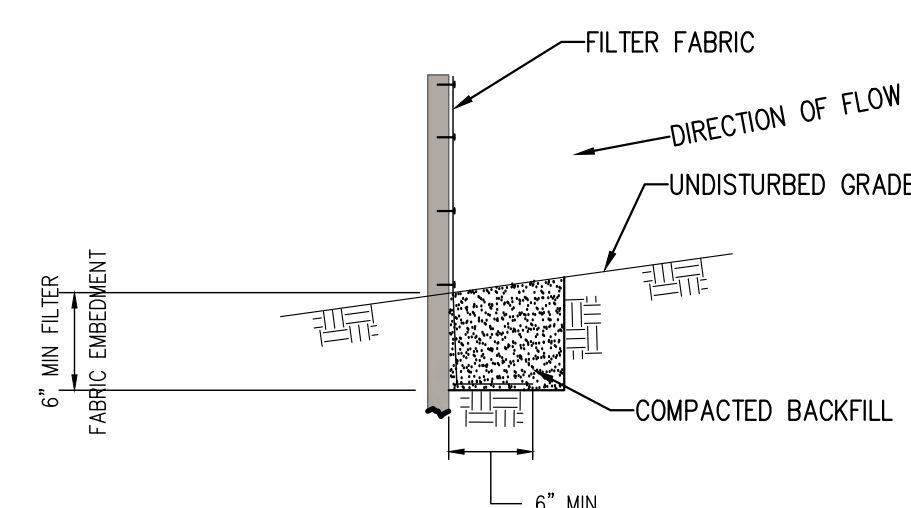
THE BACKFILL MATERIALS AND METHODS SHALL CONFORM WITH THE SPECIFICATIONS.



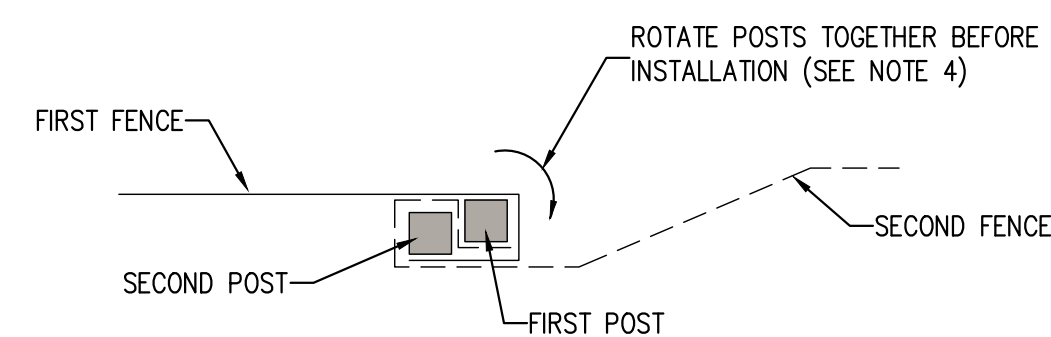
- NOTES:
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 - FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS L WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 - FENCE POSTS SHALL BE EITHER WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 1.5" X 1.5" OR A STANDARD STEEL POST.
 - WHEN SPLICES ARE NECESSARY MAKE SPLICE AT POST ACCORDING TO SPLICE DETAIL. PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE. ROTATE BOTH POSTS TOGETHER AT LEAST 180 DEGREES TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL. CUT THE FABRIC NEAR THE BOTTOM OF THE POSTS TO ACCOMMODATE THE 6 INCH FLAP. THEN DRIVE BOTH POSTS AND BURY THE FLAP. COMPACT BACKFILL WELL.

DETAIL MODIFIED FROM NRCS-IL STANDARD DRAWING NRCS141P2_029360

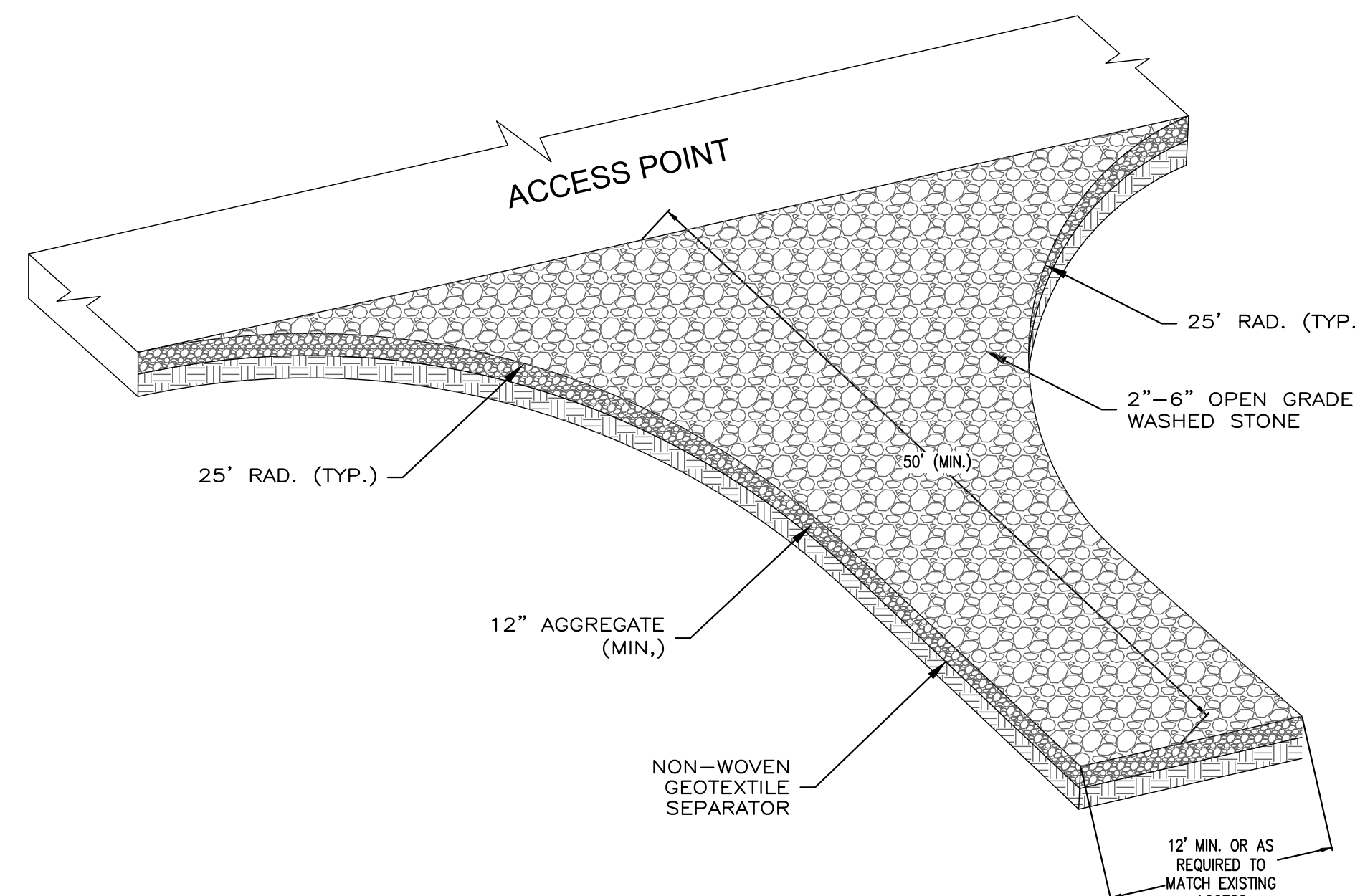
ELEVATION



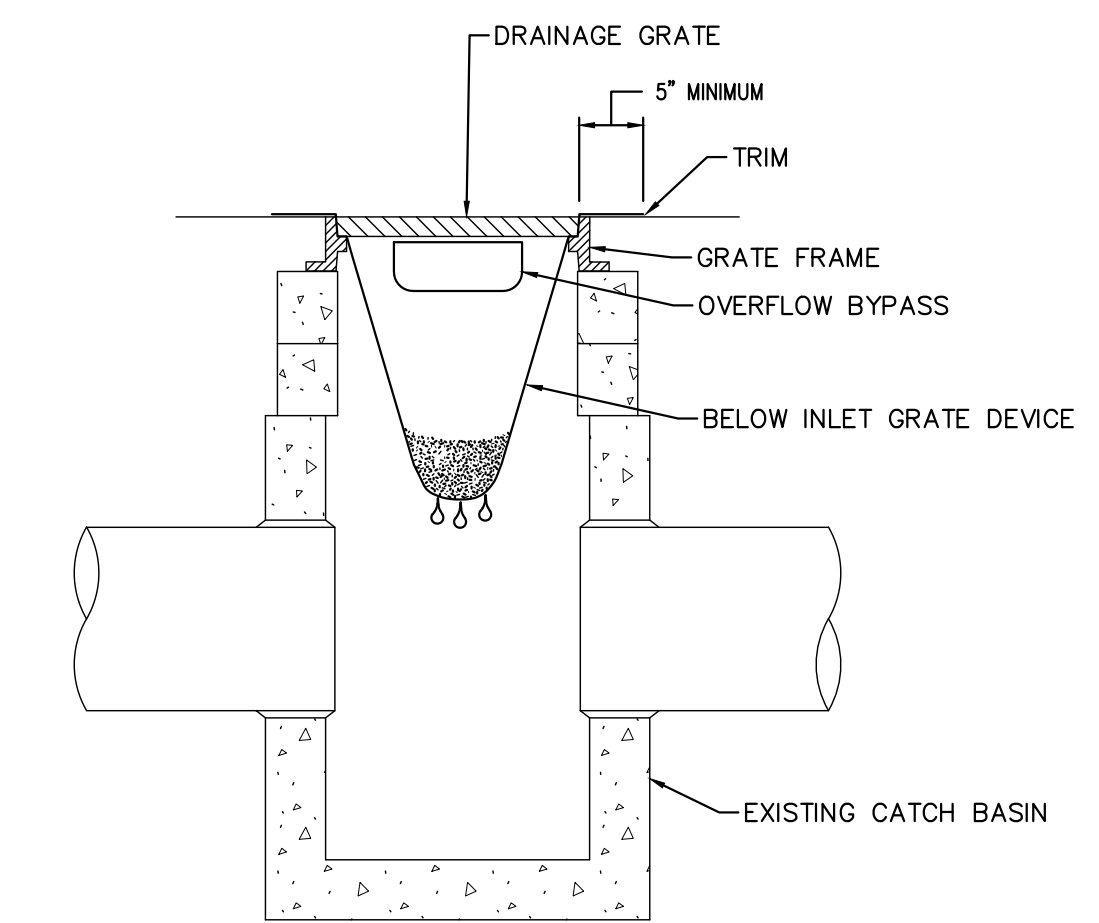
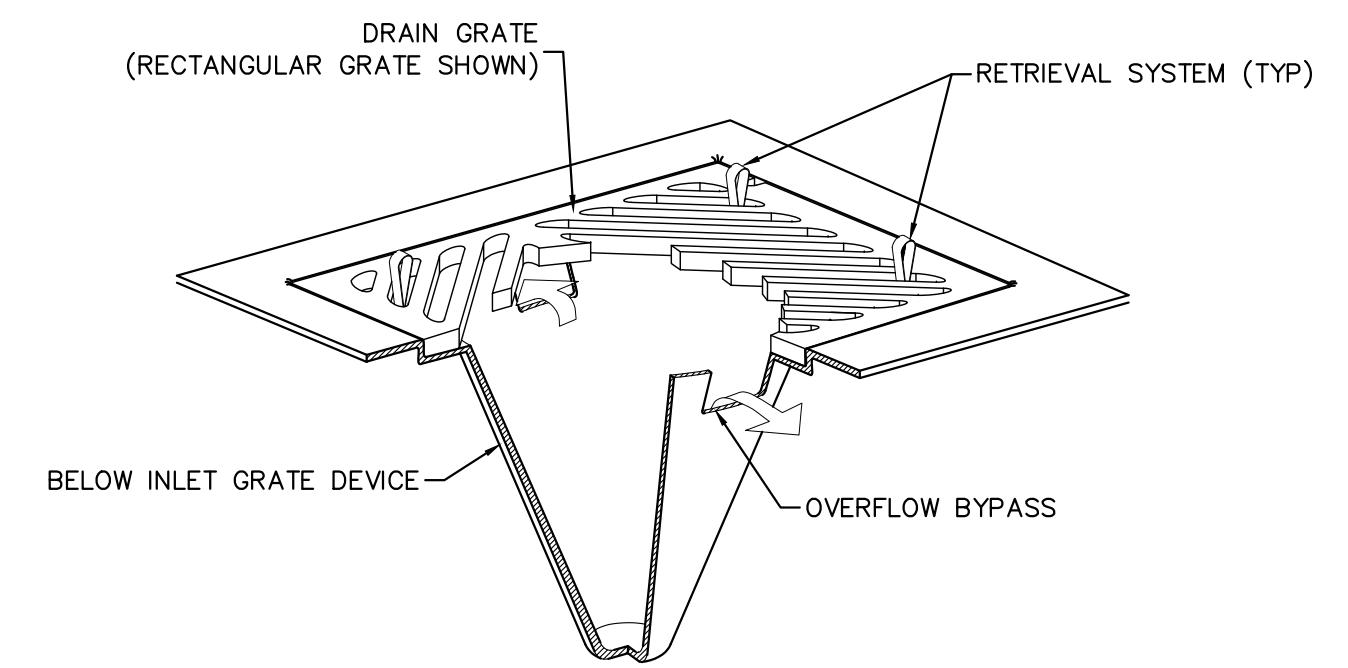
FABRIC ANCHOR DETAIL



SPLICE DETAIL-PLAN VIEW



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



INLET PROTECTION FABRIC DROP
NOT TO SCALE

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BRIGHTON, MI 48816
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**ARCHITECTURE
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YMCA OF MARQUETTE COUNTY
FIELD HOUSE
MARQUETTE, MICHIGAN
PROJECT NO. 24-102

NO.	REVISIONS	DATE
A	OWNER REVIEW	07.26.24
0	FOR CONSTRUCTION	09.24.24
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BY	DATE
ADM	
ADM	
BLK	
ADM	

SITE DETAILS

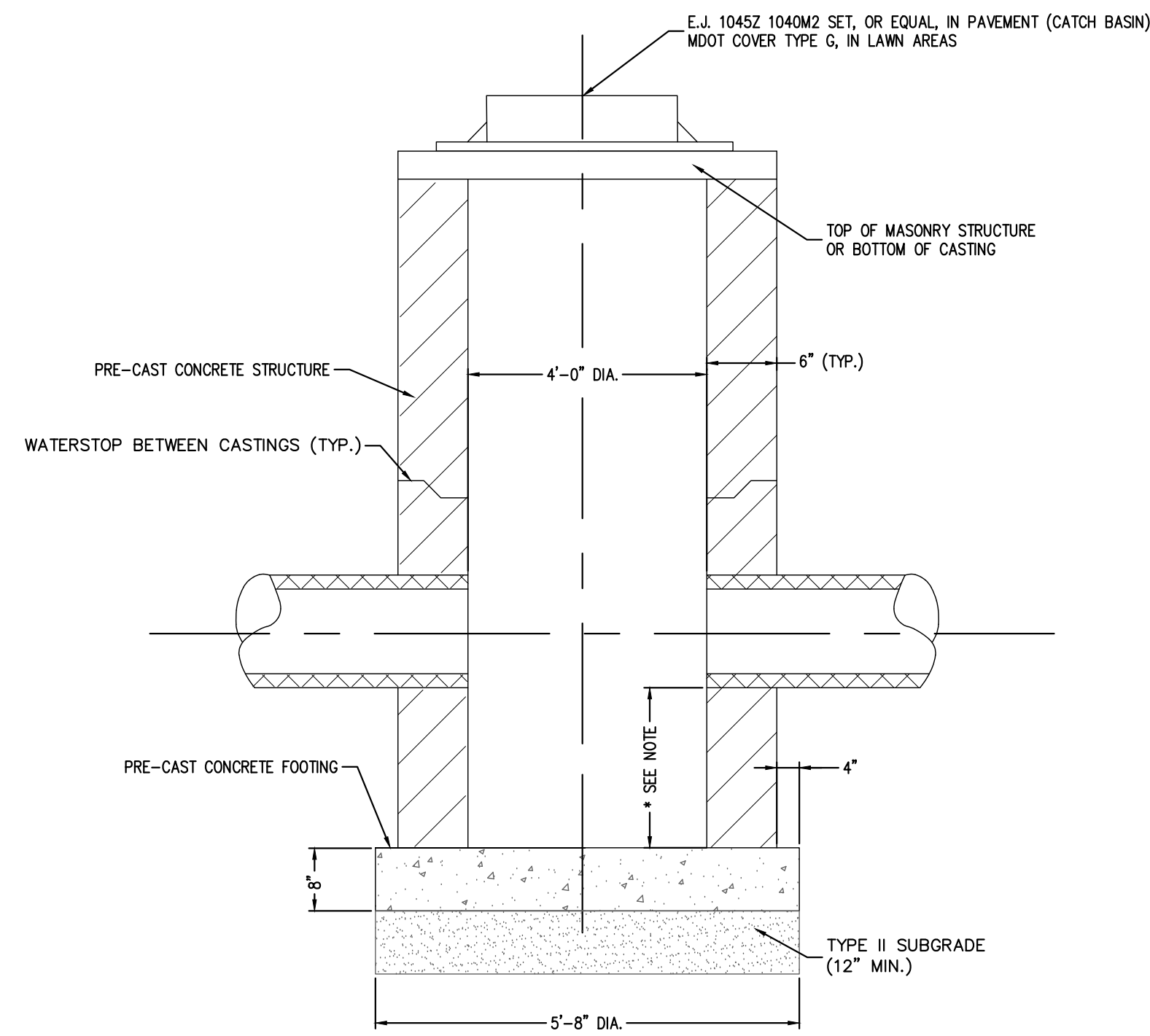
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IDENTIFICATION NUMBER	SIGN OR PLAQUE	MMUTCD SIGN DESIGNATION	SIGN TYPE	AREA	SUPPORTS	NOTES
S-1	DO NOT ENTER	R5-1 (30")	III A	10.00 SFT	1-3/8" POST (14 FT)	NONE

NOTES:
 -SHOP DRAWINGS OF PROPOSED SIGNS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
 ALL TRAFFIC SIGNS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

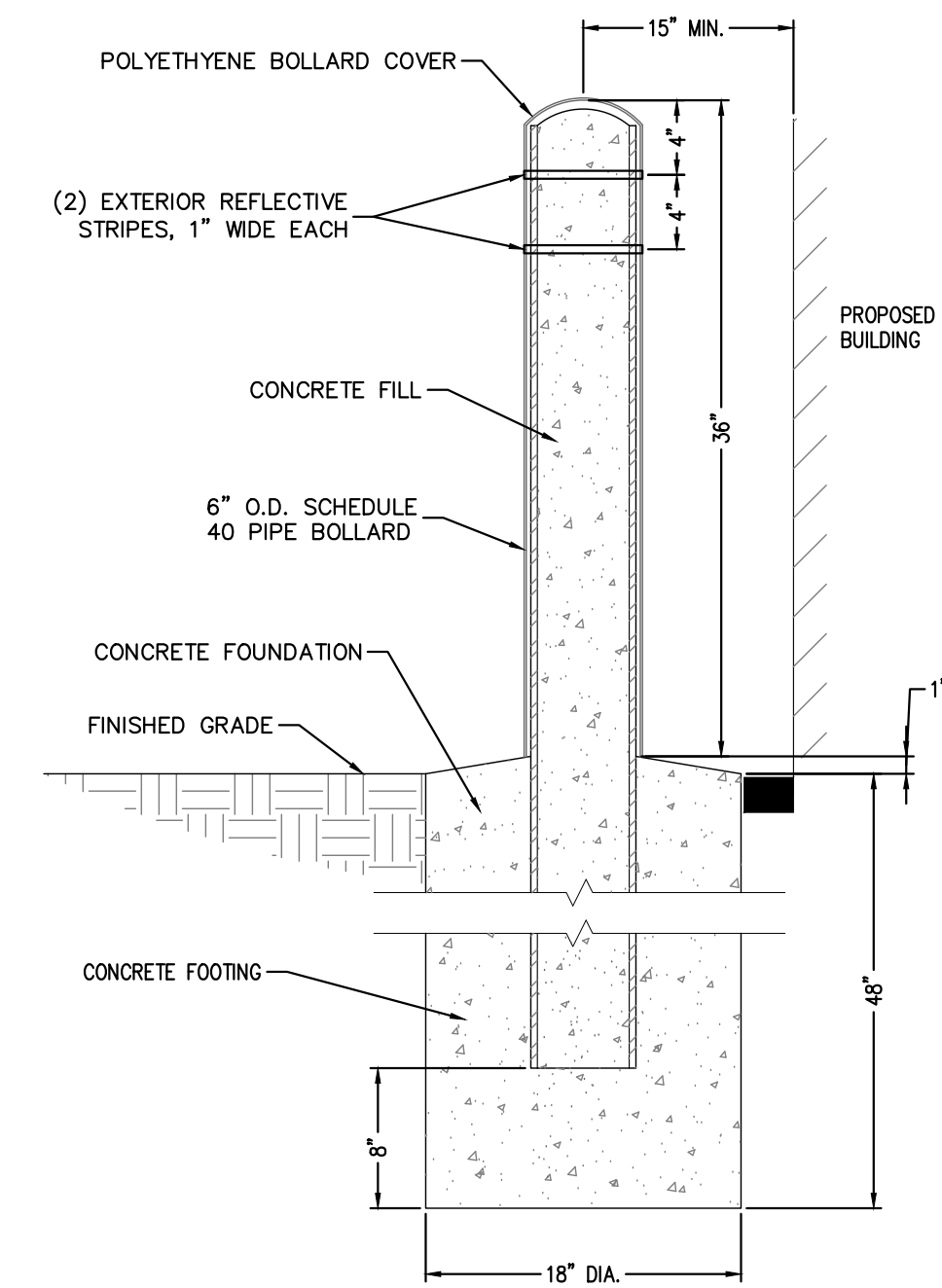
TRAFFIC CONTROL SIGNS



*NOTE: 2'-0" MIN. SLUMP WHEN CALLED FOR ON PLANS.
 NOTES:
 1. MATERIALS SHALL MEET MDOT SPECIFICATIONS.
 2. SLUMP CAN BE PRECAST CONCRETE UNIT, OR 16" CONCRETE BLOCKS ON A PRECAST BASE.

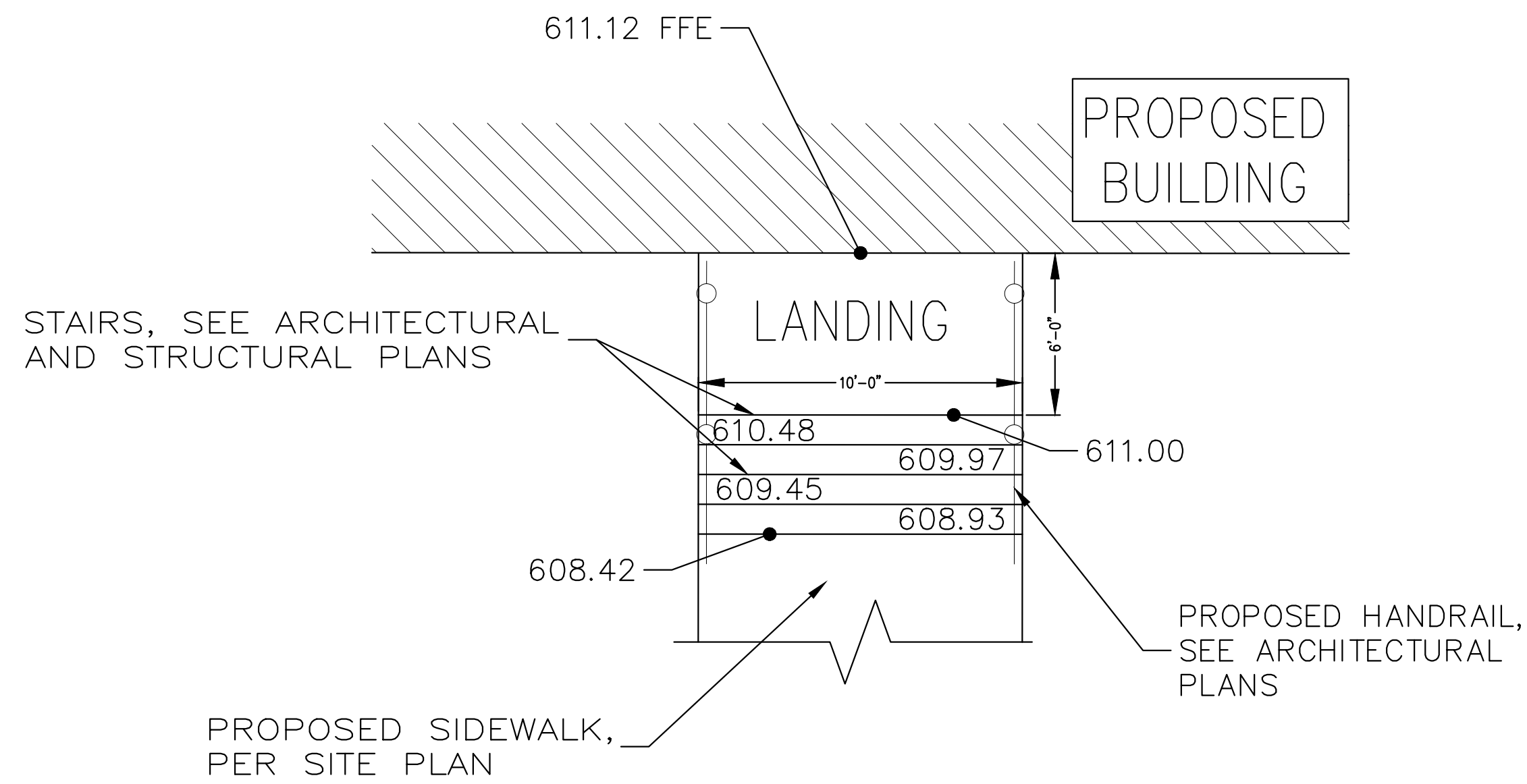
STORM WATER STRUCTURE

NOT TO SCALE

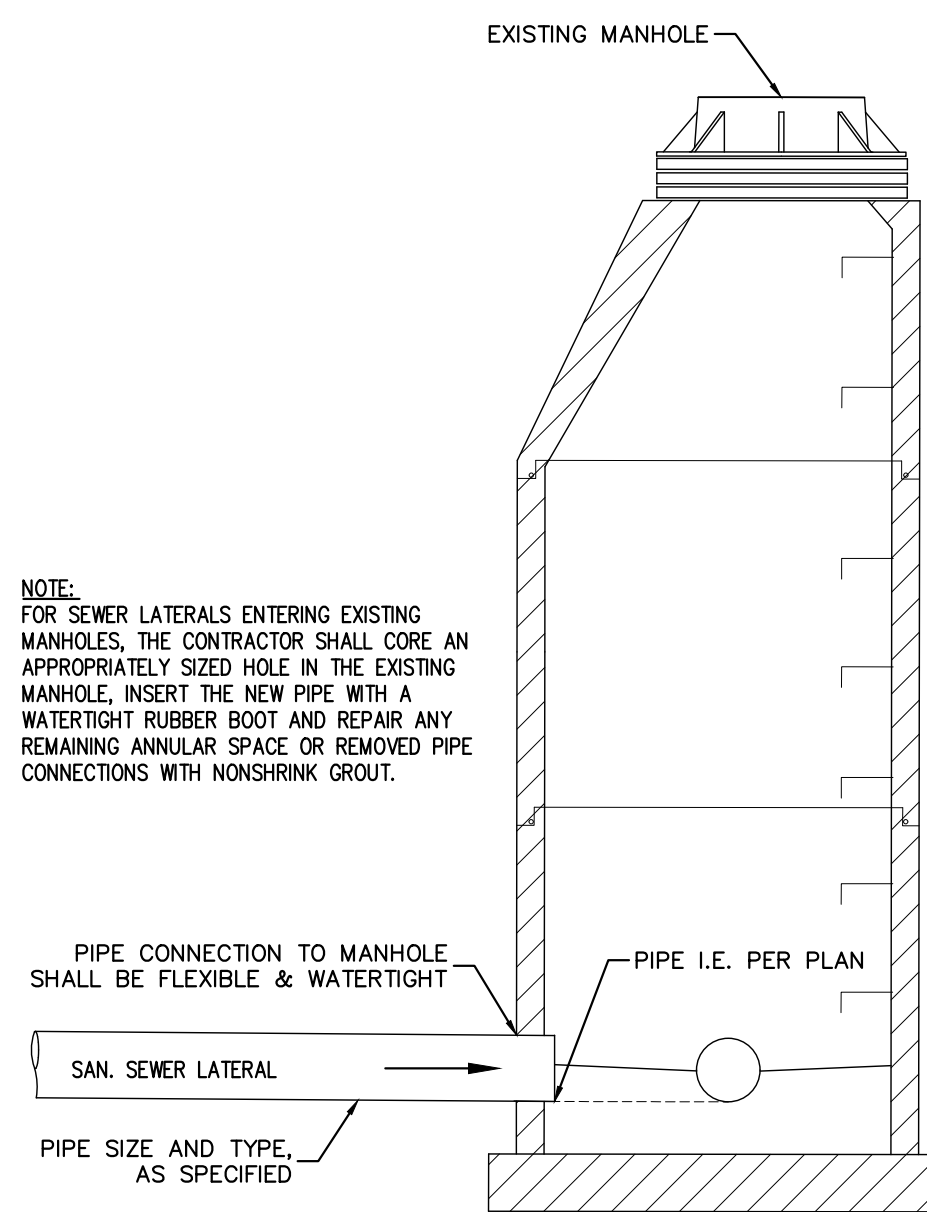


PIPE BOLLARD IN PAVEMENT

NOT TO SCALE



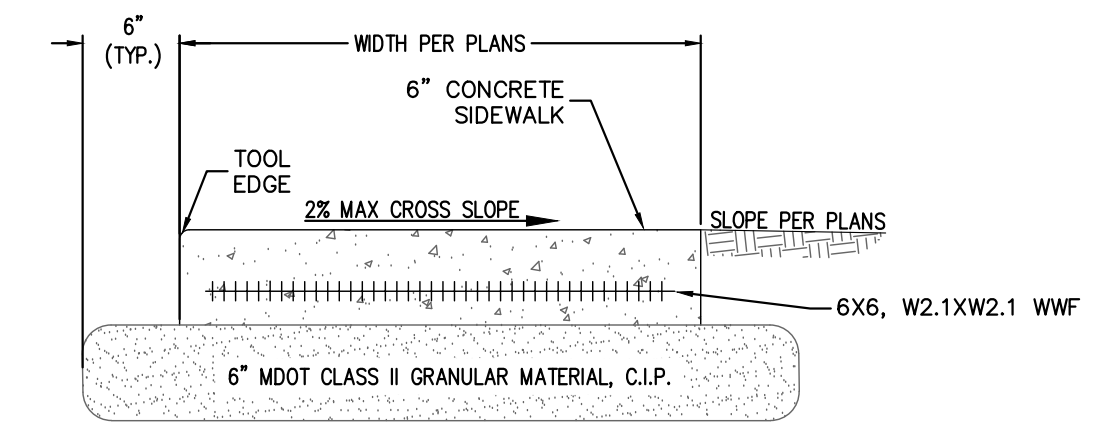
ADD ALTERNATE #1
 STAIR CASE ELEVATIONS
 NOT TO SCALE



NOTE:
 FOR SEWER LATERALS ENTERING EXISTING MANHOLES, THE CONTRACTOR SHALL CORE AN APPROPRIATELY SIZED HOLE IN THE EXISTING MANHOLE, INSERT THE NEW PIPE WITH A WATERTIGHT RUBBER BOOT AND REPAIR ANY REMAINING ANNULAR SPACE OR REMOVED PIPE CONNECTIONS WITH NONSHRINK GROUT.

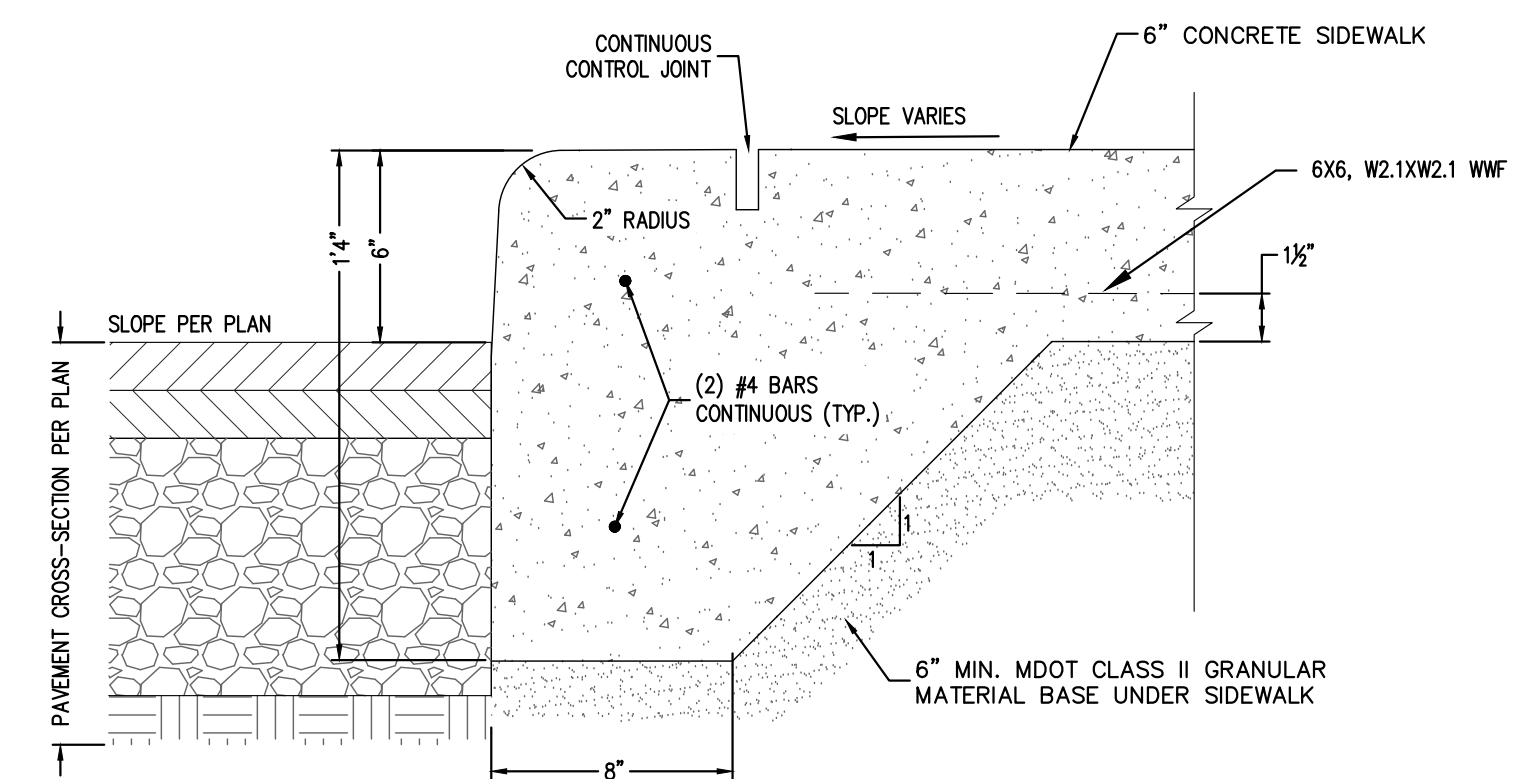
CONNECTION TO EXISTING MANHOLE

NOT TO SCALE



CONCRETE SIDEWALK

NOT TO SCALE



SIDEWALK WITH INTEGRAL CURB DETAIL

NOT TO SCALE

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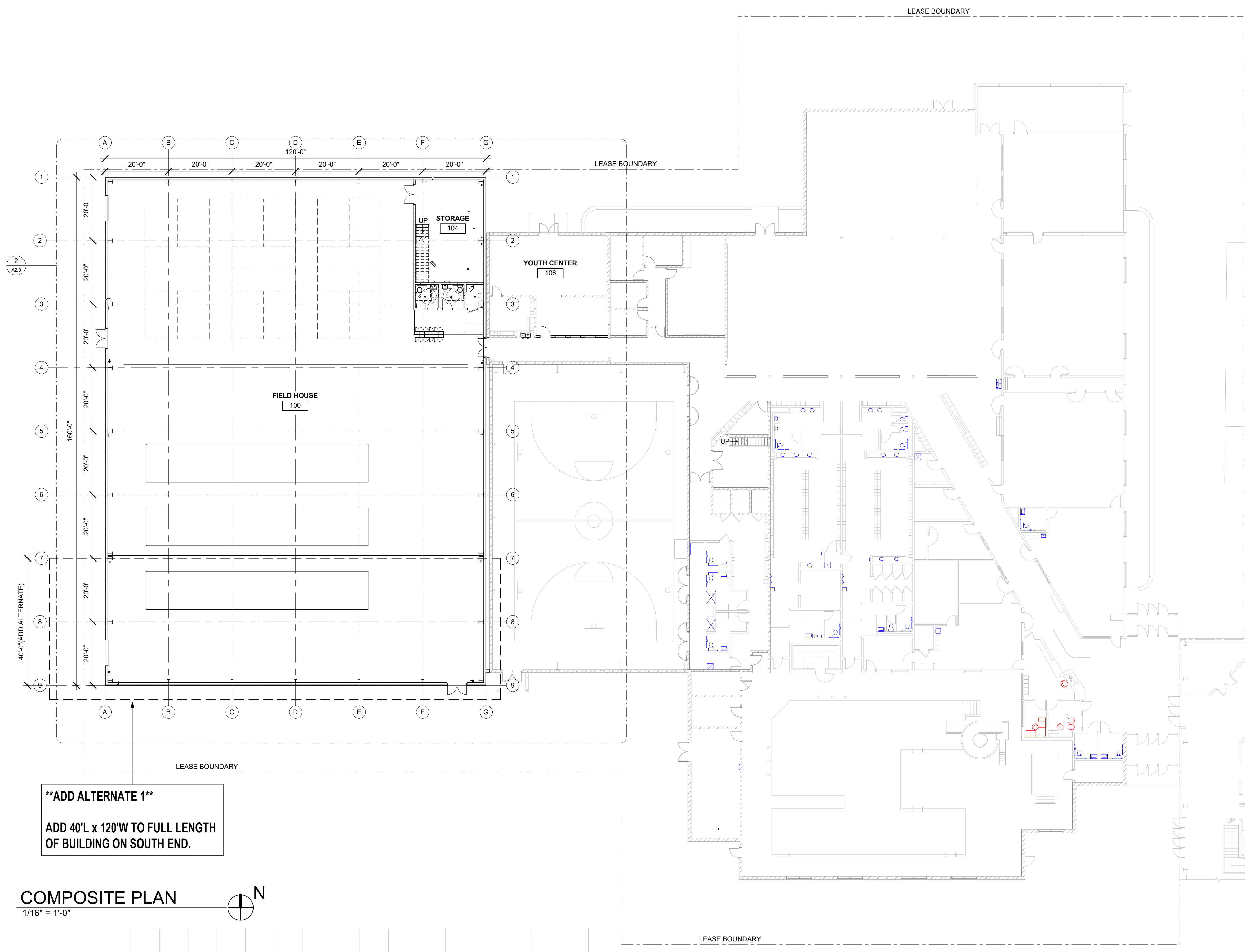
YMCA OF MARQUETTE COUNTY
 FIELD HOUSE
 MARQUETTE, MICHIGAN
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A	OWNER REVIEW	07/26/24
0	FOR CONSTRUCTION	09/24/24
1	SITE PLAN REVIEW	09/24/24

BY	DATE
ADM	
ADM	
BLK	
ADM	

SITE DETAILS

DESIGN
 DRAWN
 CHECKED
 APPROVED



****ADD ALTERNATE 1****
 ADD 40'L x 120'W TO FULL LENGTH
 OF BUILDING ON SOUTH END.

COMPOSITE PLAN
 1/16" = 1'-0"

CODE SUMMARY

APPLICABLE CODES/REGULATIONS.
 * 2015 MICHIGAN BUILDING CODE
 * 2021 MICHIGAN PLUMBING CODE
 * 2021 MICHIGAN MECHANICAL CODE
 * 2023 NATIONAL ELECTRICAL CODE (NEC)
 * MICHIGAN UNIFORM ENERGY CODE
 * BARRIER FREE DESIGN (2009 ICC/ANSI 117.1)

USE GROUP:
 * A3: ASSEMBLY

BUILDING CONSTRUCTION TYPE: IIB, FULLY SPRINKLERED

TABLES 504.3 AND 504.4
 HEIGHT AND AREA LIMITS PER TABLES 504.3, 504.4, 506.2

ALLOWABLE HEIGHT: 75'-0" (IIB)
ACTUAL HEIGHT: 34'-0"

ALLOWABLE NUMBER OF STORIES: 3 STORIES
ACTUAL NUMBER OF STORIES: 1 + MEZZANINE

ALLOWABLE AREA: UNLIMITED PER 507.6
ACTUAL AREA: 19,200 (ADDITION W/ALTERNATE) 39,695 (EXISTING) 58,895 SF TOTAL

SECTION 1004 OCCUPANT LOAD:
 OCCUPANT LOAD OF ADDITION: 365
 EXISTING OCCUPANT LOAD: 564
TOTAL NO. OF OCCUPANTS = 929

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YMCA OF MARQUETTE COUNTY
 FIELD HOUSE
 MARQUETTE, MICHIGAN
 PROJECT NO. 24-102

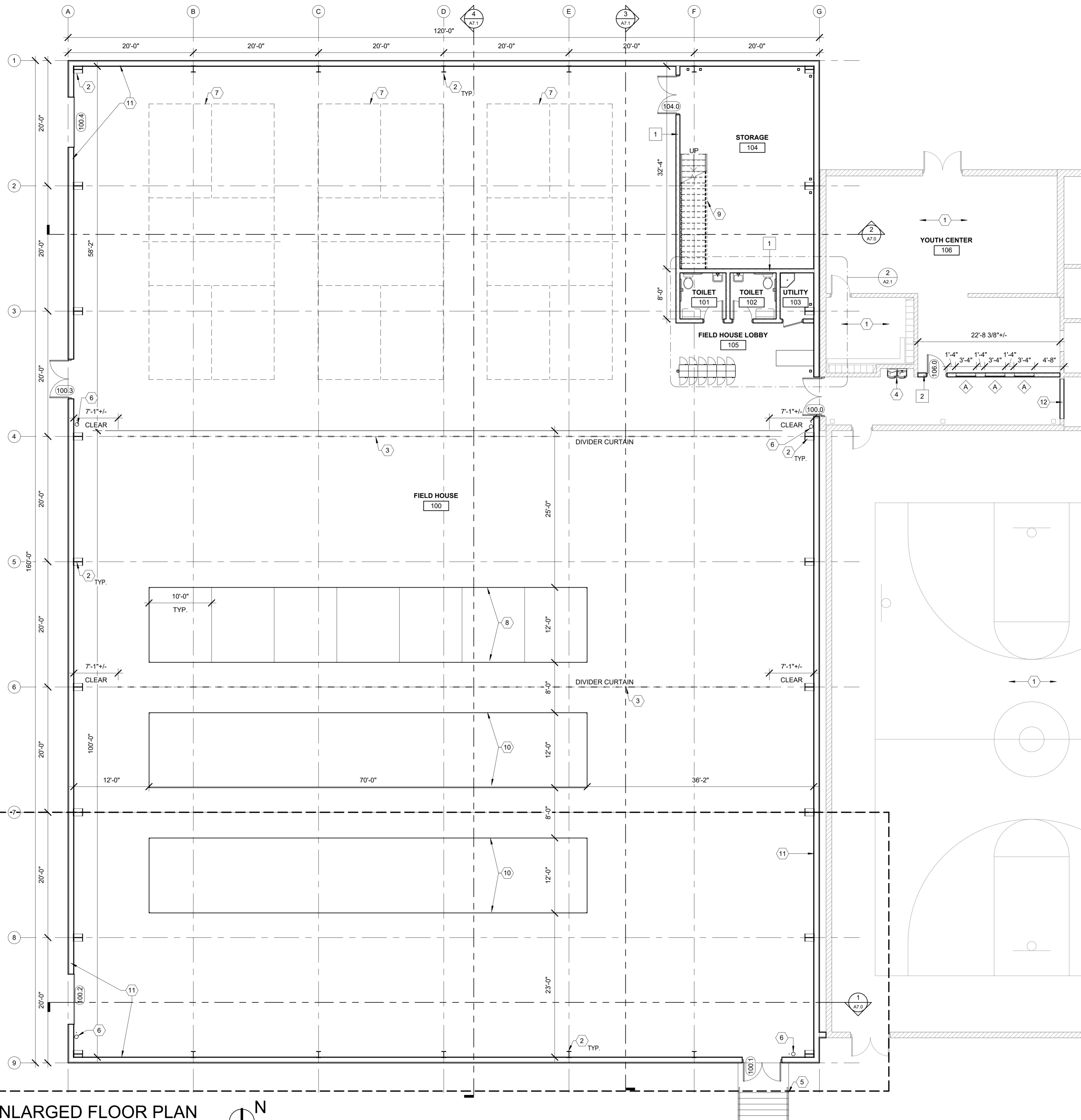
BY | DATE | NO. | REVISIONS | DATE

DESIGN	KPR	07/18/24	A	OWNER REVIEW	07/26/24
DRAWN	KPR	07/18/24	0	FOR CONSTRUCT.	09/24/24
CHECKED	TDH	09/20/24			
APPROVED	TDH	09/20/24			

**COMPOSITE FLOOR PLAN &
 CODE SUMMARY**

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A0.1



- ### KEYNOTES
- EXISTING TO REMAIN AS IS.
 - WALL PADS AT ALL STEEL COLUMNS FROM FLOOR TO 8'-0" A.F.F.. RE: SPECS
 - RETRACTABLE HANGING DIVIDER/CURTAIN. COORDINATE LOCATION AND SIZE WITH ARCHITECT/OWNER. IF ALTERNATE IS NOT SELECTED, ONLY ONE DIVIDER CURTAIN REQUIRED (NEAR TURF / RUBBER SPORTS COURT TRANSITION). RE: DETAILS AND SPECS
 - BARRIER FREE DRINKING FOUNTAIN. RE: PLUMBING PLANS
 - EXTERIOR STAIRCASE AND HANDRAILS. RE: DETAILS AND CIVIL PLANS
 - F.E. - FIRE EXTINGUISHER, SURFACE MOUNTED. RE: SPECIFICATIONS.
 - PICKLEBALL COURT MARKINGS. (3) LOCATIONS AS INDICATED, ON RESILIENT ATHLETIC FLOORING ON CONCRETE SLAB. FINAL COORDINATION OF LINE MARKINGS TO BE WITH OWNER/ARCHITECT.
 - 12'-0"W x 70'-0"L MULTI-SPORT CAGE RETRACTABLE HANGING DIVIDER/CURTAIN AND REMOVABLE DIVIDERS EVERY 10'-0". COORDINATE LOCATION AND SIZE WITH ARCHITECT/OWNER. RE: SPECIFICATIONS
 - METAL STAIR ASSEMBLY W/ METAL HANDRAIL GUARDRAIL AND CONCRETE FILLED METAL PAN TREADS. PAINT FINISH. RE: SPECIFICATIONS
 - 12'-0"W x 70'-0"L BATTING CAGE RETRACTABLE HANGING DIVIDER/CURTAIN. COORDINATE LOCATION AND SIZE WITH ARCHITECT/OWNER. IF ALTERNATE IS NOT SELECTED, ONLY ONE DIVIDER CURTAIN REQUIRED (NEAR TURF / RUBBER SPORTS COURT TRANSITION). RE: SPECIFICATIONS
 - PROVIDE/INSTALL SPORTS NETTING AROUND ENTIRE PERIMETER OF INTERIOR TO AVOID DAMAGE FROM BALLS/EQUIPMENT. RUN CONTINUOUS FROM MAIN FLOOR LEVEL TO UNDERSIDE OF ROOF DECK WITH THE EXCEPTION OF MEZZANINE PORTION. ATTACHMENT/INSTALLATION PER RECOMMENDATION OF THE NETTING SUPPLIER/INSTALLER.
 - EXISTING WALL OPENING TO REMAIN. PATCH AND PAINT TO MEET NEW WORK CONDITIONS.

- ### GENERAL NOTES
- EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS REGARDING DEMOLITION AND NEW WORK BEFORE SUBMITTING A BID FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE.
 - HALF-TONE LINES INDICATE EXISTING CONDITIONS. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
 - ANY EXISTING CONDITIONS TO REMAIN THAT ARE DISTURBED ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
 - WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS.
 - REFER ALSO TO ELECTRICAL, MECHANICAL, STRUCTURAL, AND CIVIL DRAWINGS AS APPLICABLE FOR ADDITIONAL SCOPE OF WORK.
 - REFER TO WALL TYPES FOR WALL CONSTRUCTION, MATERIALS, HEIGHTS, ETC.
 - INTERIOR/EXTERIOR DIMENSIONS ARE FROM FACE OF GYPSUM BOARD/C.M.U.
 - ROOM NUMBERING SYSTEM USED IN THIS CONSTRUCTION DOCUMENT IS FOR ARCHITECTURAL PURPOSES. VERIFY ACTUAL ROOM NUMBERING/ LAYOUT AS REQUIRED.
 - PROVIDING AND INSTALLING THE REPLACEMENT OF ANY NEW FINISHES, DOOR ASSEMBLIES, ETC., SHALL INCLUDE THE REMOVAL AND DISPOSAL OF THE EXISTING AND PREPARATION FOR NEW WORK IN ANY LOCATION WHERE APPLICABLE. REFERENCE NEW WORK PLANS FOR FULL SCOPE OF WORK.
 - ALL DOOR FRAMES ARE 8" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
 - ALL NEW WORK SHALL MEET BARRIER FREE REQUIREMENTS (I.E. GRAB BARS, DOOR HARDWARE, CASEWORK HEIGHTS, ETC.)

****ADD ALTERNATE 1****
ADD 40'L x 120'W TO FULL LENGTH OF BUILDING ON SOUTH END.

NEW WORK ENLARGED FLOOR PLAN
 1/8" = 1'-0"

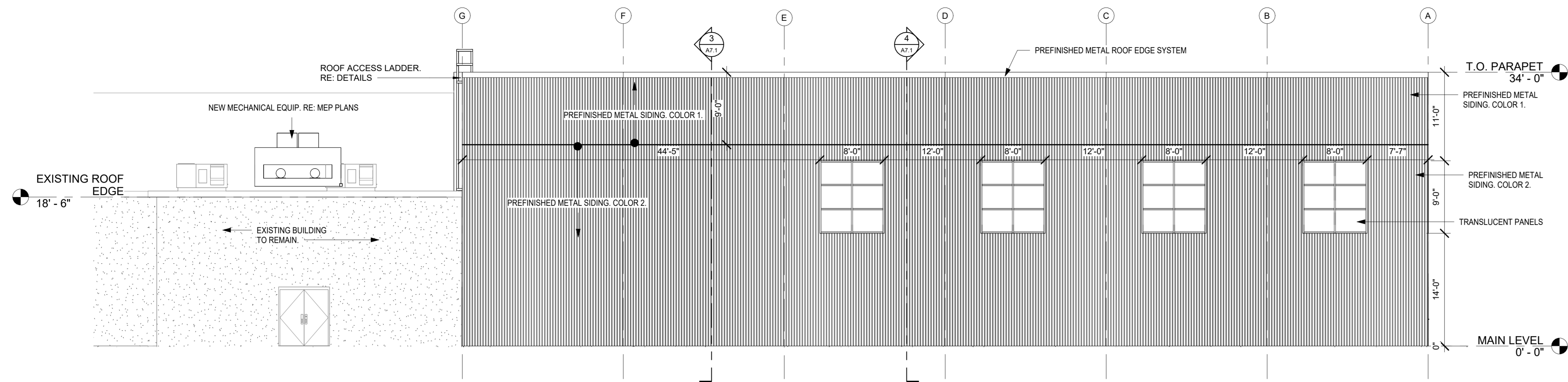
ARCHITECTURE ENGINEERING CONSULTING
INTEGRATED DESIGNS, INC.
 1071 W. BARAGA AVENUE
 MARQUETTE, MI 49855
 PHONE: (605) 232-4485
 FAX: (605) 232-7534
 8571 W. GRAND PRAIRIE, SUITE 600
 BRIGHTON, MI 48015
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 FAX: (313) 287-0101

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NO.	REVISIONS	DATE
C	REV. SCHEMATIC	05.21.24
D	REV. SCHEMATIC	07.10.24
E	OWNER REVIEW	07.26.24
F	FOR CONSTRUCT.	09.24.24

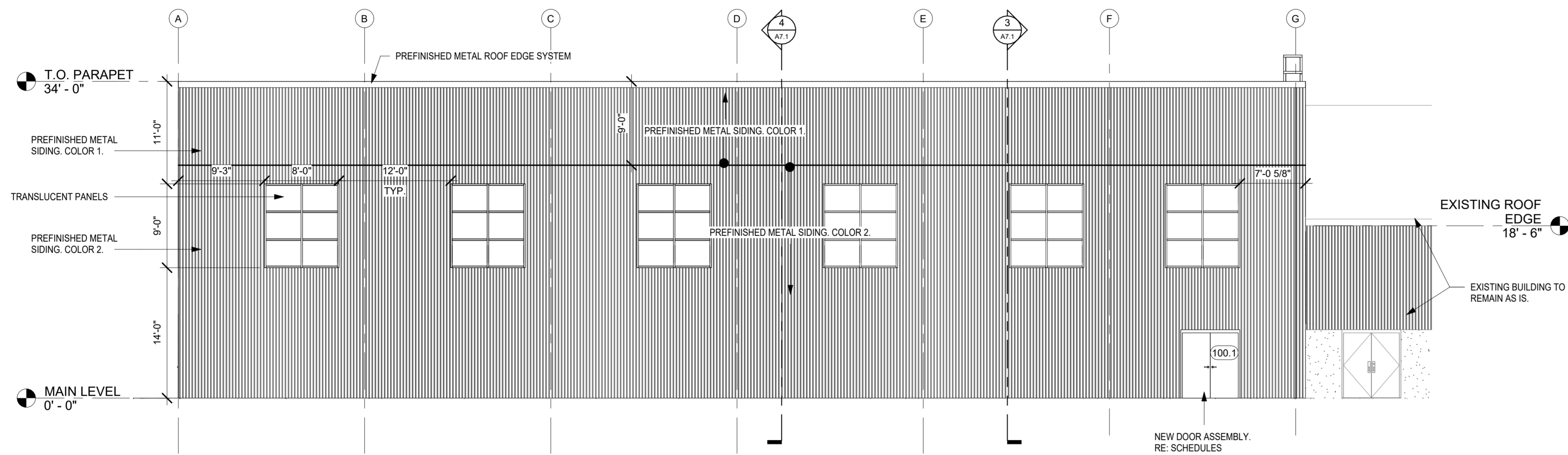
ENLARGED NEW WORK PLANS
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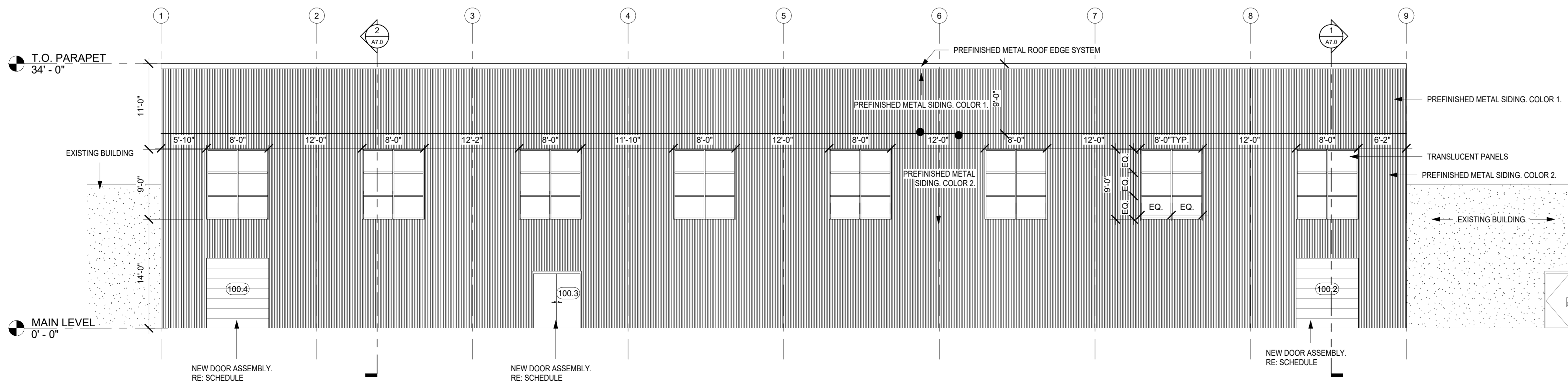
NORTH EXTERIOR ELEVATION

1/8" = 1'-0"



SOUTH EXTERIOR ELEVATION

1/8" = 1'-0"



WEST EXTERIOR ELEVATION

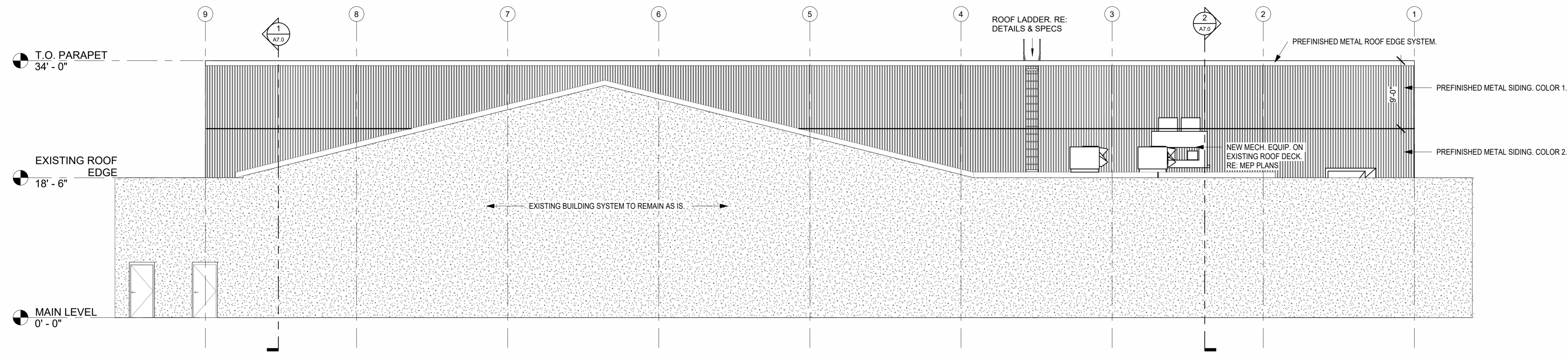
1/8" = 1'-0"

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KPR	07.18.24	FOR CONSTRUCTION
TDH	09.20.24	

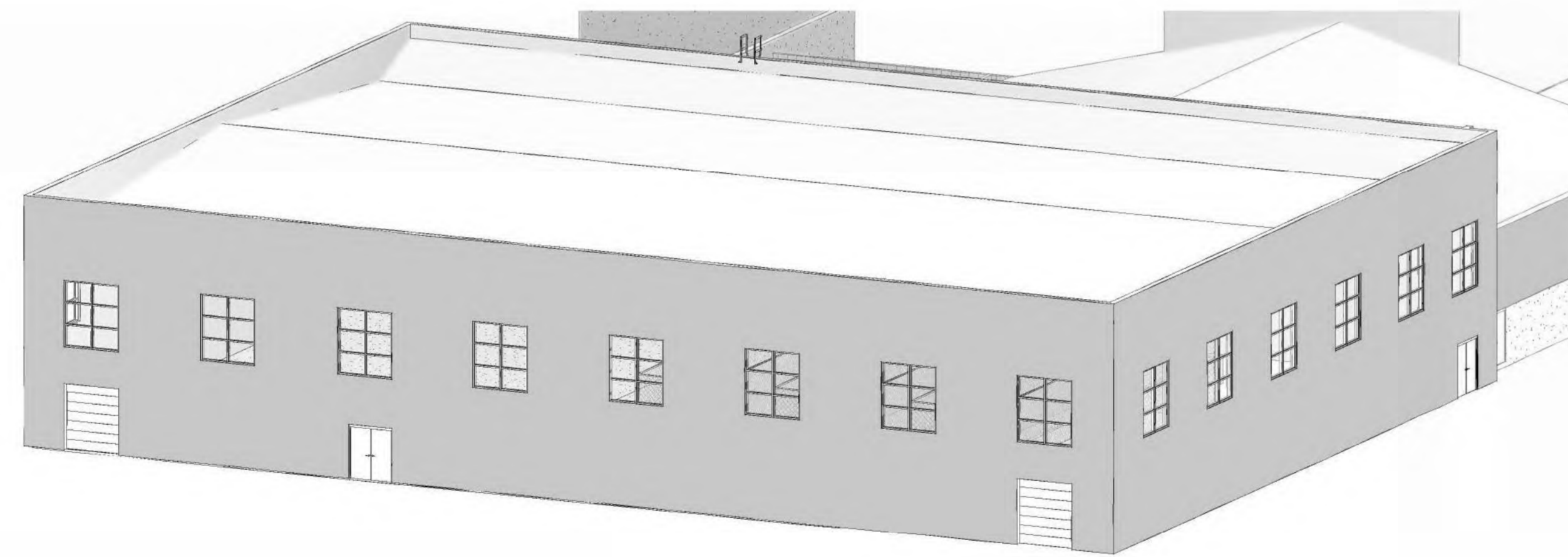
DESIGN	DRAWN	CHECKED	APPROVED

U:\Projects\2024\24-102\24-102-01\24-102-01.dwg
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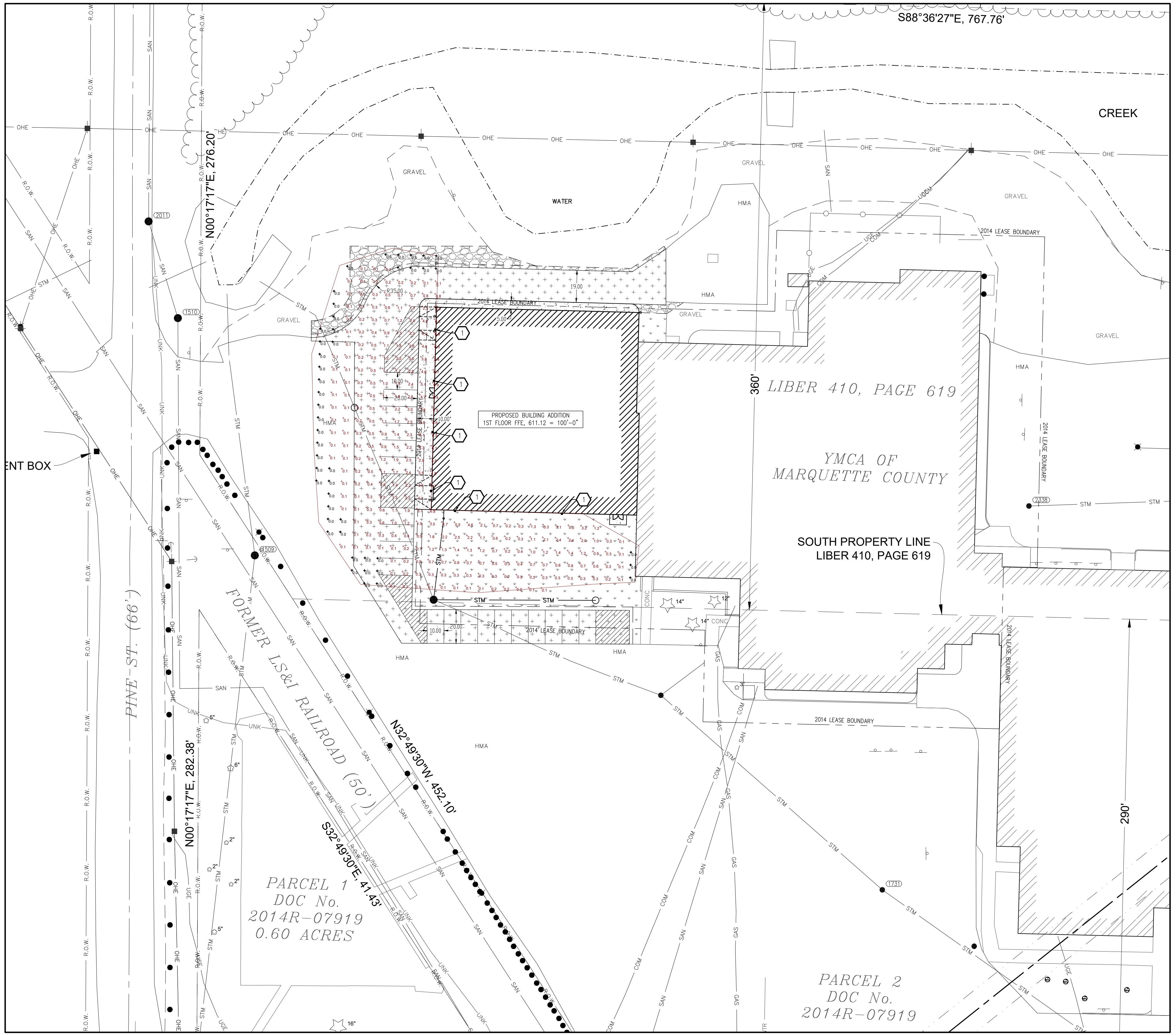
EAST EXTERIOR ELEVATION

1/8" = 1'-0"

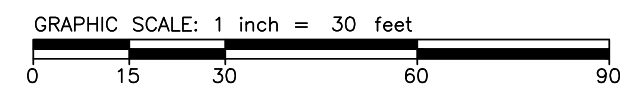


3D NORTHEAST ELEVATION

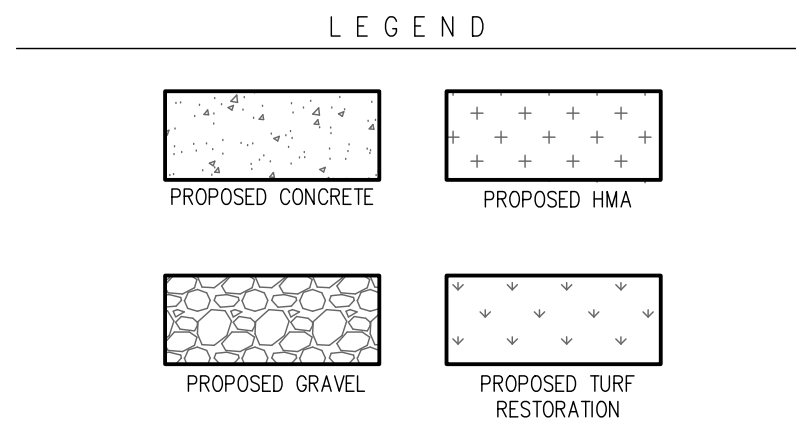
BY	DATE	NO.	REVISIONS	DATE
KPR	07.18.24	A	OWNER REVIEW	07.26.24
KPR	07.18.24	0	FOR CONSTRUCT.	09.24.24
TDH	09.20.24			
TDH	09.20.24			



ELECTRICAL SITE PLAN
SCALE: 1 INCH = 30 FEET



KEYNOTES
 - SEE CURRENT MDT SPECIFICATIONS FOR MATERIALS AND INSTALLATION REQUIREMENTS UNLESS OTHERWISE SPECIFIED -
 1. PROPOSED BUILDING MOUNTED AREA LIGHT.
 ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY



ARCHITECTURE
 ENGINEERING
 CONSULTING

YMCA OF MARQUETTE COUNTY
 FIELD HOUSE
 MARQUETTE, MICHIGAN
 PROJECT NO. 24-102

BY	DATE	NO. REVISIONS	DATE
ADM	07/26/24	A	OWNER REVIEW
ADM	09/24/24	0	FOR CONSTRUCTION
BLK	09/24/24	1	SITE PLAN REVIEW
ADM			

ELECTRICAL
 SITE PLAN

ES1.0

MISS DIG 811.
 Know what's below.
 Call before you dig.

PARCEL 1
 DOC No.
 2014R-07919
 0.60 ACRES

PARCEL 2
 DOC No.
 2014R-07919

FORMER LS&I RAILROAD (50')

PINE ST. (66')

LIBER 410, PAGE 619

SOUTH PROPERTY LINE
 LIBER 410, PAGE 619

2014 LEASE BOUNDARY

PROPOSED BUILDING ADDITION
 1ST FLOOR FFE, 611.12 = 100'-0"

PROPOSED CONCRETE

PROPOSED HMA

PROPOSED GRAVEL

PROPOSED TURF RESTORATION

KEYNOTES

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LEGEND

BY DATE NO. REVISIONS DATE

ADM 07/26/24 A OWNER REVIEW

ADM 09/24/24 0 FOR CONSTRUCTION

BLK 09/24/24 1 SITE PLAN REVIEW

ADM

ELECTRICAL SITE PLAN

ES1.0

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BY DATE NO. REVISIONS DATE

ADM 07/26/24 A OWNER REVIEW

ADM 09/24/24 0 FOR CONSTRUCTION

BLK 09/24/24 1 SITE PLAN REVIEW

ADM



**CITY OF MARQUETTE
PLANNING AND ZONING
1100 WRIGHT ST.
MARQUETTE, MI 49855
(906) 228-0425**

MEMORANDUM

TO: Planning Commission
FROM: Andrea Landers, Zoning Official
DATE: October 17, 2025
SUBJECT: Planning Commission Meeting Dates for 2025

The following are the pending dates of the Planning Commission regular meetings for 2025:

January 7, 2025	July 1, 2025
January 21, 2025	July 15, 2025
February 4, 2025	August 5, 2025
February 18, 2025	August 19, 2025
March 4, 2025	September 2, 2025
March 18, 2025	September 16, 2025
April 1, 2025	October 7, 2025
April 15, 2025	October 21, 2025
May 6, 2025	November 11, 2025 (moved due to election)
May 20, 2025	November 18, 2025
June 3, 2025	December 2, 2025
June 17, 2025	December 16, 2025

All meetings are scheduled for 6:00 p.m. in the Commission Chambers of City Hall, unless we have a scheduling conflict with the City Commission, etc.

RECOMMENDED ACTION:

The Planning Commission should review the above meeting dates and render a decision to approve with changes or as presented.



CITY OF MARQUETTE
PLANNING AND ZONING
1100 Wright Street
MARQUETTE, MI 49855
(906) 228-0425
www.marquettemi.gov

MEMORANDUM

TO: Planning Commission
FROM: Dave Stensaas, City Planner and Zoning Administrator
DATE: November 08, 2024
SUBJECT: **Training – Climate Adaptation Task Force’s *Marquette 2049 Project* materials from 3rd Learning Circle session about *Health, Housing, and Transportation***

The following materials are from the third of six “learning circles” for the [“Marquette 2049”](#) project that the Marquette County Climate Adaptation Task Force (CATF) has launched. Additional learning resources are provided for each of the six sessions at the [project website](#) (marquettcountycatf.org/Marquette-2049/).

The 2049 project aims to raise awareness and help local officials from government and institutions, and any other interested persons, to understand the possible scenarios we will face in 2049 due to climate change and how we confront it. The six topics of the learning circle series are those that received the most interest from a group of over seventy people from across Marquette County who were invited to a forum in January to discuss the project and determine which topics were important for them to understand in terms of addressing climate change. We will review materials for each of the learning circle education items. The six topics and meeting dates are:

- Food Systems (meeting conducted on May 8, 2024)
- Trash & Recycling (meeting conducted on June 12, 2024)
- Healthcare, Housing, Transportation & Public Services (meeting date 9/11/24)
- Economic Development and Diversification (meeting date 10/9/24)
- Energy and Power (meeting date 11/06/24)
- Water and Land Use (meeting date 12/04/24)

These materials are being provided for your awareness and to share this information.

HEALTH, HOUSING & TRANSPORTATION

MARQUETTE 2049 CLIMATE CHANGE LEARNING CIRCLE

Wednesday, September 11, 2024

Northern Center, Ballroom I

10:00 - 11:30 a.m.

Circle Overview

The 2049 Project is intended to encourage people in our community to engage in proactive planning in anticipation of the consequences of climate change. Climate change may create demographic shifts and population changes that will influence infrastructure and services in our community. The goal of this learning circle is to identify and examine climate-related concerns that might affect transportation (e.g., roads, bridges, EV charging, public transit, etc), housing (e.g., zoning, affordability, unhoused populations, etc.), and public health (e.g., medical facilities, accessibility, illness and vulnerabilities, etc.). We will also identify key organizations to be involved in continuing the conversation about these critical issues and building the groundwork for a long-term planning process that will enable Marquette to cope with climate-driven changes affecting public services and related infrastructure in our area.

Pre-Circle Reading

[Climate Change and Human Health](#) (2024). Published by the National Institute of Environmental Health Sciences at the U.S. Department of Health & Human Services.

[Climate Change Impacts on the Built Environment](#) (2024). Published by the U.S. Environmental Protection Agency.

[Why Cities Need to Think More about the Intersection of Housing and Climate Change](#) (2023). Published by the National League of Cities.

[Climate Change Impacts on Transportation](#) (2023). Published by the U.S. Environmental Protection Agency.

Learning Circle Questions

1. What is your ideal vision for our area's public health, housing, and transportation systems over the next 10 to 25 years?
2. In terms of climate change impacts on public services and infrastructure, what issues or needs should be considered as we work toward our ideal vision for the future?
3. What can we do today to ensure we meet our ideal scenarios/visions for the future? How might we continue this conversation, and who else should be included? Share any ideas for the short-term and long-term.