



CITY OF MARQUETTE  
PLANNING AND ZONING  
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## **MEMORANDUM**

**TO:** Planning Commission  
**FROM:** Andrea Landers, Zoning Official  
**DATE:** May 28, 2025  
**SUBJECT:** 01-PUD-03-25 (05-SPR-06-25) – Preliminary PUD plan review for W. Magnetic St (Portion of PIN: 0410681))

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The Planning Commission is being asked to review an application for a preliminary Planned Unit Development (PUD) approval. The Planning Commission determined that the proposed PUD met the criteria for qualification as a PUD at a public hearing on March 18, 2025. The Planning Commission is now prepared to conduct a public hearing for a preliminary site plan review and then draft a recommendation to the City Commission, who will determine whether to approve or deny the PUD at a public hearing to follow. If approved by the City Commission, the City Attorney will prepare a contract. After the contract is recorded, the applicant can submit a final site plan to the Planning Commission for their determination of conformity to the contract and compliance with the Land Development Code. Only after all these steps are completed and any conditions of approval are complied with can staff issue permits for the development of the PUD.

Please see the attached STAFF FILE REVIEW/ANALYSIS for a complete review of the proposal.

All notices have been sent in accordance with the Land Development Code and State Law. No correspondence has been received.

### **RECOMMENDED ACTION:**

In accordance with the Land Development Code, the Planning Commission should hold a public hearing, review the proposed PUD site plan and support information provided in this packet, and make a recommendation to the City Commission regarding the proposed PUD.

It is also highly recommended that any recommendation regarding the PUD site plan include:

*After review of the PUD site plan (includes pattern book items) dated May 5, 2025, and the STAFF FILE REVIEW/ANALYSIS for 01-PUD-03-25, the Planning Commission, who previously established that the PUD met 7 out of 10 required objectives and the criteria to be eligible for a PUD of Section 54.323(F) of the Marquette City Land Development Code, and the preliminary PUD Plan meets Section 54.323(H) of the Marquette City Land Development Code, recommends that the PUD be (approved/denied) by the Marquette City Commission (for the following reasons/with the following conditions).*

- Staff recommends a condition of approval that an amended plan is submitted to meet staff comments for the final site plan review.



# STAFF FILE REVIEW/ANALYSIS

Completed by Andrea Landers – Zoning Official

Reviewed by David Stensaas – City Planner and Zoning Administrator

**File Number:** 01-PUD-03-25 (05-SPR-06-25)

**Date:** May 28, 2025

**Project/Application:** Preliminary PUD Approval and Site Plan Review for a proposed Planned Unit Development (PUD) for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street.

**Location:** W. Magnetic Street (Between Lee St. and Fourth St.)

**Parcel ID:** Portion of 0410681

**Available Utilities:** Electricity, City Water, City Sewer, Natural Gas, and Garbage Collection.

**Current Zoning:** MDR – Medium Density Residential

**Surrounding Zoning:**  
 North: M-U – Mixed Use  
 South: MDR – Medium Density Residential  
 East: MDR – Medium Density Residential & M-U – Mixed Use  
 West: MDR – Medium Density Residential

**Zoning District and Standards:**  
**Current Zoning – MDR**

## Section 54.308 MDR, Medium Density Residential District

(A) Intent	
<p>The MDR district is intended to establish and preserve medium density residential neighborhoods that present an environment acceptable to a range of users, including families of all types. Some additional non-residential compatible uses may be allowed. It is important to the community to preserve and enhance the pedestrian-friendly, compact neighborhood types where homes and buildings are of similar scale and character.</p>	
(B) Permitted Principal Uses	(C) Special Land Uses
<ul style="list-style-type: none"> <li>• Accessory Building or Structure</li> <li>• Accessory Use, Non-Single Family Residential Lots</li> <li>• Accessory Use, Single-Family Residential Lots</li> <li>• Adult Foster Care, Family Home</li> <li>• Adult Foster Care, Small Group Home</li> <li>• Child or Day Care, Family Home</li> <li>• Child or Day Care, Group Home</li> <li>• Child Care Center or Day Care Center</li> </ul>	<ul style="list-style-type: none"> <li>• Cemetery</li> <li>• Dwelling, Intentional Community</li> <li>• Dwelling, Quadplex</li> <li>• Foster Family Group Home</li> <li>• Hospital Hospitality House</li> <li>• Public or Governmental Building</li> <li>• Recreational Use, Public</li> <li>• Religious Institution</li> </ul>

STAFF FILE REVIEW/ANALYSIS

<ul style="list-style-type: none"> <li>• Dwelling, Accessory Unit</li> <li>• Dwelling, Single-Family Detached</li> <li>• Dwelling, Triplex</li> <li>• Dwelling, Two-Family (Duplex)</li> <li>• Food Production, Minor</li> <li>• Foster Family Home</li> <li>• Home Occupation</li> <li>• Home Office</li> <li>• Homestays and Vacation Home</li> <li>• Outdoor Entertainment and Community Events (Temporary)</li> <li>• Residential Limited Animal Keeping</li> <li>• Small Wind Energy Systems, Roof-Mounted</li> <li>• Solar Energy Systems, &lt;20kw- Accessory Use</li> </ul>	<ul style="list-style-type: none"> <li>• School, Primary or Secondary</li> <li>• School, University</li> <li>• Solar Energy Systems, ≥20kw to 2 MW - Accessory Use</li> <li>• Supportive Housing Facility, Transitional and/or Permanent</li> </ul>
<p>Where there is a discrepancy between <a href="#">Section 54.306</a> and this table, <a href="#">Section 54.306</a> shall prevail.</p>	

<b>(D) Dimensional Regulations for 1 Dwelling unit and other uses identified in Section 54.308</b>			
<i>Lot, Coverage, and Building Height Standards</i>		<i>Minimum Setbacks</i>	
<i>Min. Lot Area (sq. ft.)</i>	4,500 <a href="#">(C)</a>	<i>Front Yard (ft.)</i>	15 <a href="#">(A)</a> , <a href="#">(B)</a>
<i>Min. Lot Width (ft.)</i>	37.5 <a href="#">(D)</a>	<i>Side Yard (one) (ft.)</i>	5 <a href="#">(L)</a>
<i>Max. Impervious Surface Coverage (%)</i>	<a href="#">(S)</a>	<i>Side Yard (total of 2) (ft.)</i>	13 <a href="#">(L)</a>
<i>Max. Building Height of Primary Building (ft.)</i> <a href="#">(Q)</a>	31.5	<i>Rear Yard (ft.)</i>	20 <a href="#">(L)</a>
<i>Max. Building Height of Accessory Building</i>	<a href="#">(L)</a>		
<i>Max. Building Height (stories)</i>	-		
<p>Where there is a discrepancy between <a href="#">Article 4</a> and this table, <a href="#">Article 4</a> shall prevail.</p>			

<b>(E) Dimensional Regulations for 2 Dwelling Units</b>			
<i>Lot, Coverage, and Building Height Standards</i>		<i>Minimum Setbacks</i>	
<i>Min. Lot Area (sq. ft.)</i>	6,000 <a href="#">(C)</a>	<i>Front Yard (ft.)</i>	15 <a href="#">(A)</a> , <a href="#">(B)</a>
<i>Min. Lot Width (ft.)</i>	50 <a href="#">(D)</a>	<i>Side Yard (one) (ft.)</i>	10 <a href="#">(L)</a>
<i>Max. Impervious Surface Coverage (%)</i>	<a href="#">(S)</a>	<i>Side Yard (total of 2) (ft.)</i>	20 <a href="#">(L)</a>
<i>Max. Building Height of Primary Building (ft.)</i> <a href="#">(Q)</a>	31.5	<i>Rear Yard (ft.)</i>	20 <a href="#">(L)</a>
<i>Max. Building Height of Accessory Building</i>	<a href="#">(L)</a>		
<i>Max. Building Height (stories)</i>	-		
<p>Where there is a discrepancy between <a href="#">Article 4</a> and this table, <a href="#">Article 4</a> shall prevail.</p>			

<b>(F) Dimensional Regulations for 3-4 Dwelling Units</b>			
<i>Lot, Coverage, and Building Height Standards</i>		<i>Minimum Setbacks</i>	
<i>Min. Lot Area (sq. ft.)</i>	9,000 <a href="#">(E)</a>	<i>Front Yard (ft.)</i>	15 <a href="#">(A)</a>
<i>Min. Lot Width (ft.)</i>	75 <a href="#">(E)</a>	<i>Side Yard (one) (ft.)</i>	10 <a href="#">(H)</a> , <a href="#">(L)</a>
<i>Max. Impervious Surface Coverage (%)</i>	<a href="#">(S)</a>	<i>Side Yard (total of 2) (ft.)</i>	20 <a href="#">(H)</a> , <a href="#">(L)</a>
<i>Max. Building Height of Primary Building (ft.)</i> <a href="#">(Q)</a>	31.5	<i>Rear Yard (ft.)</i>	30 <a href="#">(H)</a> , <a href="#">(L)</a>
<i>Max. Building Height of Accessory Building</i>	<a href="#">(L)</a>		
<i>Max. Building Height (stories)</i>	-		
<i>Max. Lot Coverage/ Ground Coverage</i>	0.50		
<p>Where there is a discrepancy between <a href="#">Article 4</a> and this table, <a href="#">Article 4</a> shall prevail.</p>			

<b>(G) References to Additional Standards</b>		
<i>Definitions</i> <a href="#">Article 2</a>	<i>Exterior Lighting</i> <a href="#">Section 54.802</a>	<i>Landscaping and Screening</i> <a href="#">Article 10</a>
<i>Subdivisions</i> <a href="#">Section 54.501</a>	<i>Riparian Buffers</i> <a href="#">Section 54.804</a>	<i>Signs</i> <a href="#">Article 11</a>
<i>Site Condominiums</i> <a href="#">Section 54.503</a>	<i>Wetland Protection</i> <a href="#">Section 54.805</a>	<i>Nonconformities</i> <a href="#">Article 12</a>
<i>Accessory Structures</i> <a href="#">Section 54.705</a>	<i>Steep Slopes and Ridgelines</i> <a href="#">Section 54.806</a>	<i>Zoning Permits</i> <a href="#">Section 54.1401</a>
<i>Fences and Walls</i> <a href="#">Section 54.706</a>	<i>Parking, Loading, and Access Management</i> <a href="#">Article 9</a>	<i>Site Plan Review</i> <a href="#">Section 54.1402</a>

**Section 54.1003 Landscaping Design Requirements**

**(D) Buffer and Greenbelt Requirements.**

- (1) Intent. It is the intent of this section to provide suitable transitional yards for the purpose of reducing the impact of and conflicts between incompatible land uses abutting district boundaries.
- (2) Buffer and Greenbelt Schedule. On any lot abutting a zoning district boundary, no structure, building or part thereof shall hereafter be erected, constructed, altered or maintained closer to the district boundary line than specified (in feet) in the following schedule (*Figure 50*). Where indicated, landscape planting is required.

**Figure 50 - Required Buffer and Greenbelt Specifications:**

<b>DISTRICT IN WHICH BUFFER &amp; GREENBELT IS REQUIRED</b>	<b>ABUTTING DISTRICT</b>							
	<b>LDR &amp; MDR</b>	<b>MFR</b>	<b>MHP</b>	<b>M-U</b>	<b>CBD</b>	<b>GC &amp; RC</b>	<b>C, M, &amp; CR</b>	<b>I-M &amp; BLP</b>
<b>LDR and MDR</b>	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.

**Proposed Zoning – PUD**

**Intent and Uses Allowed (staff comments, where applicable, are indicated in bold text):**

**Section 54.323 PUD, Planned Unit Development District**

- (A) Purpose. The Planned Unit Development (PUD) option is intended to encourage, with City approval, private or public development that is substantially in accord with the goals and objectives of the Community Master Plan. Development permitted under this Section shall be considered as an optional means of development only upon terms agreeable to the City. Use of the PUD option will permit flexibility in the regulation of land development and benefit the City by:

- (1) Encouraging innovation through an overall development plan to provide variety in design and layout.
- (2) Achieving economy and efficiency in the use of land, natural resources, energy, and in the provision of public services and utilities.
- (3) Encouraging the creation of useful open spaces particularly suited to the needs of the parcel in question.
- (4) Providing appropriate housing, employment, service, and shopping opportunities suited to the needs of residents of Marquette.

(B) Use. The PUD may be used to:

- (1) Permit nonresidential uses of residentially zoned areas.
- (2) Permit residential uses of non-residentially zoned areas.
- (3) Permit land uses and the mixing of land uses that would otherwise not be permitted, provided the objectives are supported by the Master Plan and the intent of this Ordinance and the resulting development promotes the public health, safety, and welfare without a material adverse impact on adjoining existing and planned uses.

(C) Minimum Size. The minimum size of a PUD must be two (2) acres of contiguous land. However, the City Commission, upon recommendation from the Planning Commission, may permit a smaller PUD under the following circumstances:

- (1) The proposed project has unique characteristics and benefits; and/or
- (2) The parcel in question has unique characteristics that significantly impact development, such as unusual topography, tree stands, wetlands, poor soil conditions on portions of the parcel, water courses, unusual shape or proportions, or utility easements that cross the parcel.

In such case, the applicant must submit a letter to the City requesting a waiver of the minimum PUD size requirements. The request must be submitted at the time of the submittal of Concept and Request for Consideration of Project Qualifications (*Section 54.101(G)*). The Planning Commission shall review the request and make a recommendation to the City Commission. The City Commission shall make the final decision concerning a request to waive the PUD size requirements.

**The City Commission waived the contiguous 2 Acre minimum requirement on April 14, 2025.**

(D) Density, Layout, and Bulk.

- (1) Densities, setbacks, height, lot coverage, or lot sizes may be permitted that are different from the current zoning district and unique to the proposed PUD district, provided the other objectives of this Ordinance are met and the resulting development would promote the public health, safety, and welfare. The requirements of the Riparian Overlay District must be met.
- (2) The PUD shall be laid out so various land uses and building bulk relate to each other and to adjoining existing and planned uses with no material adverse impact of one use on another. Clustering development is encouraged in areas that are not located in the Riparian Overlay District.

(E) Definitions.

- (1) A “Planned Unit Development” (PUD) is a zoning district that shall apply to a specific parcel of land or several contiguous parcels of land, for which a comprehensive physical plan has been recommended by the Planning Commission, approved by the City Commission, and documented in a contract (PUD Agreement) between the City and site owner/developer. Such plan and contracted development will establish functional use areas and density patterns; will provide a fixed system of streets, public utilities, drainage, and other essential services; and account for similar factors necessary for and incidental to the intended land uses. The Planning Commission may, but is not required to, consider parcels separated by a public street as eligible for inclusion in a PUD.
- (2) A “Pattern Book” is a document prepared by the applicant’s design firm that contains specific information on the site master plan, and architectural designs for planned buildings. Information should include specifications on building materials, size, and dimensions, building elevations, and site design elements such as pedestrian walkways, lighting, landscaping, and signage.

(F) Criteria for Qualifications. *The PUD option may be permitted anywhere in the City except in the Conservation and Recreation (CR) district. To be considered for the PUD option, it must be demonstrated that all of the following criteria are met:*

(G) Submittal of Concept and Request for Consideration of Project Qualifications.

**Sections (F) and (G) have been omitted. The Planning Commission “qualified” the project for a PUD on March 18, 2025.**

(H) Submittal and Approval of Preliminary PUD Plan. An application for Preliminary PUD Plan approval may be made for consideration with the submission of the following materials and Planning Commission review. To expedite PUD projects, the Planning Commission, at its discretion, may waive submitted information required in Section 54.101(H) and **Error! Reference source not found.**

- (1) Submittal of Proposed PUD Plan. An application shall be made to the Community Development Department for review and recommendation by the Planning Commission that complies with the preliminary site plan information requirements of ***Error! Reference source not found.***, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:

- (a) A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor.

**Provided.**

- (b) A topographic map of the entire area at a contour interval of not more than one (1) foot and spot elevations at intervals not to exceed fifty (50) feet, unless waived.

**Provided.**

- (c) Existing natural areas including, but not limited to, major stands of trees, bodies of water, wetlands, floodplains, steep slopes, and un-buildable areas.

**N/A**

- (d) A proposed land use plan.

**Provided.**

- (e) Parcel and lot lines, land use, access points, and zoning of all parcels within 100 feet of the PUD site.

**Provided and will provide per responses to Zoning Comments.**

- (f) Vehicular circulation including major drives and location of vehicular access. Proposed project cross sections including public streets or private roads.

**Provided.**

- (g) Transition treatment, including minimum building setbacks to land adjoining the PUD and between different land use areas within the PUD.

**Provided.**

- (h) The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

**N/A – proposal is for all residential buildings or accessory structure.**

- (i) The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

**Provided.**

- (j) The location of all wetlands, water and watercourses, and proposed water detention areas.

**N/A.**

- (k) The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

**Provided in the plan set and narrative.**

- (l) A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

**Provided.**

- (m) A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

**Provided.**

- (n) An indication of the contemplated water distribution, storm, and sanitary sewer plan.

**Provided.**

- (o) A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

**Provided.**

- (p) The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

**Provided.**

- (q) Minimum of two (2) site sections, showing major building relationships and building site features.

**Provided.**

- (r) Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

**Provided except for lighting. See narrative for their response regarding lighting.**

(2) Planning Commission Review of Proposed PUD Plan.

- (a) Public Hearing and Review Procedure. The Planning Commission shall give notice of a public hearing as provided in **Error! Reference source not found.** and hold a public hearing on the PUD and conduct a review of the PUD Plan and rezoning pursuant to the rezoning procedures of **Error! Reference source not found.**
- (b) Planning Commission Review and Determination. The Planning Commission shall review the proposed PUD plan and make a recommendation to the City Commission as to the proposal's qualification for the PUD option and for adherence to the following objectives and requirements:
  - (i) The proposed PUD adheres to the criteria for qualification of the PUD option (Section 54.101(F)) and promotes the land use goals and objectives of the City.

**To be determined by the Planning Commission. It was determined the concept PUD meet the following objectives:**

- (a) To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.**
- (c) To accept dedication or set aside open space areas in perpetuity.**
- (f) To promote the goals and objectives of the Community Master Plan.**
- (g) To foster the aesthetic appearance of the City through quality building design and site development; the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.**
- (h) To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.**
- (i) To bring about redevelopment of sites that have been identified as environmentally distressed or Brownfields.**

**(j) To facilitate appropriate development of environmentally sensitive areas.**

- (ii) All applicable provisions of this Section shall be met. Insofar as any provision of this Section shall be in conflict with the provisions of any other section of this Ordinance, the provisions of this Section shall apply to the lands embraced within a PUD area.

**To be determined by the Planning Commission.**

- (iii) There is, or will be, at the time of development, an adequate means of disposing of sanitary sewage and of supplying the development with water, and that the road system and storm water drainage system are or will be adequate.

**To be determined by the Planning Commission.**

- (3) Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to **Error! Reference source not found.** The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

**To be determined by the Planning Commission.**

Buffer and Greenbelt Requirements.  
**None required with PUD.**

Schedule of Regulations.

Zoning District	Minimum Lot Size	Minimum Lot Width	Minimum Front Yard	Minimum Side Yard	Minimum Rear yard	Maximum Height
PUD	Per approval	Per approval	Per approval	Per approval	Per approval	Per approval

**Relationship to Site Plan Review Standards (Staff Comments in Bold Text):**

**Per Section 54.1402 of the Land Development code:**

(E) Site Plan Review Standards. In addition to the development standards of this Ordinance as well as the underlying zoning district, each site plan shall be designed to ensure that:

- (1) Public Health, Safety, and Welfare. The uses proposed will not harm the public health, safety, or welfare. All elements of the site plan shall be

*designed to take into account the site's topography, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and ordinary development or improvement of surrounding property for uses permitted in this Ordinance.*

**The proposed site plan is for a mixture of Townhome types (one-unit, duplex, triplex, and six-unit) for a total of 36 units to be located at the three existing parking lots on the south side of W. Magnetic Street between Lee Street and Fourth Street. The proposal is not anticipated to harm the public health, safety, or welfare.**

- (2) *Safe and Efficient Traffic Operations.* *Safe, convenient, uncongested, and well-defined vehicular and pedestrian circulation within and to the site shall be provided. Drives, streets, and other elements such as walkways shall be designed to promote safe and efficient traffic operations within the site and at its access points.*

**The proposal indicates a new curb cut and driveway from Lee Street to one of the parcels. The other two parcels use existing curb cuts and driveways. The proposal also has pedestrian paths on the parcels.**

- (3) *Vehicular and Pedestrian Circulation.* *The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned street and pedestrian or bicycle pathways in the area. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping centers, and other uses which generate a considerable amount of pedestrian traffic.*

**The proposal has pedestrian paths on the parcels which is separated from the vehicular circulation system.**

- (4) *Topography and Landscaping.* *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. Landscaping shall be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding property.*

**See Sheets C-04.1 and C-04.2 for the landscaping plan. Please see Zoning comments and applicant's responses regarding the proposed landscaping for the site.**

- (5) *Storm Water Management.* *Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Surface water on all paved*

*areas shall be collected so that it will not obstruct the flow of vehicular or pedestrian traffic or create standing water.*

**Per the applicant's narrative a "storm water system is proposed with underground storage chambers to reduce storm water runoff to the City system".**

- (6) Emergency Vehicle Access. *All buildings or groups of buildings shall be arranged so as to permit emergency vehicle access as required by the Fire Department and Police Department.*

**The Police and Fire Departments had no comments regarding access.**

- (7) Outdoor Storage and Loading and Unloading Areas. *All outside storage areas, including refuse storage stations, shall be screened from the view of the street and/or adjacent residentially zoned properties. All loading and unloading areas shall be reasonably screened for residentially zoned properties.*

**Per the applicant's narrative for the 36 units – "Roadside collection will be used to collect waste. A local disposal company will be hired by the Condo Association and pick up will be at the rear of the buildings individually at the Garages. Note that none of the garages are viewable from the street so individual cans will be contained within the sites view only".**

- (8) Lighting. *Exterior lighting shall be arranged so that it is deflected away from adjacent properties and bodies of water so that it does not impede the vision of traffic along adjacent streets or impair navigation on the waterway. Flashing or intermittent lights shall not be permitted.*

**Per the applicant's narrative, "lighting details are still in process and will be designed for low intensity to remain on the site and meet the city current ordinance for lighting. These details will be provided in the site plan final review process".**

- (9) Location of Building Entrances. *For consistency in areas where adjoining properties face the street, the Planning Commission may require that primary structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

**The main entrance of buildings L, A, B, C, D, E, F, and G face Magnetic Street. Buildings H and I face a parking lot. Buildings J and K face the green space area. Building M faces Piqua Street.**

- (10) Nuisances. *No noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.*

**The Planning Commission should discuss this with the applicant to verify that no noise, vibration, dust, fumes, or other nuisance shall leave the property in a manner that affects the surrounding area.**

(11)*City of Marquette Engineering Design and Construction Standards. The site plan must comply with the City of Marquette Engineering Design and Construction Standards.*

**Please see applicant's response to Engineering comments. Staff is requesting that a revised site plan is submitted to meet staff comments for the final site plan review if the PUD request is approved.**

**Additional Comments:**

**The proposal has reduced the number of units from the concept review of 40 units to 36 units.**

**Per the applicant's PUD application, the applicant is requesting the following variances:**

- Section 54.306 (B) and (C) to allow larger multi family units – “Because of the shape of the lots and access from all streets: Lee, Magnetic, and Fourth, it allows better layout and reduced direct access points, especially to Magnetic and Fourth Streets”.
- Section 54.308(D) Reduction of Front and Rear Lot Setbacks – “Magnetic has an 80-ft ROW and more green boulevard, a reduction to 10-ft would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking. Allowing a 10-ft reduction provides better layout allowing more internal green space. The Piqua Street ROW also provides additional separation to the homes to the South”.

**Attachments:**

- Applicant's applications for PUD and Site Plan Review
- Applicant's Narrative
- PD Staff Comments
- Applicant's response to Zoning, Engineering, and Fire Staff comments
- Area Map
- Block Map
- Zoning Map
- Photos of Site
- Site Plan set (Pattern book info included)

**PRINT**

**CITY OF MARQUETTE  
PLANNED UNIT DEVELOPMENT APPLICATION**



CITY STAFF USE		
Parcel ID#: <u>0410681</u>	File #: <u>01-PUD-03-25</u>	Required Narrative Submitted: <u>Y/N</u>
Receipt #: <u>930315</u>	Check #: <u>10230</u>	Received by and date: <u>S-6-25</u>
Concept Plans (6 copies) Submitted: <u>Y/N</u>	Hearing Date: _____	Notice Date: _____
Preliminary Plan & Pattern Book (6) Submitted: <u>Y/N</u>	Hearing Date: <u>6-3-25</u>	Notice Date: <u>5-16-25</u>
Final Site Plan(6) Submitted: Y/N	Contract signed: Y/N	Meeting Date: _____
Amendment Plan (6) Submitted: Y/N	Meeting Date: _____	

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE PLANNED UNIT DEVELOPMENT REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!**

**FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))**

<input type="checkbox"/> PUD Criteria Qualification	\$1,365
<input checked="" type="checkbox"/> PUD Review <i>(includes Preliminary &amp; Final Site Plan Review)</i>	\$5,115
PUD Revision – Administrative Minor	
<input type="checkbox"/> Residential (additions, etc.)	\$220
<input type="checkbox"/> Commercial structure, ≥ 3 residential units	\$885
<input type="checkbox"/> PUD Revision - Major	\$2,750

If you have any questions, please call 228-0425 or e-mail [alanders@marquettemi.gov](mailto:alanders@marquettemi.gov). Please refer to [www.marquettemi.gov](http://www.marquettemi.gov) to find the Planning Commission page for filing deadline and meeting schedule.

- Please review the attached:**
- PUD Timeline
  - PUD Checklist
  - Excerpts from the City Land Development Code
    - Section 54.323 Planned Unit Development
    - Section 54.1402 Site Plan Review

**APPLICANT CONTACT INFORMATION**

**PROPERTY OWNER**

Name: Veridea Group, LLC

Address: 857 W. Washington, Suite 301

City, State, Zip: Marquette, MI 49855

Phone #: 906.228.3900

Email: mthomas@verideagroup.com

**APPLICANT/OWNER'S REPRESENTATIVE**

Name: Brian M. Savolainen (WW)

Address: 3224 US-41 West #240

City, State, Zip: Marquette, MI 49855

Phone #: (906) 250-5729

Email: bsavolainen@wickwiresolutions.com

**PRE-APPLICATION CONFERENCE**

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Planned Unit Development. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

### PROPERTY INFORMATION

<b>Property Address:</b> Magnetic Street (No Add.)	<b>Property Identification Number:</b> 041068 (
<b>Size of property (frontage / depth / sq. ft. or acres):</b> 180' on Lee, 858.5' Mag, 90' 4th / 90'to180' /3.1 Acres	
<b>Zoning District:</b> MDR	<b>Current Land Use:</b> Parking Lots
<b>Surrounding Zoning Districts:</b>	<b>Surrounding Land Use:</b>
North - <u>MU</u> East - <u>MU</u> South - <u>MDR</u> West - <u>MDR</u>	North - <u>Residential and Vacant (former hospital site)</u> East - <u>Residential and Worship</u> South - <u>Residential</u> West - <u>Residential</u>

### PLANNED UNIT DEVELOPMENT INFORMATION

#### Percentage of Land Use by Type

	Residential	Commercial/ Institutional	Industrial	Open Space	Other	Total
# of Acres	1.43	0	0	1.67	0	3.10
% of Total	46.1%	0	0	53.9%	0	100%

#### Residential Density

Type of Unit	Number of Units	Net Acres	Net Density
Single Family Home			
Town Home	36	1.43 Acres(62,220Sft)	27.97
Apartments			
Other			
<b>Total</b>			

Net Acres - Land development for land use type not including right-of-way  
 Net Density - Number of Units/Net Acres

**VARIANCES FROM ORDINANCE(S)**

**THIS IS A REQUIRED SECTION. FAILURE TO FILL OUT MAY INDICATE THAT THE PROPERTY CAN BE DEVELOPED UNDER CURRENT ZONING DISTRICT STANDARDS.**

**Please list and justify the request variance(s) from the Land Development Code (attach additional pages if necessary):**

Section 54.306 (B)&(C) to allow larger than quadplex multi family units -- Because of the shape of the lots and access from all streets: Lee, Magnetic, and 4th, it allows better layout and reduced direct access points, especially to Magnetic and 4th Streets.

Section 54.308 (D) Reduction of Front and Rear Lot Setbacks -- Magnetic has an 80' ROW and more green boulevard, a reduction to 10' would make the location of the homes closer to that of a typical city street ROW, and our proposed 6-plexes which have internal parking.

Allowing a 10' raduction provides better layout allowing more internal green space. The Piqua Street ROW also provides additional separation to the homes to the South.

**See cover letter for more information.**

**REVISIONS TO PUD**

**Please list the proposed revisions to your approved PUD (attach additional pages if necessary):**

Since the concept application, the number of units has been reduced from 40 to 36, and access from Pique Street has been removed from the plan.

Minor layout modifications may be necessary as the plan moves forward and we work with the City of Merquette Planning/Zoning/Engineering Departments.

**SIGNATURE**

I hereby certify the following:

1. I am the legal owner of the property for which this application is being submitted.
2. I desire to apply for the Planned Unit Development Permit indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
3. The requested Planned Unit Development would not violate any deed restrictions attached the property involved in the request.
4. I have read the attached Planned Unit Development section of the Land Development Code and understand the necessary requirements that must be completed.
5. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.
6. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full. Once my application is deemed complete, I will be assigned a date for a public hearing before the Planning Commission that may not necessarily be the next scheduled meeting due to notification requirements and Planning Commission Bylaws.
7. I acknowledge that this form is not in itself a Planned Unit Development but only an application for a Planned Unit Development and is valid only with procurement of applicable approvals.
8. I authorize City Staff and the Planning Commission members to inspect the site.

Property Owner Signature: \_\_\_\_\_

*Robert E. Mahoney*

Date: 4/22/25

Applicant Signature: \_\_\_\_\_

*B. M. J. O.*

Date: 4/22/05

**PRINT**

**CITY OF MARQUETTE  
SITE PLAN REVIEW APPLICATION**



**CITY STAFF USE**

Parcel ID #: 0410681 *inc in 01-PUD-03-25* File #: 05-SPR-06-25  
Receipt/Inv #: \_\_\_\_\_ Check #: \_\_\_\_\_ Received by and date: \_\_\_\_\_  
Site Plan Sheet Set (PC Review - 6 copies/Admin Review – 3 copies) Submitted:  Y  N Digital Copy  Y  N  
If applicable - Hearing Date: 6-3 Notice Date: 5-16 Application complete (checklist, etc):  Y  N  
Does the site plan meet the required items: Y / N

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED, THE SITE PLAN REVIEW REQUEST WILL NOT BE SCHEDULED FOR A HEARING UNTIL IT HAS BEEN VERIFIED THAT ALL OF THE INFORMATION REQUIRED IS PRESENT AT THE TIME OF THE APPLICATION - NO EXCEPTIONS!**

**Businesses may need to be made accessible to the public and employees per the Americans with Disabilities Act and State Construction Code.**

**FEE SCHEDULE (We can only accept Cash or Check (written to the City of Marquette))**

<p>Commercial, Industrial, Residential with 3 or more units, and Final PUD Site Plan (includes zoning compliance fee)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Sketch Plan \$975</li> <li><input type="checkbox"/> Preliminary SPR \$1,930</li> <li><input type="checkbox"/> Administrative Review (CDRT review) \$2,120</li> <li><input type="checkbox"/> Administrative Review (Non-CDRT review) \$1,110</li> <li><input type="checkbox"/> Planning Commission Review \$2,420</li> </ul> <p>Revised Site Plan (Developer Initiated)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Administrative Review (CDRT) \$1,595</li> <li><input type="checkbox"/> Administrative Review (Non-CDRT review) \$1,080</li> <li><input type="checkbox"/> Planning Commission Review \$1,845</li> </ul>	<p>Site Condominium</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Site Condominium Review \$2,095</li> <li><input type="checkbox"/> Revised (Developer Initiated) \$1,015</li> </ul> <p>Plats/Subdivision</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Preliminary \$2,095</li> <li><input type="checkbox"/> Final \$2,095</li> <li><input type="checkbox"/> Revised (Developer Initiated) \$1,015</li> </ul>
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Site Plan Review fee is included in the Special Land Use Permit or Planned Unit Development application fees

**If you have any questions, please call 228-0425 or e-mail [alanders@marquettemi.gov](mailto:alanders@marquettemi.gov). Please refer to [www.marquettemi.gov](http://www.marquettemi.gov) to find the following information:**

Planning Commission page for filing deadline and meeting schedule  
Excerpts from the City Land Development Code

- Section 54.1402 Site Plan Review (this is attached to the application).
- Section 54.1401 Zoning Permits and Zoning Compliance Review.
- If you are applying for a Site Condominium/Plat/Subdivision, please review Article 5.

**STORMWATER**

**Will you be managing stormwater and applying for a stormwater utility fee reduction?**  Yes  No  
If yes, please refer to the Stormwater Utility Fee Reduction Application on the City website at [www.marquettemi.gov](http://www.marquettemi.gov) under the Engineering applications. Storm Water is Managed no request for reduction

## PRE-APPLICATION CONFERENCE

It is strongly encouraged that all applicants and their representatives meet with City of Marquette staff prior to submitting an application for a Site Plan Review. A pre-application meeting with staff allows for a preliminary review of the application procedures, project timelines, compliance with the City Master Plan, and other project criteria, and prevents most situations that usually results in a project being postponed.

## APPLICANT CONTACT INFORMATION

### PROPERTY OWNER

Name Veridia Group  
Address 857 W. Washington Street  
City, State, Zip Marquette, MI 49855  
Phone # 906-228-3900  
Email rmahaney@verideagroup.com

### APPLICANT/OWNER'S REPRESENTATIVE

Name Brian Savolainen, PE(Wickwire)  
Address 3224 US-41W #240  
City, State, Zip Marquette, MI 49855  
Phone # 906-250-5729  
Email bsavo2000@yahoo.com

### ARCHITECT

Name Integrated Architecture  
Address 840 Ottawa Ave NW  
City, State, Zip Grand Rapids, MI 49503  
Phone # 616-574-0220  
Email Scott@intarch.com

### ENGINEER

Name Same as Representative  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Phone # \_\_\_\_\_  
Email \_\_\_\_\_

### SURVEYOR

Name Stacey Bluse, TriMedia  
Address 830 W. Washington  
City, State, Zip Marquette, MI 49855  
Phone # 906-228-5225  
Email sbluse@trimediaee.com

## PROPERTY INFORMATION

Property Address: <u>Magnetic Street</u>	Property Identification Number: <u>0410680</u>
Size of property (frontage / depth / sq. ft. or acres): <u>3.1 Acres</u>	
Zoning District: <u>MDR to PUD</u>	Current Land Use: <u>Parking</u>
Surrounding Zoning Districts: North - <u>Mixed</u> East - <u>Mixed</u> South - <u>MDR</u> West - <u>MDR</u>	Surrounding Land Use: North - <u>Residential &amp; former Hospital</u> East - <u>Residential and Worship</u> South - <u>Residential</u> West - <u>Residential</u>

## DESCRIPTION OF PROJECT

**Proposed use(s):** PUD for Single Family Townhomes

**Proposed structures (including stairs) and dimensions, building style, and materials:**  
See Plans

**Proposed site improvements:**  
See Plans

**Proposed phases and timelines for work:**  
See Narrative in PUD Application

**Ultimate ownership:** Condo Association

## SIGNATURE

I hereby certify the following:

1. I desire to apply for a site plan review indicated in this application with the attachments and the information contained herein is true and accurate to the best of my knowledge.
2. The request would not violate any deed restrictions attached the property involved in the request.
3. I have read the attached Site Plan Review section of the Land Development Code and understand the necessary requirements that must be completed.
4. I understand that the payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the plan.
5. I acknowledge that this application is not considered filed and complete until all of the required information has been submitted and all required fees have been paid in full.
6. I acknowledge that no work can commence until the review process has been completed (includes clearing and earthwork).

Applicant Signature: Brian Matthew Savolainen Date: 4/24/25

1. I am the legal owner of the property for which this application is being submitted.
2. I authorize City Staff and the Planning Commission members to inspect the site.
3. If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf.

Property Owner Signature: Robert E. Mahaney Date: 4/24/25

Project Name: Venidea PUO File #: 05-SPR-06-25

Parcel #: 0410681

**PLEASE VERIFY THAT YOU HAVE ADDRESSED ALL THE ITEMS ON THIS LIST IN YOUR SITE PLAN. IF THERE IS NOTHING SHOWN ON THE SITE PLAN PLEASE INCLUDE A STATEMENT AS TO WHY IT HAS NOT BEEN SHOWN, OR MARK IT "NOT APPLICABLE". FAILURE TO ADDRESS THESE ITEMS WILL DELAY APPROVAL. SITE PLAN REVIEW WILL NOT BE SCHEDULED UNTIL COMPLETE PLANS ARE SUBMITTED.**

Site Plan Information Required in the Site Plan Set (See Figure 52 in LDC)	APPLICANT	
	Location in site plan	
<b>Identification of Project</b>		
1. The applicant's name.	Cover	
2. Name of the development.	Cover	
3. The preparer's name and professional seal of architect, engineer, or landscape architect indicating license in the State of Michigan.	Cover	
4. Small scale location sketch of sufficient size and scale. (SKETCH PLAN ONLY)	Cover	
5. A survey of the property, sealed by a surveyor licensed in the State of Michigan.	C-0.1	
6. Date of preparation and any revisions.	Cover	
7. North arrow.	All Site	
8. Complete and current legal description and size of property in acres.	Sht 21&22	
<b>Existing Features</b>		
9. Property lines and dimensions drawn to scale.	All Survey Site	
10. Zoning and current land use of applicant's property and all abutting properties and of properties across any public or private street from the site.	C-0	
11. Lot lines and all structures on the property and within 100 feet of the site's property lines.	C-0	
12. Locations of all significant natural features – streams, wetlands and floodplains (see <a href="#">Section 54.805</a> ), steep slopes (see <a href="#">Section 54.806</a> ).	None	
13. Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>	NA	
14. Any existing private or public easements	NA	
15. Location of any access points on both sides of the street within 100 feet of the site along streets where access to the site is proposed.	C-0	
16. Locations of existing utilities.	C-03.1&2	
17. Existing topography at a minimum of two (2) foot contour intervals.	C-0	
	Location in site plan	N/A attach reason
<b>Proposed Construction</b>		
18. Building footprints, setbacks, and elevations showing height for all proposed structures with the acreage allotted to each use. See <a href="#">Article 3</a> , <a href="#">Article 4</a> , and <a href="#">Article 7</a> .	AS Drawings	
19. Floor area and ground coverage ratios. See <a href="#">Article 3</a> and <a href="#">Article 4</a> .	Site & A drawings	
20. Schematic storm water management plan, including elements stated below for Final Site Plan requirements, as needed to show intended compliance with the requirements of the Land Development Code. (Preliminary Site Plan submittal only)	C03.1&2	
21. Proposed topography with a site grading plan with topography at a maximum of two (2) foot contour intervals.	C-02.1&2	

	APPLICANT	
	Location in site plan	N/A attach reason
22. Boundary of any Riparian Overlay Districts, per <a href="#">Section 54.320(E)</a> . Applicable where streams and/or steep slopes, wetlands, and surface water bodies may be impacted by proposed development. Location of steep slopes (>12 percent), per <a href="#">Section 54.806</a>	none	
23. Location and method of screening for all waste dumpsters. See <a href="#">Section 54.1003(F)</a> .	No Dumpsters	
24. Location and dimensions of parking spaces. See <a href="#">Article 9</a> .	Site Plans	
25. General landscaping design concept acceptable to the Zoning Administrator. (SKETCH PLAN ONLY)	C-04.1&2	
26. A landscaping plan indicating proposed plant locations with common plant name, number, and size at installation. Berms, retaining walls or fences shall be shown with elevations from the surrounding average grade. See <a href="#">Article 10</a>	C-04.1&2	
27. Details of exterior lighting including locations, height, and method of shielding. See <a href="#">Section 54.802</a> .	TBD	
28. The location of all permanent or temporary signs, existing or proposed, including their area, size, height, illumination, and the type of construction. See <a href="#">Article 11</a> .	To Be Determined	
29. Locations of utility services (with sizes) and storm water management elements, including, storm drainage, retention or detention ponds and/or swales, rain gardens, riparian buffer vegetative strips, per <a href="#">Section 54.803</a> . Any proposed public or private easements.	C-03.1&2	
30. Fire hydrant number and placement or other water supply, and standpipe connection type; Fire dept. connection location; Alarm panel location; Fire dept. access details.	New at Each Drive C-03.1&2	
31. If the application is related to property scheduled for phased development, the proposed layout for the total projected development shall be indicated, and the projected scope and time period shall be estimated for each additional phase. The phasing plan must be acceptable to the City staff to ensure that each phase can function independently and is not reliant on future phases if they are not constructed.	In Narrative	
<b>Site Circulation Details and Access Design</b>		
32. General site circulation and access including: indication of street right-of-way and pavement widths; access points; and location of pedestrian paths. See <a href="#">Section 54.907</a> . (SKETCH PLAN ONLY)	Survey and Sites	
33. Street horizontal and vertical dimensions, including curve radii.	No Change	
34. Dimensions of access points including distance from adjacent driveways or intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .	Shown Dim to be Add	
35. Schematic location and names of abutting public streets and other right-of-ways, and schematic location of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Site & Survey	
36. Schematic of access points, including from adjacent driveways on intersecting streets, including those across a street. See <a href="#">Section 54.907</a> .	Sites	
37. Locations, dimensions, and names of abutting public streets and other right-of-ways, and of proposed streets/roads, driveways, parking areas, pedestrian and bicycle paths.	Survey	
38. Pavement widths and pavement types for all streets/roads, pedestrian and bicycle paths.	D-1	
39. Written verification of access easements or agreements, if applicable.	NA	
<b>Additional Information</b>		
40. Any other information necessary to establish compliance with this and other ordinances.	NA	

	APPLICANT	
	Location in site plan	N/A attach reason
<b>Voluntary Information/Considerations – callouts/notes and narrative would be appreciated</b>		
41. Infrastructure for Electric Vehicle (EV) charging stations (wiring, conduit, etc.)	NA	
42. Incorporation of green infrastructure elements such as a bioswale/rain garden (see Fig 41), pervious pavers, vegetative/green roof, living retaining wall, French drains.	C-Plans	
43. Public art elements such as sculpture, murals, interactive installations.	NA	
44. Affordable housing (including of explanation of how affordability is calculated).	NA	
45. Encourage colorful cladding materials (black, white, grey materials should be limited to <50 percent of total exterior cladding and trim colors).	See Arch Sheets	
46. Inclusion of bicycle parking facilities (racks, shelters, lockers, etc.) not required by the LDC.	NA	

ENGINEERING DEPT	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
Please refer to the Engineering Department General Guidelines and Standards for Street and Utility Design: <a href="https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev-5-4-16.pdf">https://www.marquettemi.gov/wp-content/uploads/2019/03/Design-and-Construction-Standards-Rev-5-4-16.pdf</a>			
Will you be managing stormwater and applying for a stormwater utility fee reduction? ___ Yes <input checked="" type="checkbox"/> No If yes, please refer to the Stormwater Utility Fee Reduction Application: <a href="https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf">https://www.marquettemi.gov/wp-content/uploads/2019/03/Fillable-Stormwater-Utility-Fee-Reduction-Application.pdf</a>			
47. Include under general statements: "All utility construction work to be accepted by the City of Marquette into their utility system and all work done in public rights-of-way or easement must be done in accordance with Michigan Department of Transportation and City of Marquette standards and specifications"	Will be added to Permit Set		
48. Curb cut, water, sanitary sewer, storm sewer permits, etc. required? (obtain prior to construction activities)	Will Require Contractor		
49. Vehicle maneuvering lane size	Moving Van, Trash, Plow		
50. Pavement width/type	Shown		
51. Vegetated buffer or curbing between street and sidewalk and between sidewalk parking areas	Yes		
52. Storm sewer ≥12" diameter, in right-of-way, shall be reinforced concrete	None in ROW		
53. Sumps in catch basins?	Yes		
54. Plans to be stamped, dated and signed by a professional engineer	Yes		
55. Is the downstream storm sewer capacity adequate?	Reduced from Current so yes		
56. Verify that storm water runoff volume or velocity is not increased onto adjacent properties	Yes		
57. Does any earthwork disturb adjacent properties?	No		
58. Wetland concerns/proper permits obtained?	NA		
59. Traffic impact minimal to existing conditions (stacking, etc.)?	Same as Current better Location		

ENGINEERING DEPT CONT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
60. Vehicular and non-motorized circulation	Site		
61. Sanitary sewer inlet to outlet angles greater than or equal to 90 degrees?	Yes		
62. Is there a hydrant at the end of any proposed dead end water main?	Yes		
63. Size and material type of proposed and existing utilities shown?	Yes		
64. Street horizontal and vertical dimensions, radii	No Street Improvements		
65. Width and materials for non-motorized paths	None		
66. Dimension of access points including distance from adjacent driveways or intersecting streets	Shown dims to be added		
67. Profiles will be shown for all utilities to be accepted by the City of Marquette into their utility system. All grades, pipe sizes, pipe materials, inverts and rim elevations will be shown on the profiles (water mains must have a minimum of 6 feet of cover, sanitary sewer mains must be installed under water mains with 1.5 feet of clearance	Will be added to final site		

PUBLIC WORKS DEPT.	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
68. Delineate & dimension all public or private easements	We will be providing for Neighbor		
69. Show public utility main locations & sizes within 100 feet of property boundary	C-03		
70. Extension or re-routing of public utility systems required	No		
71. Capacity and condition concerns of existing utility lines to serve the project	None		
72. Abandonment of existing utility lines associated with the project	None		
73. Location of existing and proposed utility services (with sizes), including storm water to be shown	C-0 & 3		
74. Utility metering requirements of the project	In building		
75. Backflow and cross connection requirements applicable to the project including any proposed irrigation systems	TBD		
76. Sanitary waste pretreatment requirements	Meet County Bldg		
77. Adequate snow storage provided on the property, without clear vision or utility obstructions	Yes		
78. Provisions to collect drainage from snow storage areas collected on property	Green Areas		
79. Access to public property (permits required for any work on ROW) (Drive, sidewalk, and trail connections)	Will Apply for		
80. Additions or changes to public signing or traffic control required or recommended	None		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
<b>PUBLIC WORKS DEPT. CONT.</b>			
81. Additions to existing public sidewalks, or plowed routes, required or recommended	none		
82. Impact of project on public snow removal/storage	none		
83. Effect on plowing or ice control priorities	none		
84. New signing, overhangs, access ramps, grade changes, retaining walls, fences, etc. to be constructed in City ROW or easements	None		
85. Adequate, proper, and accessible on-site waste storage	Individual	Pick up	
86. Adequate clearances and clear vision maintained for maintenance and sanitation equipment	Yes		
87. Removal, trimming, or planting of public trees required	None		
88. Maintenance-friendly design for any portions of the project to become public property	None		
89. Storage of hazardous materials associated with the project near public utilities	None		
90. Blasting near public utilities associated with the project	None		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
<b>FIRE DEPARTMENT DEPT.</b>			
91. Buildings meet NFPA standards/NFPA Life Safety Code 101/ BOCA National Property Maintenance Code	Will be		
92. Proper water supply for fire suppression including fire hydrants and water mains	No Change		
93. Safe outlets for flushing fire hydrants	No Change		
94. Easements to test hydrants	None		
95. Water supply meets NFPA standards	Will be		
96. Fire Apparatus Access	Architect will coordinate with Fire		
97. Surface Construction	See Plans		
98. Ability to support fire trucks	Yes		
99. Fire truck angle of approach	All sides		
100. Outside turning radius	For Semi		
101. Grade of drive or road ok	Reduced from Existing 3%		
102. Overhead clearance adequate	Yes		
103. Driveways and access roads meet NFPA standards	No Change		

	APPLICANT		DEPARTMENT
	Location in site plan	N/A attach reason	Approved / Waived
<b>POLICE DEPARTMENT DEPT.</b>			
104. Cross reference with accident data at nearest intersection(s)	No Change		

# Applicant's Narrative

## ***Townhomes PUD (Step 3 – Submittal of Preliminary Plan)***

The Veridea Group recently submitted an application for the Development of a PUD at the former Marquette General Hospital (MGH) properties located South of Magnetic Street between Lee Avenue and Fourth Street. The three properties are identified by Marquette Property ID Number 0410680 and have no specific property address. The properties are currently parking lots formerly utilized for parking at MGH and have no use in their current condition.

The Parcels are located in the Medium Density Residential (MDR) zoning district. Veridea and its consultants have been developing a concept plan to best meet the current zoning and restore the area to a residential neighborhood with a mixture of Townhomes that best utilize the current layout of the properties. The Townhomes are designed with multi-car garages to limit the need for large parking areas and allow for increased green space. The plan reduces the storm water runoff to the city system, and the installation of additional storm water utilizing underground storage beneath some of the green spaces will further reduce the flow to the City system.

The City Planning Commission held a public hearing on the PUD concept plan on March 18. The concept plan was approved and this application represents the next step of the PUD process. The attached Preliminary Plan set with some additional proposed Town Home details has been developed.

Note that following the meeting and hearing comments from the public, Planning Commissioners and other miscellaneous concerns, the number of units has been reduced to 36 and vehicular access to Piqua Street has been eliminated.

This submittal has been prepared in accordance with the requirements of *Section 54.1402*, including but not limited to the following graphic and written representations of the project at a scale not to be smaller than one (1) inch equals one hundred (100) feet unless approved by the City:

- **All project plans are at a scale of less than or equal to 1"=100'**

A boundary survey of the PUD boundaries being requested completed by a licensed land surveyor. Page 7 of 28

- **Portions of the Completed Alta Legal Survey Sealed by a licensed land surveyor are included in the preliminary plan set.**

The location of nonresidential buildings and parking areas, estimated floor areas, building coverage, and number of stories and heights for each structure.

# Applicant's Narrative

- **There are no proposed non-residential buildings.**

The location of residential unit types and densities, and lot parcel or land units by frontages and areas.

- **Sheet AS-101 includes this information.**

The location of all wetlands, water and watercourses, and proposed water detention areas.

- **There are no Wetlands or watercourses on the site. Proposed storm underground storm water retention areas are shown on the site plans.**

The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership thereof.

- **Several Open Space (Green Spaces) areas are provided throughout the site and are shown on the Architectural and site plans. These areas will be owned by a future homeowners association.**

A schematic landscape treatment plan for open space areas, streets, and border/transition areas to adjoining properties.

- **A conceptual Landscape Plan is included in the plan set.**

A preliminary grading plan, indicating the extent of grading and delineating any areas that are not to be graded or disturbed.

- **A preliminary grading plan including spot grades and proposed contours is included. Some decorative retaining wall features may also be added to this plan and the landscape plan in final site design.**

An indication of the contemplated water distribution, storm, and sanitary sewer plan.

- **Our Engineer has met with the City Engineer and Public Works director and has developed a concept plan including single master meters for a private water system for each of the three Parcels, a private sanitary sewer system, including relocation of a neighboring sanitary lateral that will include an easement through the site to its current outlet on Magnetic Street. A storm water system is also proposed with underground storage chambers to reduce storm water runoff to the City System.**

A written statement explaining in detail the full intent of the applicant, indicating the type of dwelling units or uses contemplated and resultant population, floor area, parking, and supporting documentation, including the intended schedule of development.

## Applicant's Narrative

- **Veridea Group is requesting a PUD for the vacant parking lots on the south side of Magnetic Street between Lee Street and Presque Isle Avenue, as depicted in the application documents. The intention of the PUD is to develop up to 36 attached townhomes in a variety of sizes and floor plans. It is expected that, when fully developed, the resultant population will be between 50-100 people. As depicted in the floor plans included in the PUD application, the floor area of the total development is expected to be approximately 55,392 square feet, with a total of 142 parking spaces. Development is expected to begin with three units built starting in the early fall of 2025 and will progress from East to West on Block 10 of the development map. Development of Blocks 11 and 9 will follow the development of Block 10 and the timeline will be determined based on market conditions and demand. Assuming favorable market conditions, the entire development is estimated for completion by the spring of 2029.**

-  
The proposed phasing of the project, tentative development timetables, and future ownership intentions. Each phase of the project should be capable of standing alone.

- **The townhomes will be sold as part of a condominium and are expected to be owner-occupied. Phase 1 will begin in the fall of 2025 and will encompass three units. Depending on market conditions, the next section of construction would be planned to follow in the spring of 2026 and will consist of six units. Future phasing will be driven by market demand and is likely to include 6 units per year.**

-  
Minimum of two (2) site sections, showing major building relationships and building site features.

- **Several Site section drawings are included in the plan set. WE have also added Sections on Sheet C-05.1 which depict the Proposed Grade through the site, Sheet AS-102 on has also update sections which resemble the landscaping features being proposed, Sheet A-501 also includes the building heights and has added the proposed Pavilion.**

Detailed design guidelines, drawings, and / or pattern book, which depict the design character of the project; the architectural details of proposed buildings; details on various site elements such as lights, furniture, landscaping, signage; and such other information deemed appropriate by the Planning Commission.

## Applicant's Narrative

- **Several Renderings are included in the drawing set, lighting details are still in process and will be designed for low intensity to remain on the site and meet the City current ordinance for lighting. These details will be provided in the site plan final review process. Renderings have been updated to better resemble the site landscaping.**

Performance Guarantee. The City Commission and/or Planning Commission can require the applicant to submit a performance guarantee, escrow funds, or other such performance-based guarantees to the City as a condition of PUD approval pursuant to *Section 54.1402(H)*. The amount of the performance guarantee shall be recommended to the Planning Commission by the City Attorney after discussion with the applicant, City Engineering Department, and other involved parties.

- **The Veridea group is willing to discuss performance guarantees with the City of Marquette.**

**These are additional write-ups added upon the request of the City initial review of previously submitted documents.**

- **Section PUD (H)(1)(K) – We have Added Notation to the Landscape Plan sheets C-04.1 and C-04.2 indicating that all of the Green Area and Buffer Yard Landscape areas will be permanently preserved, and the Condominium Association will be responsible to provide annual maintenance of these areas and provide re-planting as necessary.**
- **On Sheet C-04.1 we have also added notation that the large green space including the proposed Pavilion will be permanently preserved area for the entire Condominium Association.**
- **Section 54.323(H(1))**
  - **(b) We have completed a full topographic survey of the 3 PUD sites and provided 1' contours for the working areas and have also added the neighborhood 2' contour map to Sheet C-0.**
  - **(c) Our topo survey picked up the boundary street trees on all four perimeter streets and those trees are shown in the basemap. No water, wetlands, floodplains, steep slopes or unbuildable areas are located on these sites.**
  - **(d) The proposed land use will be multi-family residential.**
  - **(e) Parcel and lot lines are shown on Sheet C-0 and the legal survey sheet S-1. Land uses are noted on C-0, access points are shown on and dimensioned on C-01 and all zoning parcels within 100' have been added to sheet C-0.**

## Applicant's Narrative

- (f) Vehicle Circulation is a 24' wide maneuvering lane between buildings and parking and a detail is included on sheet D-1. Note there are no proposed public or private streets included in the new development areas.
- (g) Transition treatments are included on the Landscape Plan Sheets C-04.1 and C-04.2 and setbacks and Land Uses are identified on C-0
- Exterior Mechanical Equipment, yet to be fully determined, will be located on the roofs and will be screened by the building parapet walls. Additional screening may be added as required by City planning review of final architectural plans.
- Handling waste for 36 units: Roadside collection will be used to collect waste. A local disposal company will be hired by the Condo Association and pick up will be at the rear of the buildings individually at the Garages. Note that none of the garages are viewable from the street so individual cans will be contained within the sites view only.

Respectfully Submitted,

Brian M. Savolainen, PE



**CITY OF MARQUETTE  
POLICE DEPARTMENT  
300 W. BARAGA AVE.  
MARQUETTE, MI 49855  
(906) 228-0400  
[www.marquettemi.gov](http://www.marquettemi.gov)**

## **MEMORANDUM**

**TO:** Planning Commission  
**FROM:** James Finkbeiner, Road Patrol Captain  
**DATE:** May 14, 2025  
**SUBJECT:** Review of 05-SPR-06-25 with 01-PUD-0325

**Parcel ID's # 0410681  
300 Block of West Magnetic Street  
Veridea Group, Inc, LLC**

I have reviewed the plans and have no comments at this time.

Captain James Finkbeiner  
Road Patrol Captain  
Marquette City Police Department





CITY OF MARQUETTE  
PLANNING AND ZONING  
1100 WRIGHT STREET  
MARQUETTE, MI 49855  
(906) 228-0425  
www.marquettemi.gov

## **MEMORANDUM**

**TO:** Andrea Landers, Zoning Official  
**FROM:** Brian Savolainen, PE for Wickwire  
**DATE:** May 20, 2025  
**SUBJECT:** Preliminary Site Plan Review – 01-PUD-03-25 – W. Magnetic St  
(Portion of PIN: 0410681)

After reviewing the site plan set, zoning staff have the following comments:

### **General Comments**

1. Missing – Location of access points across from Lee Street.  
**Plans will be revised to show additional dimensioning.**
2. Missing – Distance from adjacent driveways including those across Lee Street.  
**Plans will be revised to show additional dimensioning.**
3. Snow storage has to be in a landscaped area per Section 54.905 - “*The snow storage area may be located in a landscape area required in Article 10 or in a storm water detention or retention pond, subject to approval by the City.*” The proposed locations do not meet the code. Please revise to meet code.  
**A stormwater leaching basin near Building F will be added for storm water and snow runoff. Other snow storage areas will be relocated to the landscaped/greenspace areas.**

### **Sheet C-04.1**

1. The parking lot to the south of Building E abuts a residential zoning district to the east and to the south. Please provide how you propose to meet **Section 54.905(I)** of the LDC. You have a note that states existing fence but not what type and height of the fence.  
**Plans will be revised to show fence height and type (6’ height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.**

### **Sheet C-04.2**

1. The parking lot to the south of Building F abuts a residential zoning district to the east, west, and to the south. Please provide how you propose to meet Section **54.905(I)** of the LDC.  
**Plans will be revised to show fence height and type (6’ height solid fencing). We will review the condition of the existing fence and consider replacement to meet city requirements.**

2. For Block 9 Lee Street Frontage. Missing 1 required Ornamental tree for a total of 2. Please provide.

**Plans will be revised to add one more ornamental tree.**

3. For Block 11 interior parking lot landscaping, missing the 2 requires deciduous trees for the 419 S.F. area.

**Plans will be revised to include 2 deciduous trees in the landscaping area.**

**Site Plan Review**  
**CITY OF MARQUETTE**  
**1100 Wright Street**  
**Marquette, MI 49855**

**Date:** May 16<sup>th</sup>, 2025

**Location:** Magnetic Street between Lee Street and Fourth Street

**Submittal Documents:**

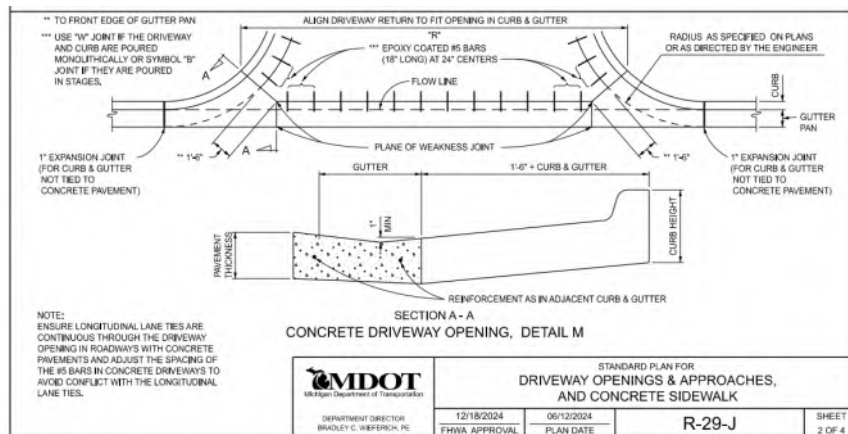
Plan Title: Veridea Group Marquette General Hospital Site Re-Development

Submitted by: Wickwire

Plans Stamped: 5/5/25

The following are **responses to the** review comments from the Engineering Department submitted for the documents identified above.

1. All driveway openings must follow MDOT Concrete Driveway Opening, Detail M. **Plans will be revised to include the standard detail.**



2. Sidewalks must be carried through the driveways and maintain ADA compliant cross slope. **Plans will be revised to concrete drive approaches with integrated sidewalk.**
3. Please include City of Marquette Standard Utility Details in the plan set. **Plans will be revised to include all 3 utility details.**
4. Please include a note that all existing water and storm sewer service abandonments shall be made as directed by the City Engineer. **Plans will be revised to include “ALL EXISTING WATER AND STORM SEWER SERVICE ABANDONMENTS SHALL BE MADE AS DIRECTED BY THE CITY ENGINEER”.**

Respectfully Submitted,  
WICKWIRE, PC



CITY OF MARQUETTE  
Fire Department  
418 S. Third St.  
MARQUETTE, MI 49855  
(906) 225-8941  
[jfossitt@marquettemi.gov](mailto:jfossitt@marquettemi.gov)



## MEMORANDUM

TO: Andrea Landers  
FROM: Jeff Fossitt  
DATE: 04-28-25  
SUBJECT: 05-SPR-06-25 and 01-PUD-03-25  
Parcel Numbers: 0410681  
Magnetic Street

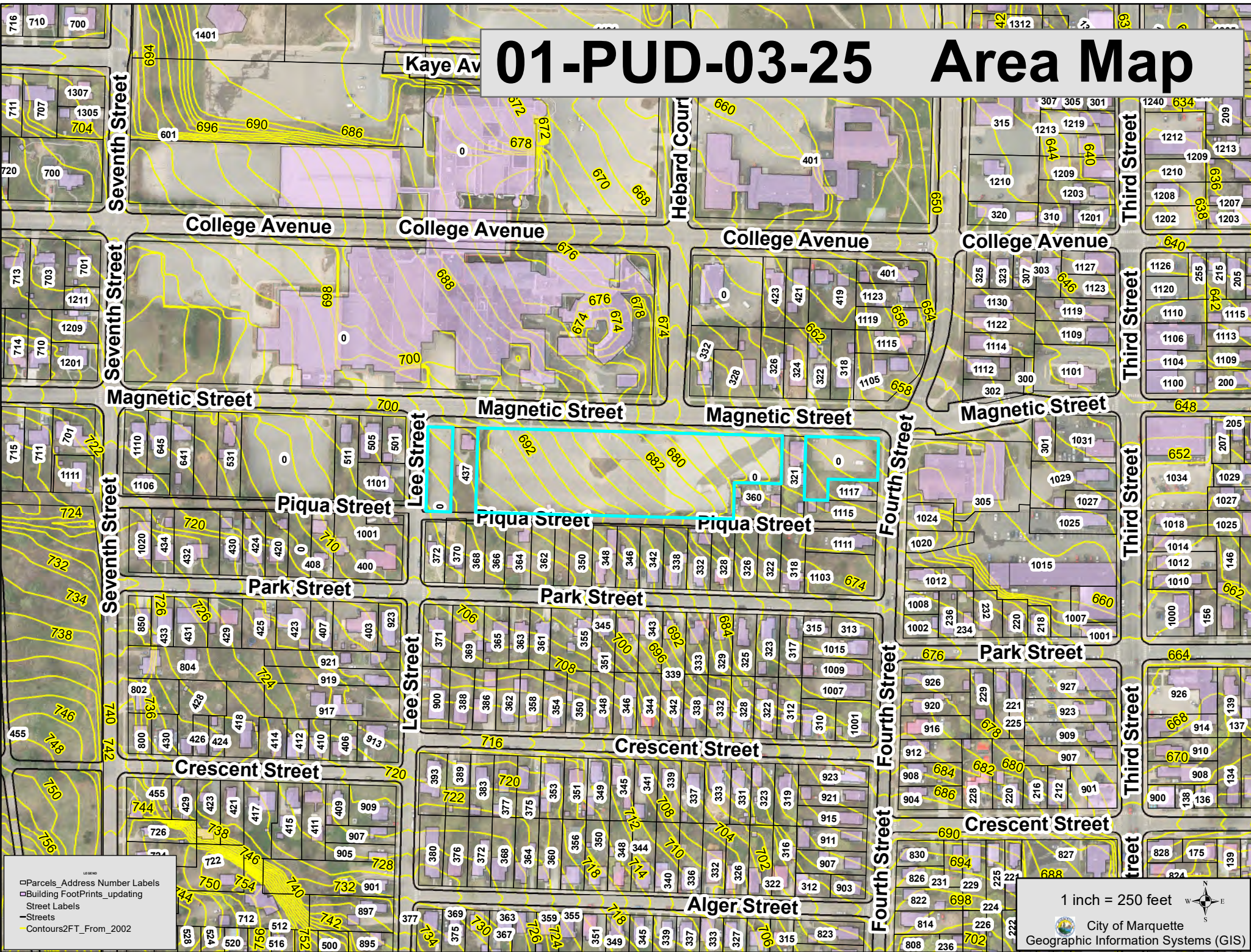
### FIRE DEPARTMENT COMMENTS:

- Will the buildings be equipped with a fire alarm system?  
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire alarms are not required. Smoke alarms will be provided, as required.
- Will the buildings be equipped with sprinkler systems?  
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, fire sprinkler systems are not required.
- Will a Knox Box be provided?  
IA RESPONSE: No. Townhouse buildings and their dwelling units will be constructed referencing the 2015 Michigan Residential Code. Referencing this Code, Knox Boxes are not required.

Jeff Fossitt  
Fire Marshal  
Marquette Fire Department




# 01-PUD-03-25 Area Map



**LEGEND**

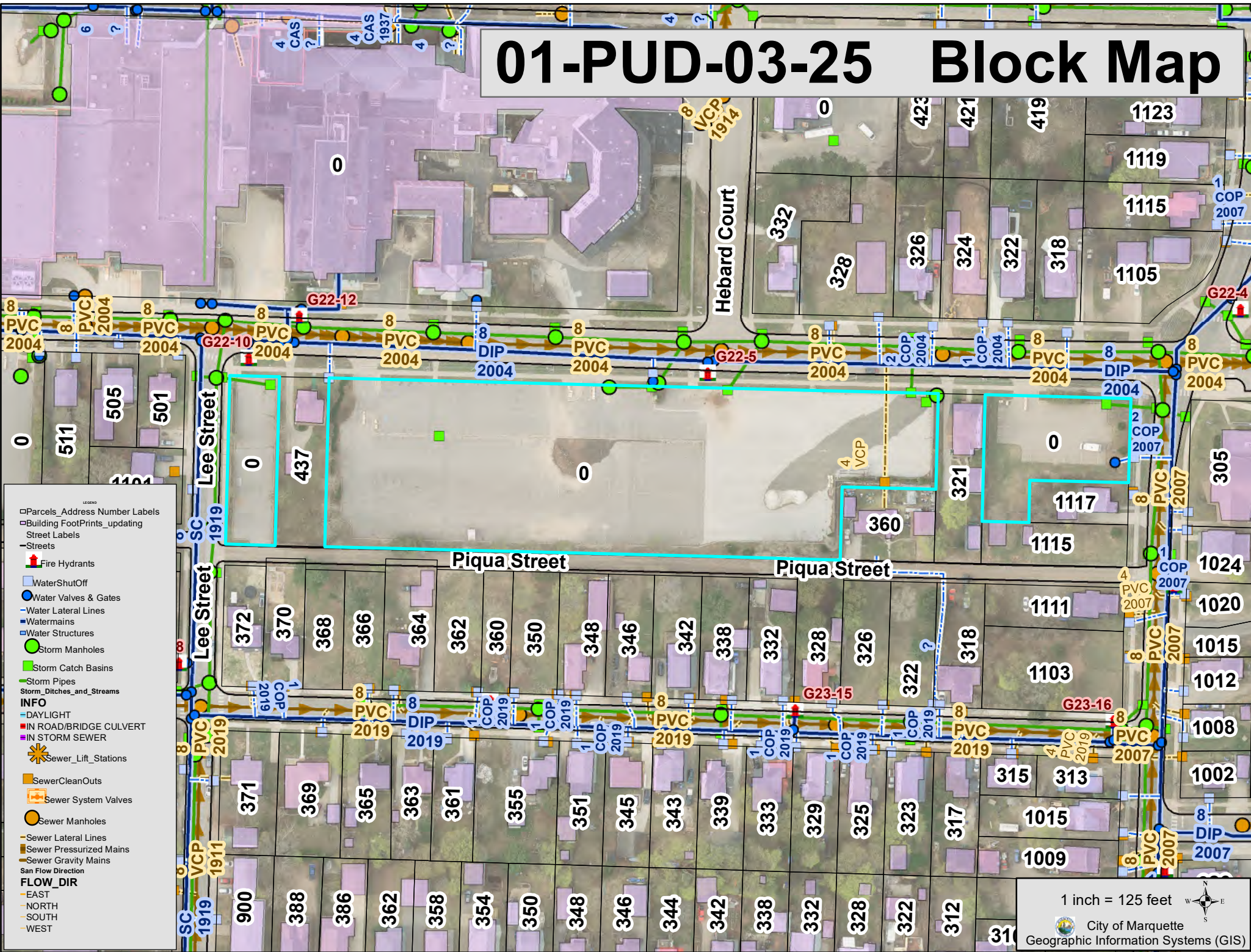
- Parcels\_Address Number Labels
- Building FootPrints\_updating
- Street Labels
- Streets
- Contours2FT\_From\_2002

1 inch = 250 feet



City of Marquette  
Geographic Information Systems (GIS)

# 01-PUD-03-25 Block Map



- LEGEND**
- Parcels\_Address Number Labels
  - Building FootPrints\_updating
  - Street Labels
  - Streets
  - 🔥 Fire Hydrants
  - ⏸ Water ShutOff
  - ⦿ Water Valves & Gates
  - Water Lateral Lines
  - Watermains
  - Water Structures
  - ⦿ Storm Manholes
  - 🟩 Storm Catch Basins
  - Storm Pipes
  - Storm Ditches\_and Streams
- INFO**
- DAYLIGHT
  - IN ROAD/BRIDGE CULVERT
  - IN STORM SEWER
  - ☀ Sewer Lift Stations
  - 🚚 Sewer CleanOuts
  - ⚙ Sewer System Valves
  - ⦿ Sewer Manholes
  - Sewer Lateral Lines
  - Sewer Pressurized Mains
  - Sewer Gravity Mains
- San Flow Direction**
- FLOW\_DIR**
- EAST
  - NORTH
  - SOUTH
  - WEST

1 inch = 125 feet

City of Marquette  
Geographic Information Systems (GIS)











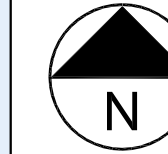
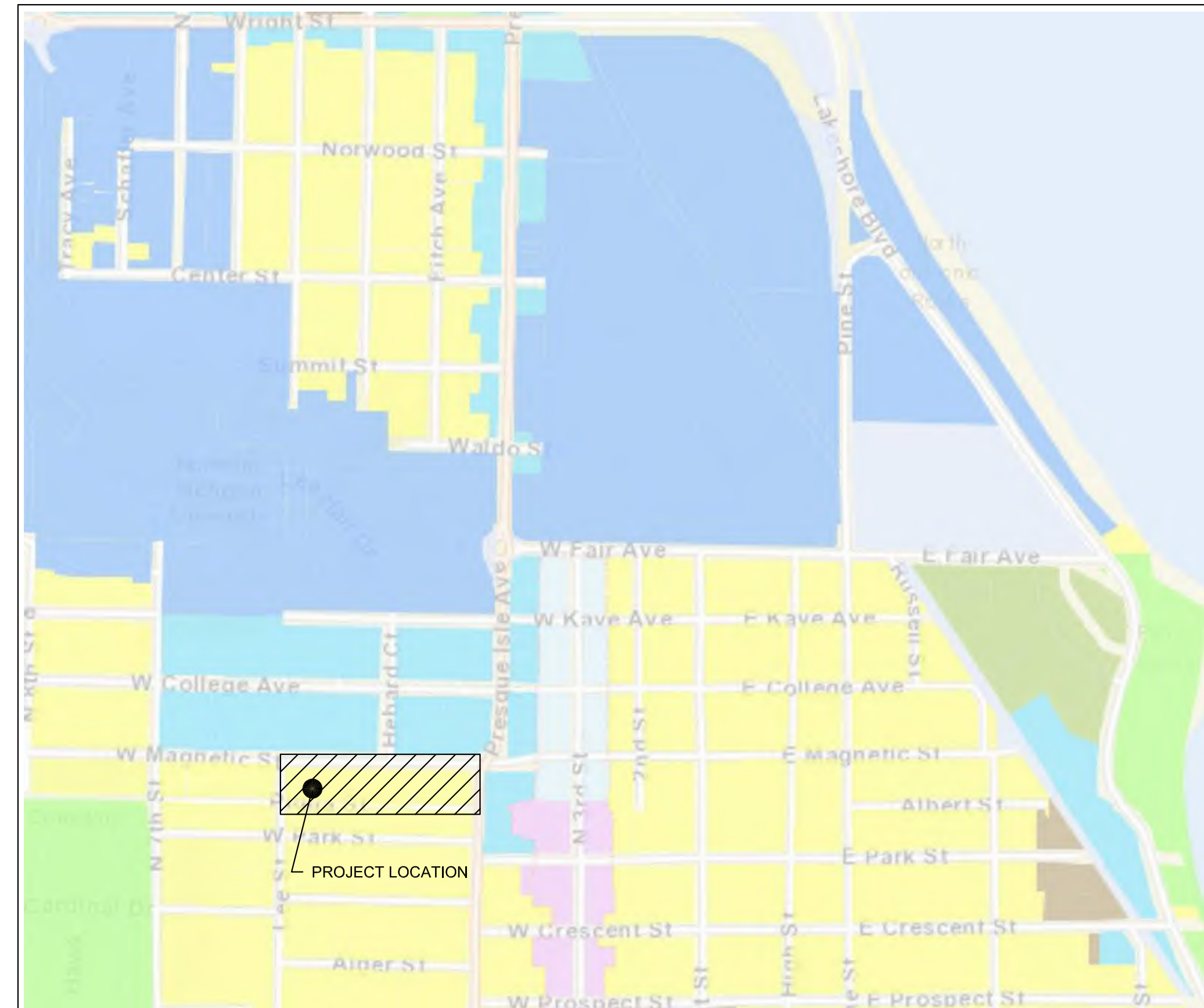
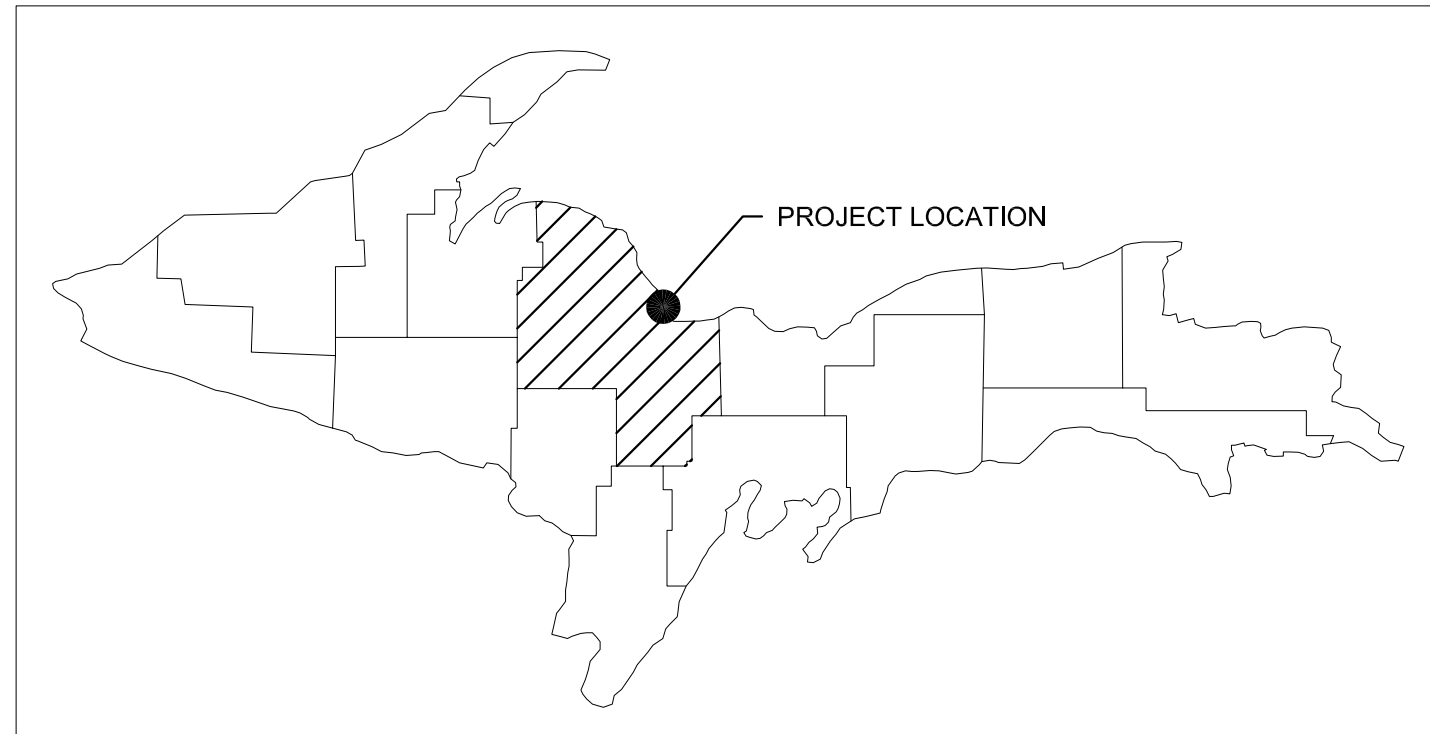




# VERIDEA GROUP

## MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT

CITY OF MARQUETTE,  
MARQUETTE, MICHIGAN  
WICKWIRE PROJECT NO.: 24042



### SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	01-G-01	COVER
2	C-0	OVERALL EXISTING SITE SURVEY
3	C-0.1	PHASE 1 REMOVAL PLAN
4	C-0.2	PHASE 2 REMOVAL PLAN
5	C-01	OVERALL SITE PLAN
6	C-01.1	PHASE 1 SITE PLAN
7	C-01.2	PHASE 2 SITE PLAN
8	C-02.1	PHASE 1 GRADING/STORM PLAN
9	C-02.2	PHASE 2 GRADING/STORM PLAN
10	C-03.1	PHASE 1 UTILITY PLAN
11	C-03.2	PHASE 2 UTILITY PLAN
12	C-04.1	PHASE 1 LANDSCAPING PLANS
13	C-04.2	PHASE 2 LANDSCAPING PLANS
14	C-05.1	PHASE 1 ELEVATION PROFILE VIEWS
15	C-05.2	PHASE 1 UTILITY PROFILE VIEWS
16	D-1	DETAILS
17	AS-101	ARCHITECTURAL SITE PLAN
18	AS-102	SITE SECTIONS
19	A-101	UNIT FLOOR PLANS
20	A-102	UNIT FLOOR PLANS
21	A-501	BUILDING ELEVATIONS
22	A-501	CONCEPT RENDERINGS   ARCHITECTURAL DETAILS
23	A-502	CONCEPT RENDERINGS   ARCHITECTURAL DETAILS
24	S-1	ALTA/NSPS LAND TITLE SURVEY
25	S-6	ALTA/NSPS LAND TITLE SURVEY


PREPARED FOR:  
OWNER  
**VERIDEA GROUP**  
857 W. WASHINGTON ST.  
SUITE 301, MARQUETTE, MI 49855

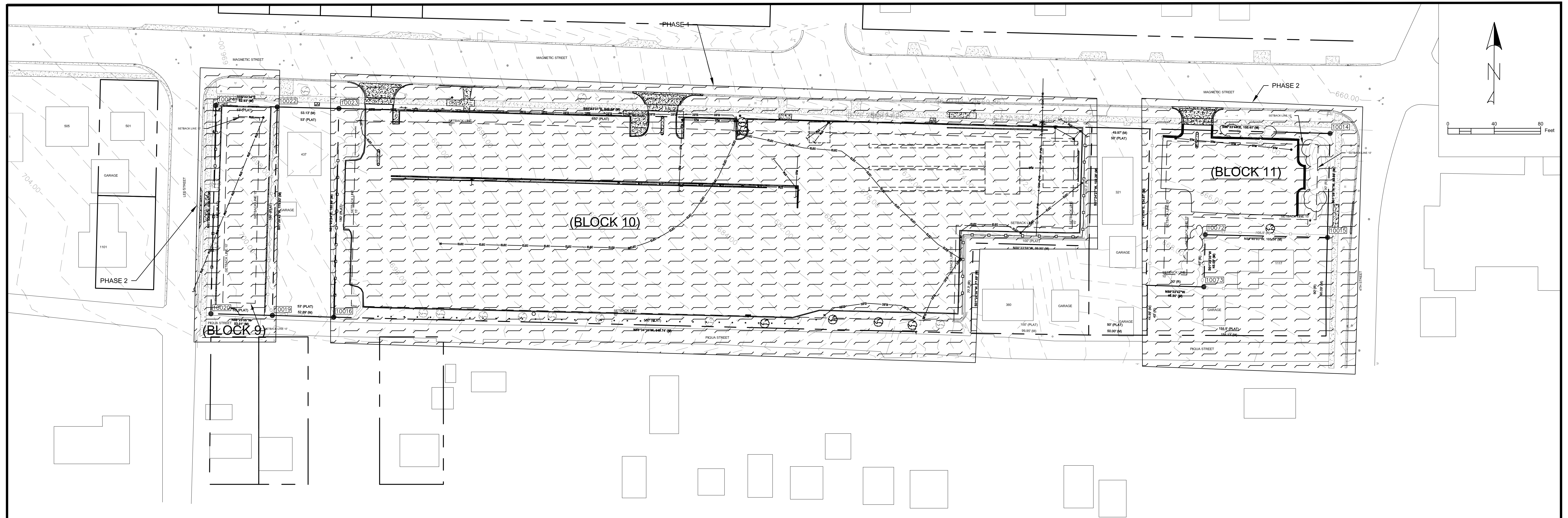
ARCHITECT & MEP ENGINEERING  
SCOTT FREDRICKS  
INTEGRATED ARCHITECTURE  
840 OTTAWA AVE NW  
GRAND RAPIDS, MI 49503  
(616) 574-0220  
SFREDRICKS@INTARCH.COM

CIVIL ENGINEER  
BRIAN SAVOLAINEN  
MI PROFESSIONAL ENGINEER NO. 6201040601  
WICKWIRE, P.C.  
715 SELDEN RD.  
IRON RIVER, MI 49935  
(906) 250-5729  
BSAVOLAINEN@WICKWIRESOLUTIONS.COM

SURVEYOR  
STACEY BLUSE  
MICHIGAN PROFESSIONAL SURVEYOR NO. 4001050429  
TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC  
830 WEST WASHINGTON STREET  
MARQUETTE, MICHIGAN 49855  
(906) 228-5125  
SBLUSE@TRIMEDIAEE.COM

PREPARED BY:  
**WICKWIRE, P.C.**  
715 SELDEN RD  
IRON RIVER, MI 49935  
906.265.9865

				DWG. NO.
				<b>01-G-01</b>
				REV
	2	5/5/25	REVIEW	<b>1</b>
	1	4/22/25	REVIEW	SHEET NO. 1



**BLOCK 9**  
 BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

**BLOCK 10**  
 BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

**BLOCK 11**  
 BEAL'S ADDITION W 19.1' OF LOT 4 & ALL OF LOTS 6 COLLEGE HEIGHTS ADDITION LOTS 61 THRU 72, LOTS 97 THRU 120, LOT 148, LOTS 150 THRU 153, LOTS 160 THRU 163, LOT 165 AND VAC LEE ST ADJ TO LOTS 61, 108 AND 109. NORMAL ADDITION LOTS 1 THRU 3, N 102.3' OF LOT

**ZONING NOTES**

REQUIRED SETBACKS:  
 FRONT: 10 FEET (PER INITIAL PUD REQUEST)  
 SIDE: 15 FEET (30 FEET MIN. TOTAL 2 SIDES)  
 BACK: 10 FEET (PER INITIAL PUD REQUEST)

SETBACKS ARE BASED ON A MAXIMUM BUILDING HEIGHT OF 36.5'.

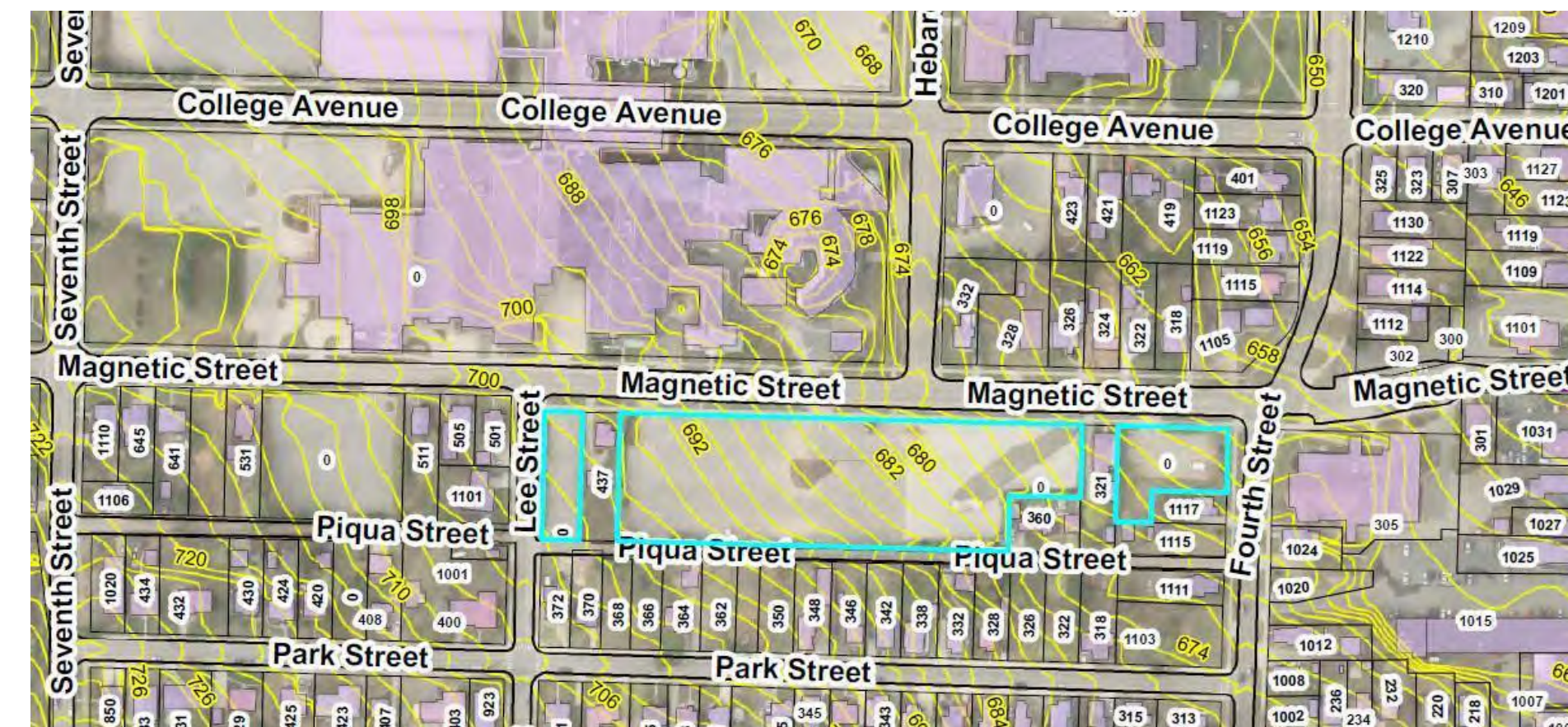
ZONING DISTRICT: PUD (PLANNED UNIT DEVELOPMENT DISTRICT)

PROPOSED USE: TOWNHOMES

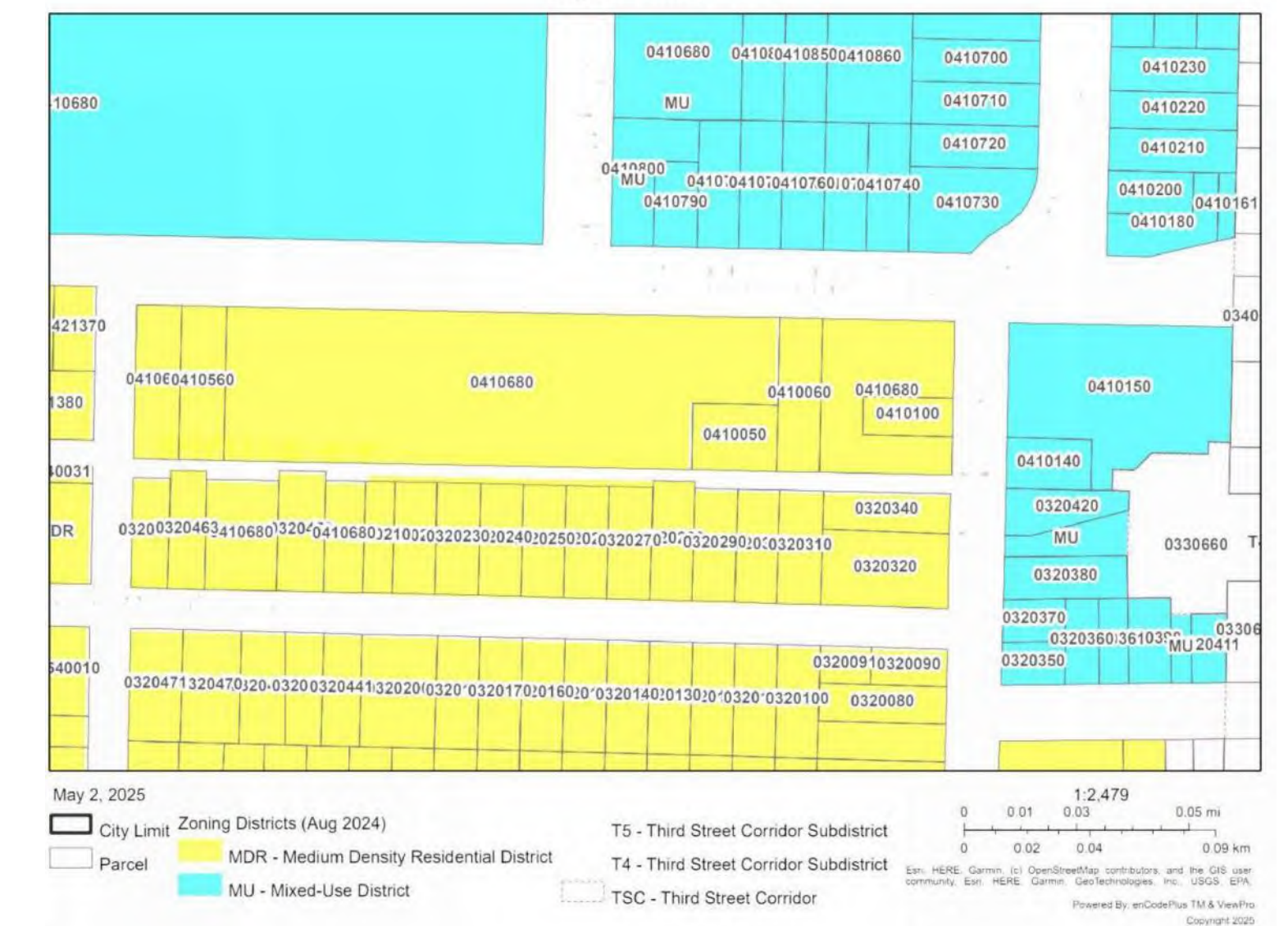
ADJACENT ZONING: NORTH: MIXED USE DISTRICT  
 EAST: MEDIUM DENSITY DISTRICT  
 WEST: MIXED USE DISTRICT  
 SOUTH: MEDIUM DENSITY DISTRICT

PARCEL SIZE: 9,525 SFT (0.22 ACRES - BLOCK 9)  
 109,173 SFT (2.51 ACRES - BLOCK 10)  
 16,221 SFT (0.37 ACRES - BLOCK 11)

CURRENT LAND USE:  
 501 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 437 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 321 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 330 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 326 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 322 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 318 MAGNETIC ST: RESIDENTIAL SINGLE FAMILY  
 1105 PRESQUE ISLE AVE: RESIDENTIAL SINGLE FAMILY  
 360 PIQUA ST: RESIDENTIAL SINGLE FAMILY  
 SOUTH OF PIQUA: RESIDENTIAL SINGLE FAMILY  
 NORTH OF MAGNETIC, WEST OF HEBARD CT: PLANNED UNIT DEVELOPMENT



City of Marquette



OVERALL EXISTING SITE SURVEY/PHASING

MARQUETTE GENERAL HOSPITAL SITE  
 RE-DEVELOPMENT



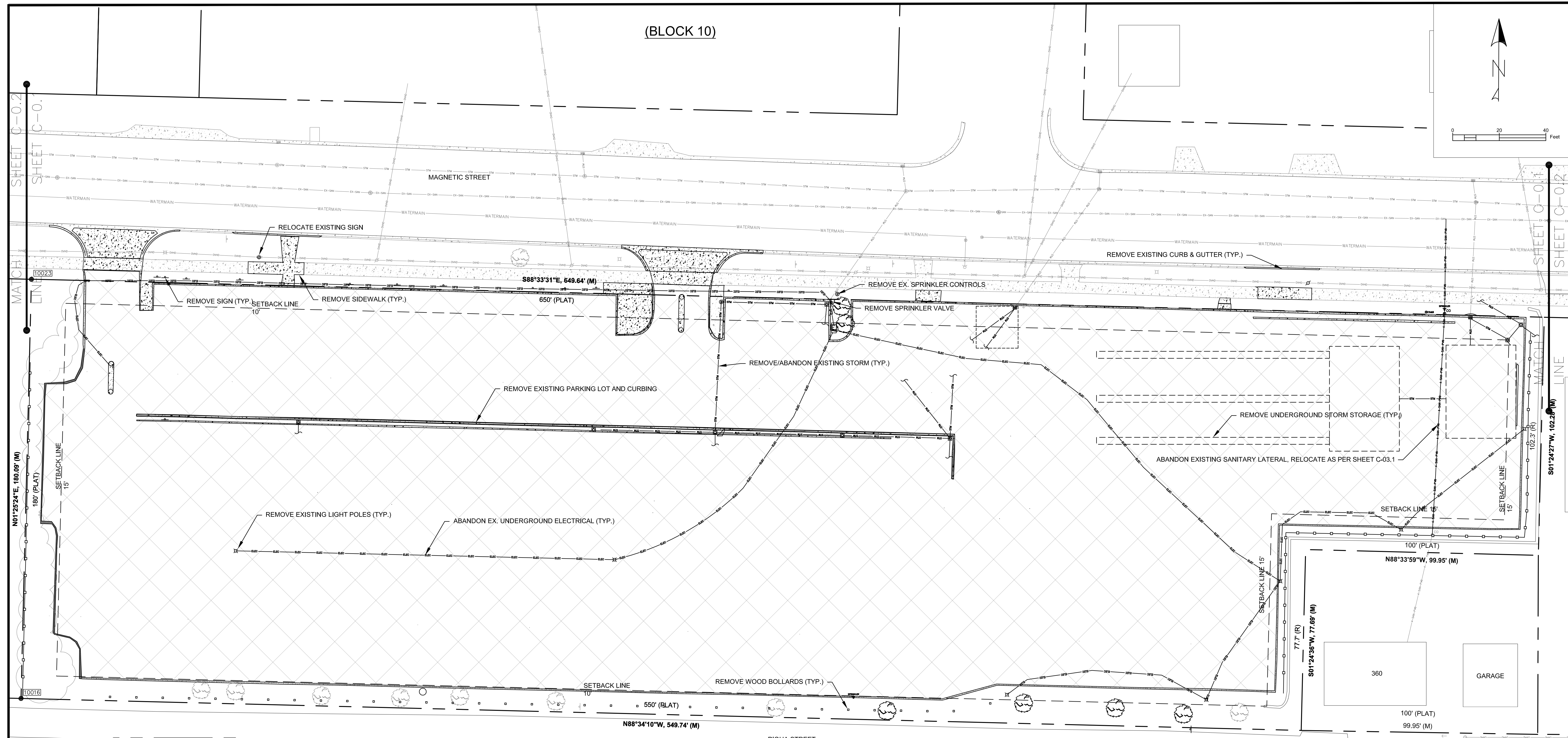
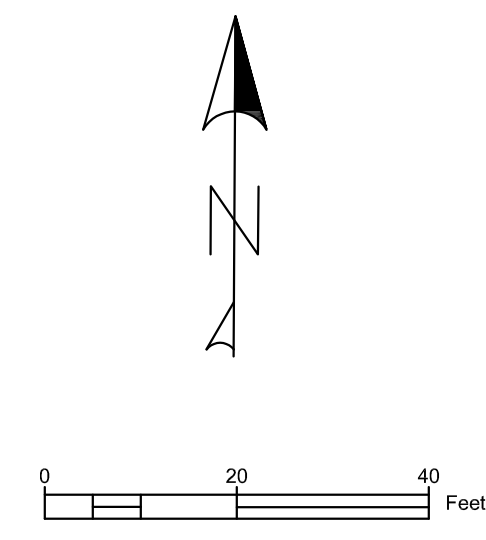
WICKWIRE, P.C.  
 715 Selden Road  
 Iron River, MI 49935  
 tel 906-265-9865  
 wickwiresolutions.com

Attention: 1" = 40' (Scale bar)  
 If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:	LBS
4/22/25	REVIEW	Checked By:	BMS
5/5/25	REVIEW	Drawn By:	LBS
		Approved By:	BMS
		PROJECT #	24042
		SHEET NO.	2
		DWG. NO.	C-0



(BLOCK 10)



PHASE 1 REMOVAL PLAN

MARQUETTE GENERAL HOSPITAL SITE  
RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

Attention: 1" = 100'  
If this scale bar does not measure 1" then drawing is not original scale.

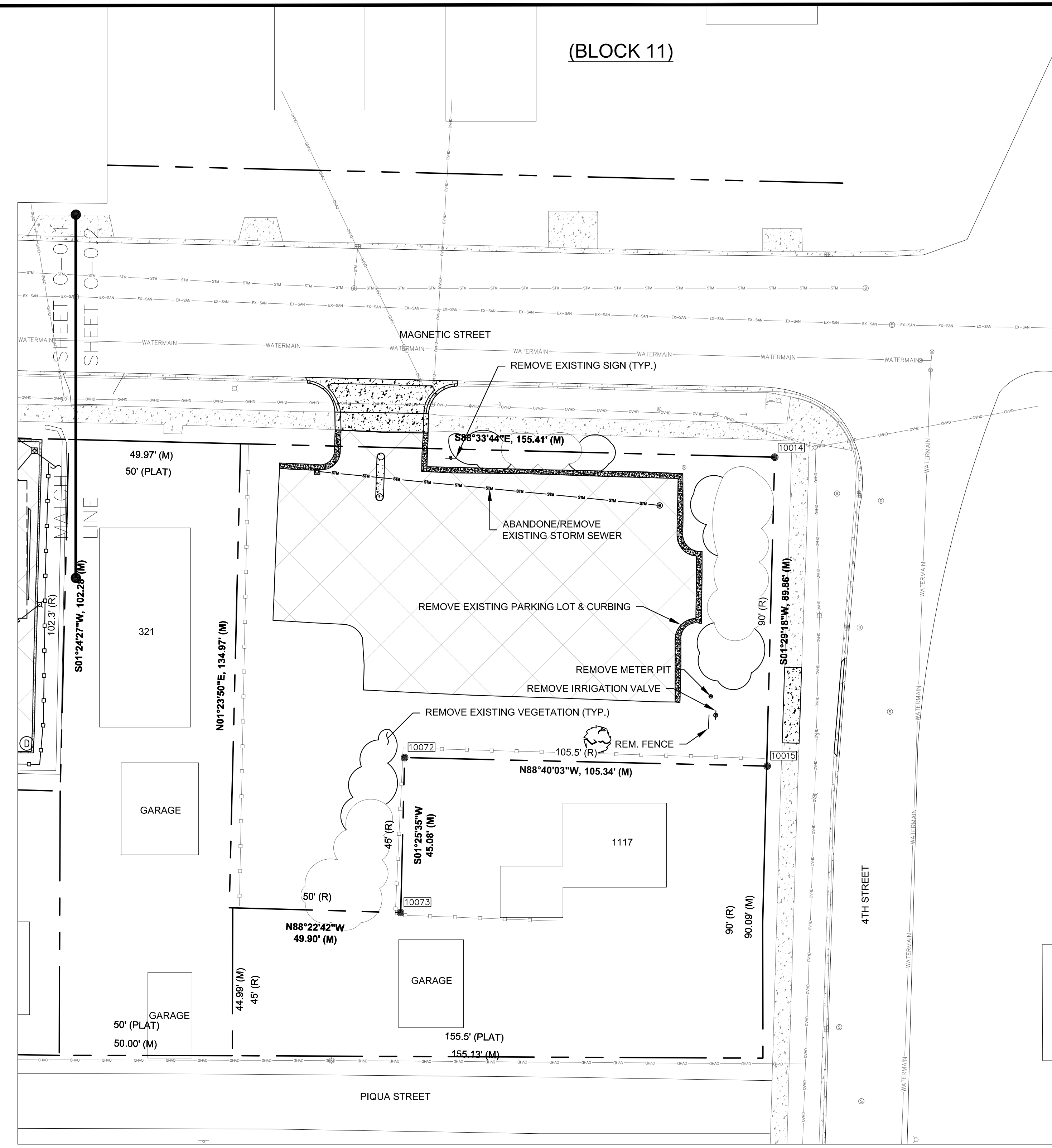
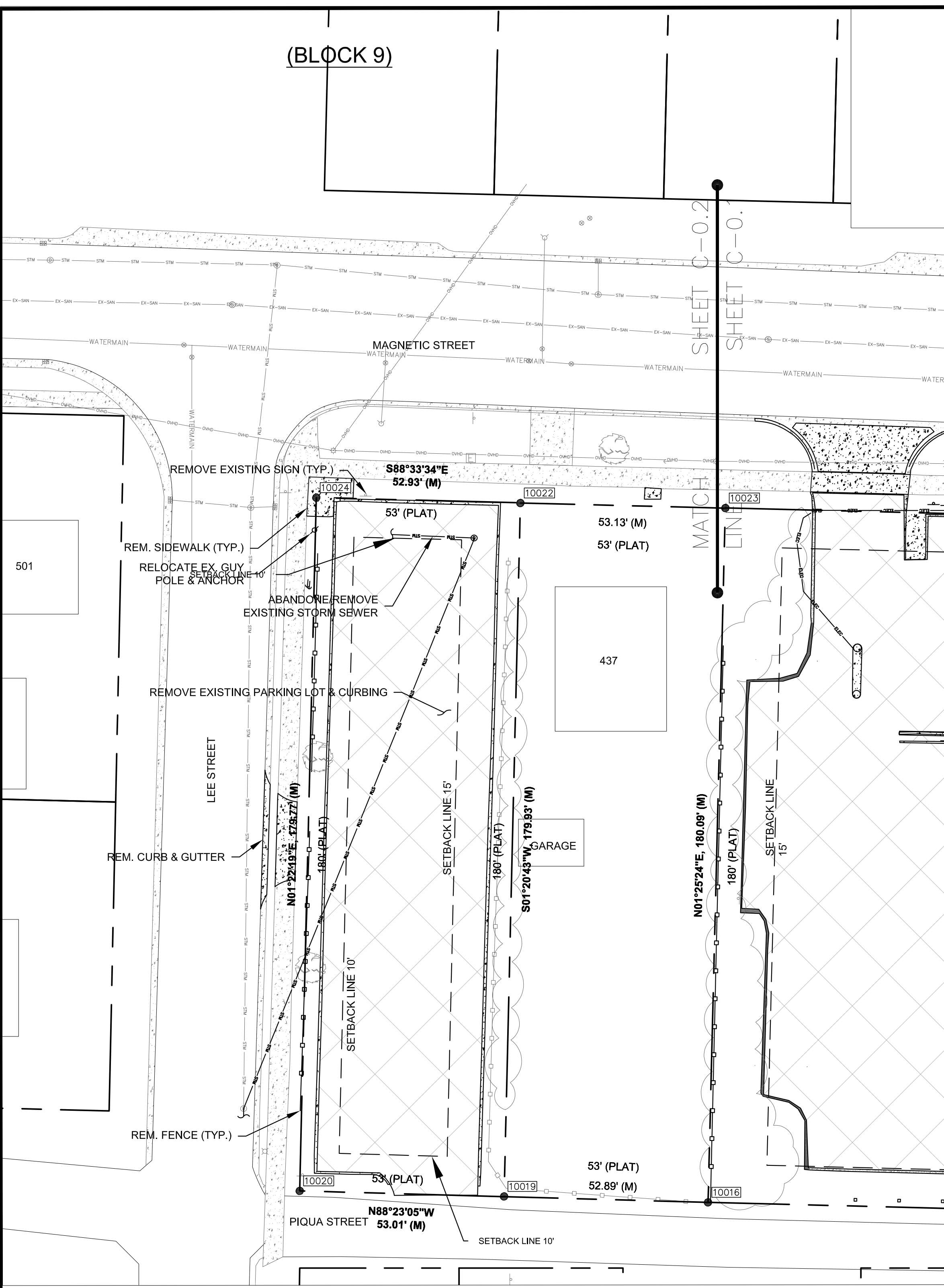
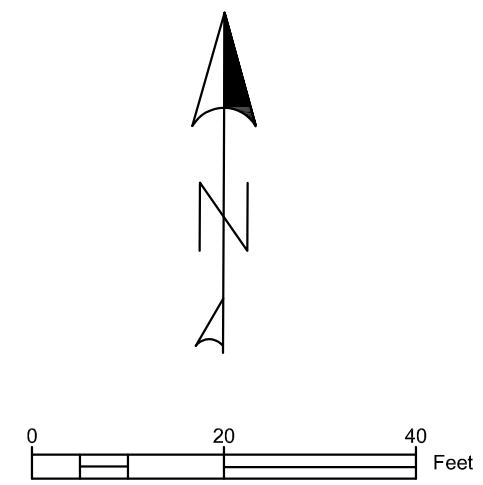
ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By: LBS  
 Checked By: BMS  
 Drawn By: LBS  
 Approved By: BMS  
 PROJECT # 24042  
 SHEET NO. 3  
 DWG. NO. C-0.1



(BLOCK 9)

(BLOCK 11)



PHASE 2 REMOVAL PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

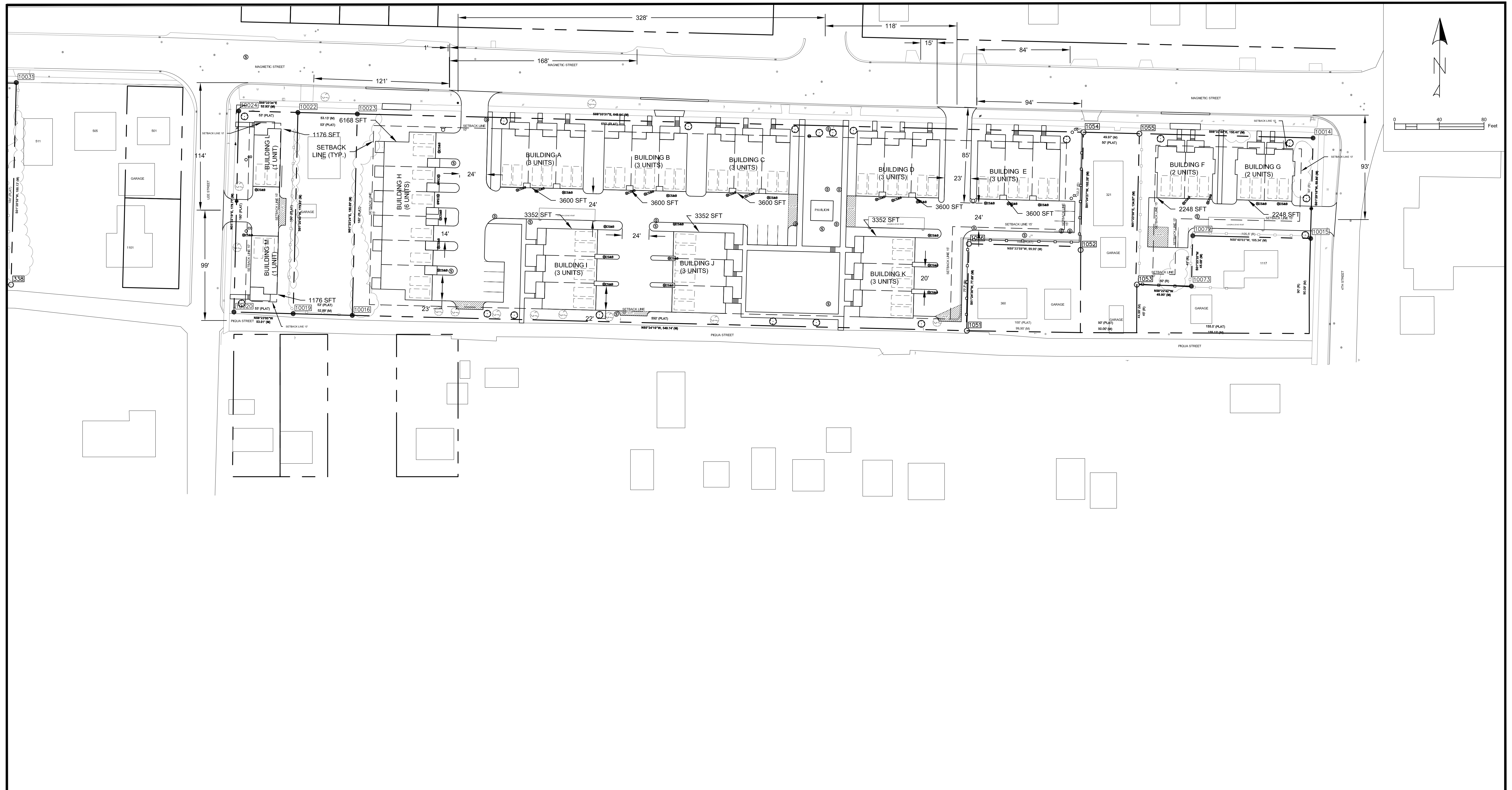
Attention: 1" = 100'  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By: LBS  
 Checked By: BMS  
 Drawn By: LBS  
 Approved By: BMS  
 PROJECT # 24042

SHEET NO. 4  
 DWG. NO. C-0.2





NOTE:  
 ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.

ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.

ALL WATER AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF WAYS OR EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.

NOTE:  
 BLOCK 9 TOTAL FLOOR AREA: 1,176+1,176 = 2,352 SFT  
 GROUND COVER RATIO: 2,352 / 9,525 = 24.7%

BLOCK 10 TOTAL FLOOR AREA: 6168+3352+3352+3352+3600+3600+3600+3600 = 30,624 SFT  
 GROUND COVER RATIO: 30,624 / 109,173 = 28.1%

BLOCK 11 TOTAL FLOOR AREA: 2248+2248 = 4,496 SFT  
 GROUND COVER RATIO: 4,496 / 16,221 = 27.7%



OVERALL SITE PLAN

MARQUETTE GENERAL HOSPITAL SITE  
 RE-DEVELOPMENT



WICKWIRE, P.C.  
 715 Selden Road  
 Iron River, MI 49935  
 tel 906-265-9865  
 wickwiresolutions.com

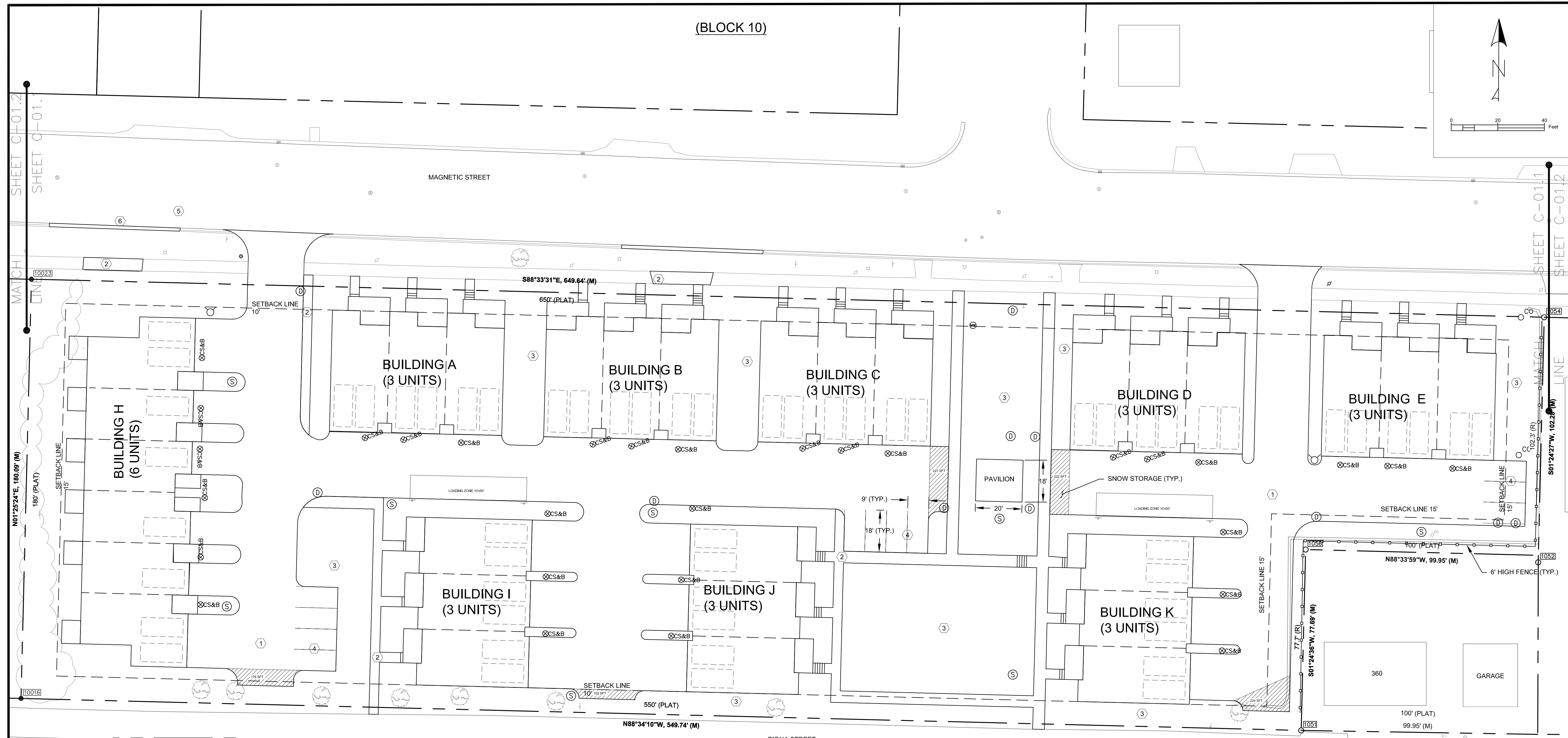
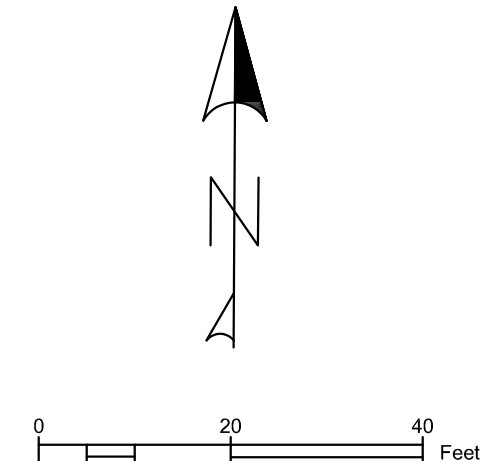
Attention: 1" = 1' = 120 Feet  
 If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By:	LBS
Checked By:	BMS
Drawn By:	LBS
Approved By:	BMS
PROJECT #	24042
SHEET NO.	5
DWG. NO.	C-01



(BLOCK 10)



**PARKING CALC'S REQUIRED:**  
 6-UNIT BUILDING: 2 SPACES PER UNIT = 12 SPACES EACH  
 3-UNIT BUILDINGS: 1.5 SPACES PER UNIT = 5 SPACES EACH  
 PARKING MAXIMUM: 52 (TOTAL) x 20% = +10 SPACES

**ACTUAL:**  
 6-UNIT BUILDING: 8 (GARAGE) + 4 (SPACES) = 12 SPACES  
 3-UNIT BUILDING (8X): 5 (GARAGE) = 48 SPACES

**SNOW STORAGE CALC'S REQUIRED:**   
 10% OF PARKING STALL AREA: 48 \* (9' \* 18') \* 10% = 777.6 SFT

**ACTUAL:**  
 178 + 102 + 227 + 222 + 224 = 953 SFT

KEYNOTES

- Contractor shall construct the roads and parking with a min. 12" Subbase (3" minus), 8" Aggregate Base and 3 1/2" HMA Surface
- Contractor shall provide 4" concrete sidewalk and monolithic sidewalk (when adjacent to parking lot) with a curb height 6".
- Contractor shall provide 4" topsoil and seeding for all landscape areas and disturbed areas.
- Contractor shall provide 4" yellow pavement marking stalls (Typ.)
- Contractor shall remove and replace roadway inkind in disturbed area. Maintain access during water and sewer construction.
- Contractor shall match existing and adjacent curb.

NOTE: SEE ARCHITECTURAL PLANS FOR BUILDING DESIGN.



PHASE 1 SITE PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT

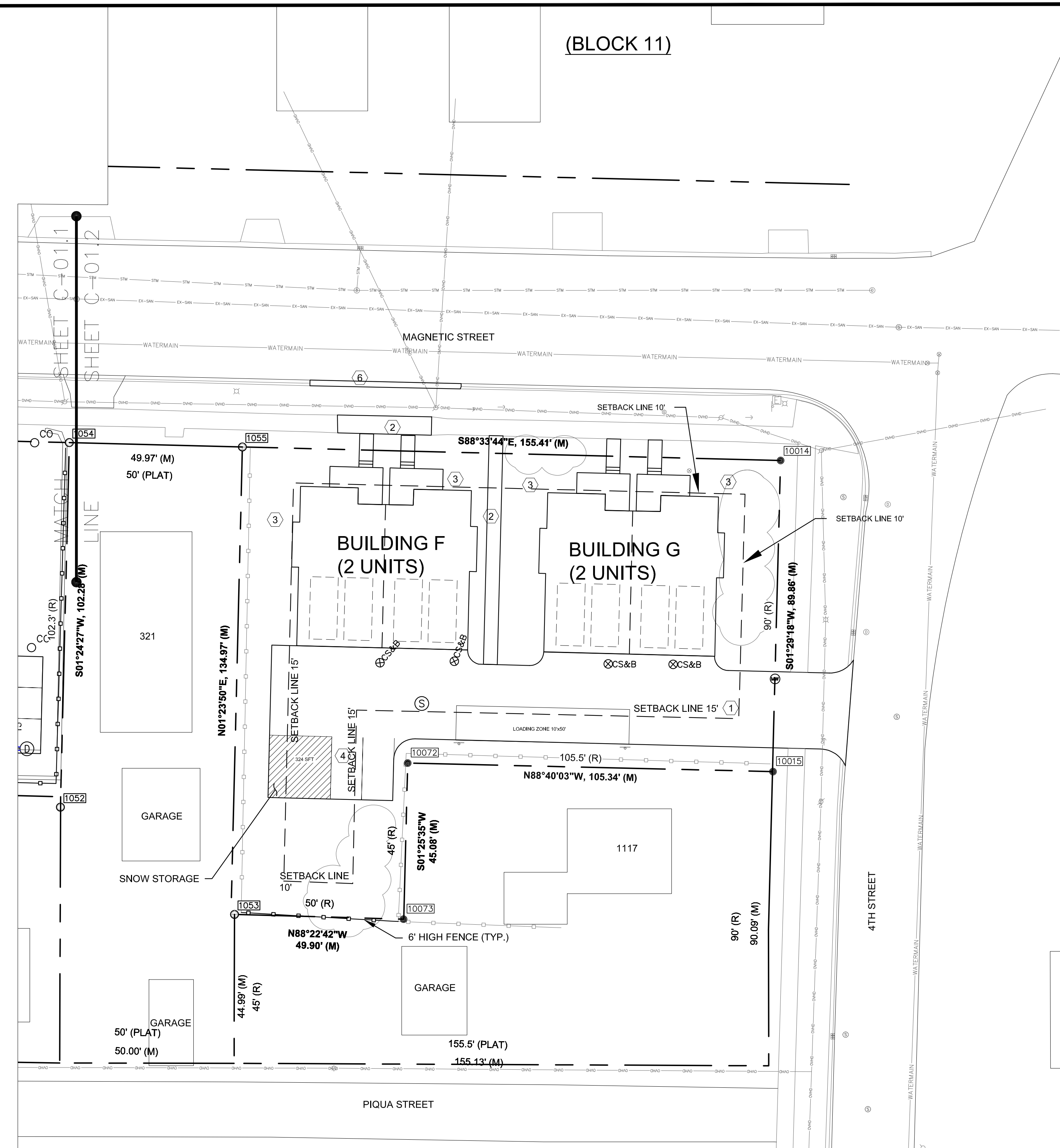
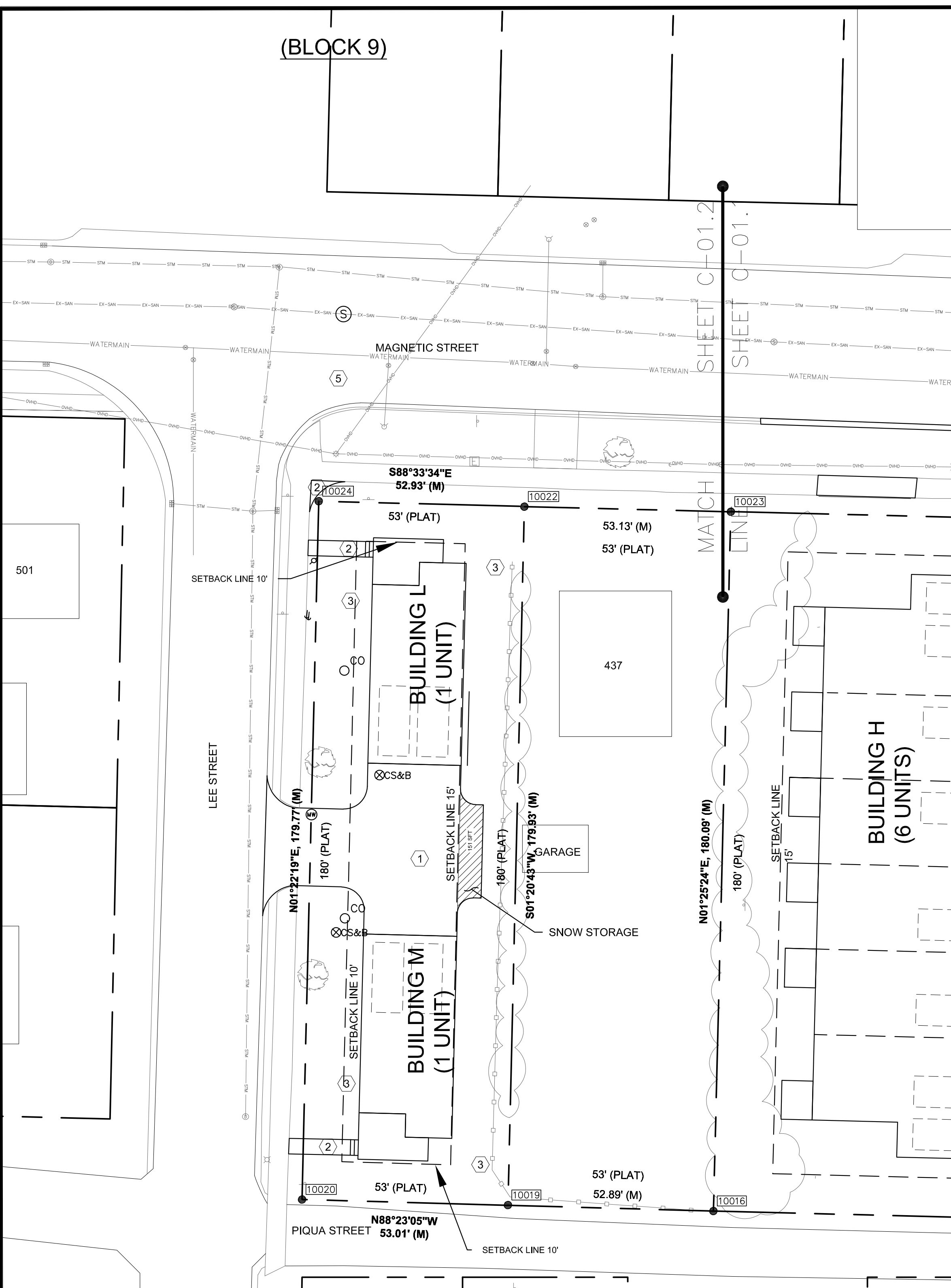
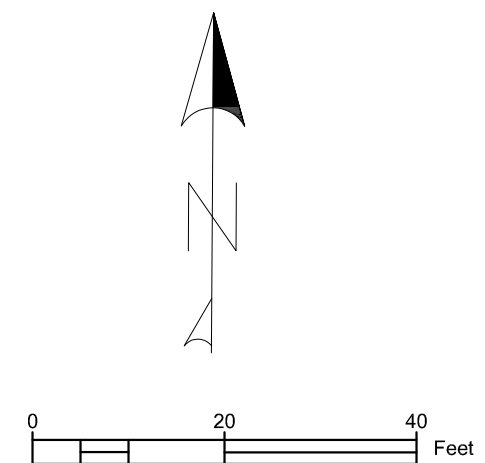


Attention: 1" If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		LBS
		BMS
		PROJECT # 24042
		SHEET NO. 6
		DWG. NO. C-01.1

(BLOCK 9)

(BLOCK 11)



KEYNOTES

PARKING CALC'S REQUIRED: 1-UNIT BUILDING: 2 SPACES PER UNIT = 2 SPACES EACH... SNOW STORAGE CALC'S REQUIRED: BLOCK 9: 10% OF PARKING STALL AREA: 4 (9\*18)\*10% = 64.8 SFT...

- 1. Contractor shall construct the roads and parking with a min. 12" Subbase (3"minus), 8" Aggregate Base and 3 1/2" HMA Surface... 6. Contractor shall match existing and adjacent curb.



PHASE 2 SITE PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



WICKWIRE, P.C. 715 Selden Road Iron River, MI 49935 tel 906-265-9865 wickwiresolutions.com

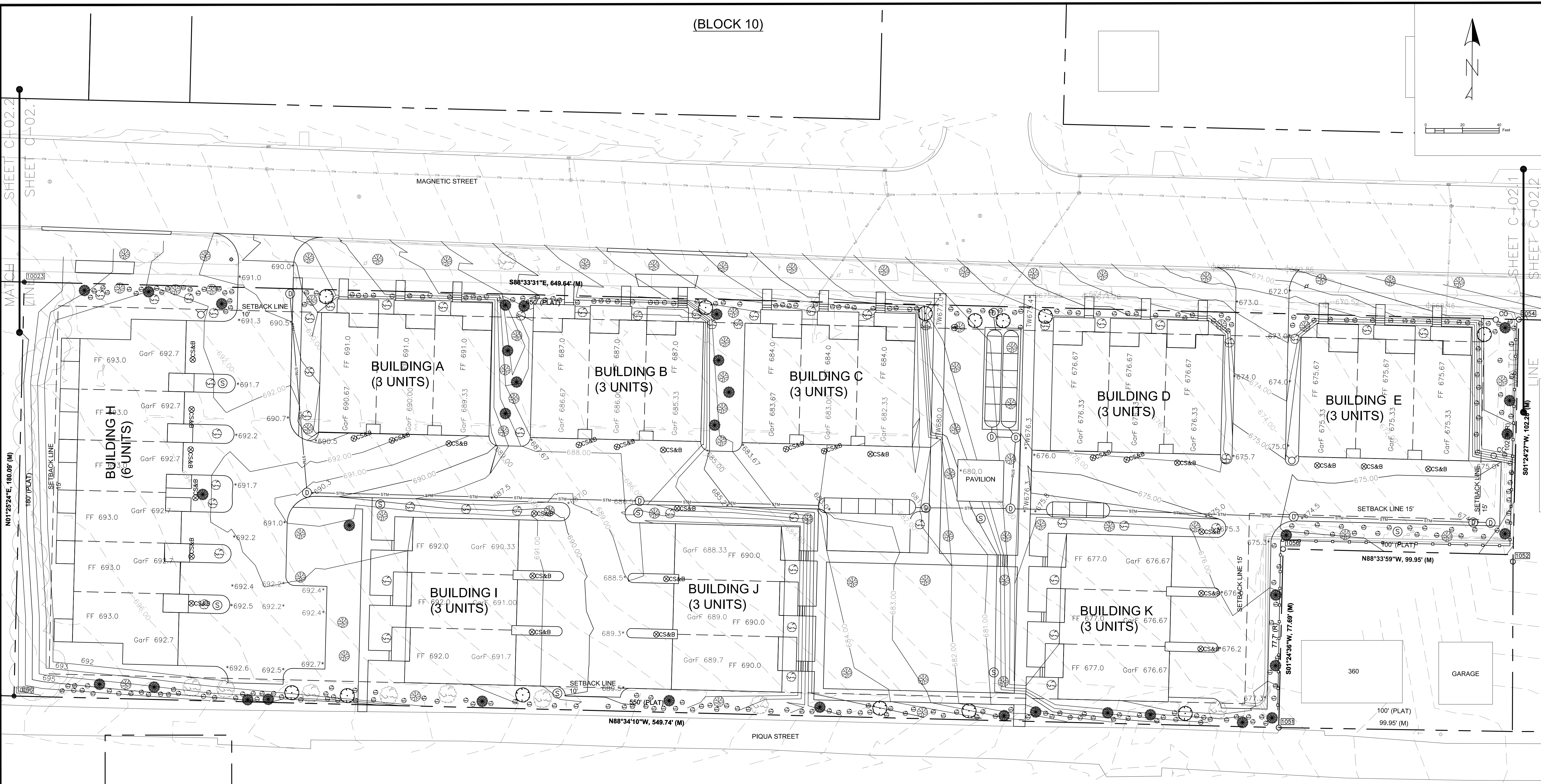
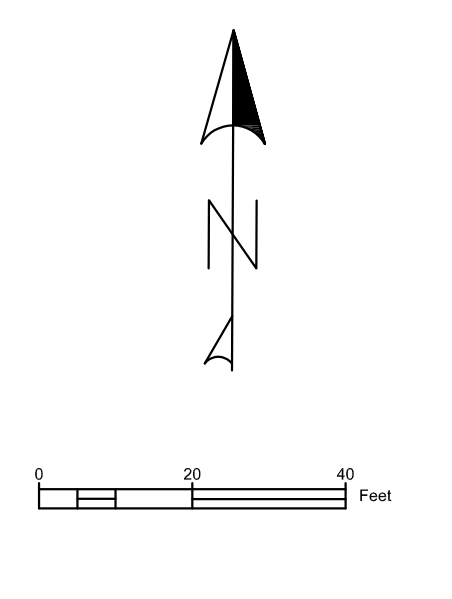
Attention: 1" If this scale bar does not measure 1" then drawing is not original scale.

Table with columns: ISSUE DATE, FOR, and rows for 4/22/25 REVIEW and 5/5/25 REVIEW.

Table with columns: Designed By, Checked By, Drawn By, Approved By, PROJECT #, SHEET NO., DWG. NO., and rows with values like LBS, BMS, 24042, 7, and C-01.2.



(BLOCK 10)



NOTE: PATIO'S SHALL NOT EXCEED 30° AGL.

NOTE: NO GRADING SHALL OCCUR OUTSIDE OF PROPERTY LIMITS.



PHASE 1 GRADING/STORM PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

Attention: 1" = 100'  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

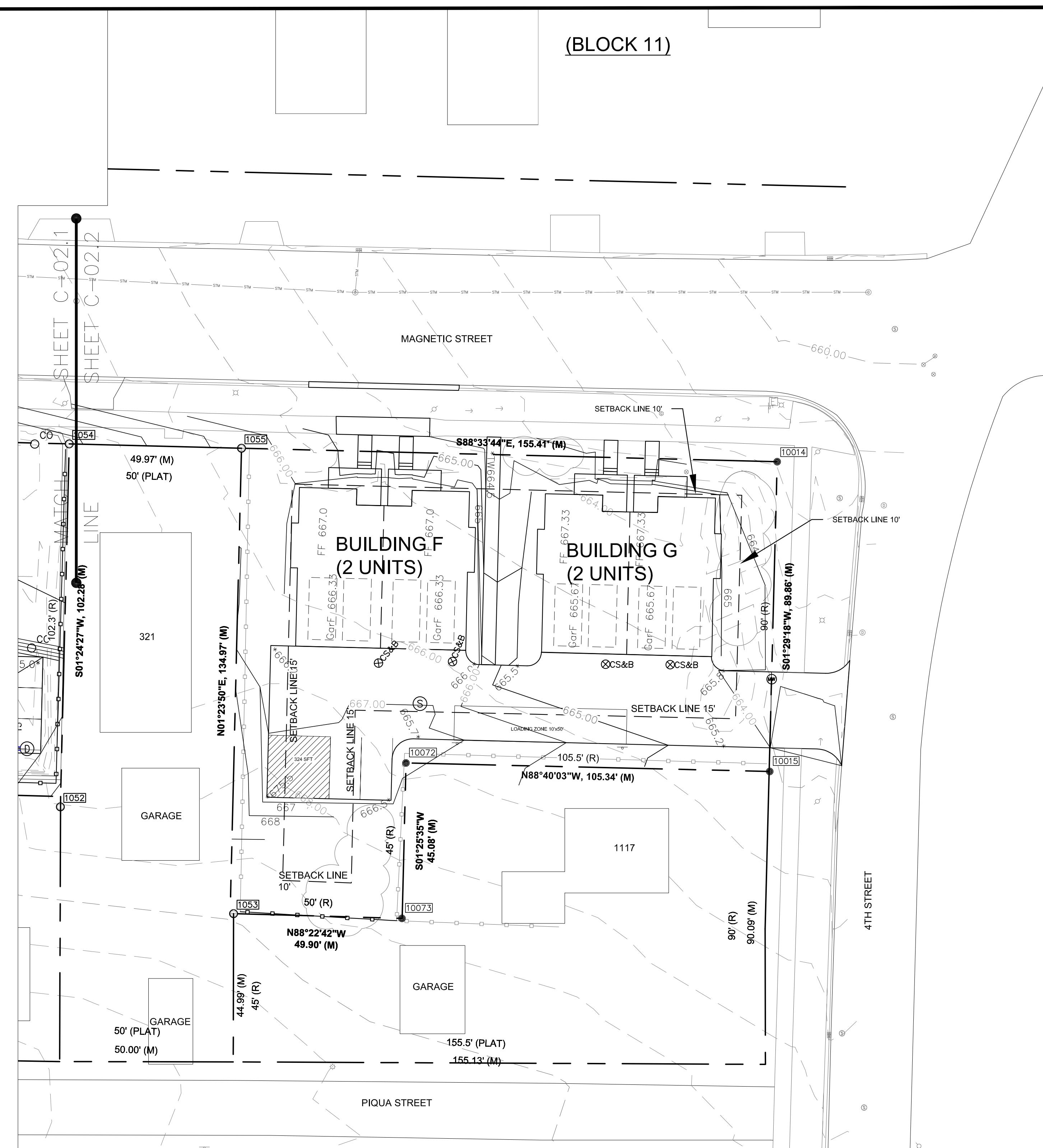
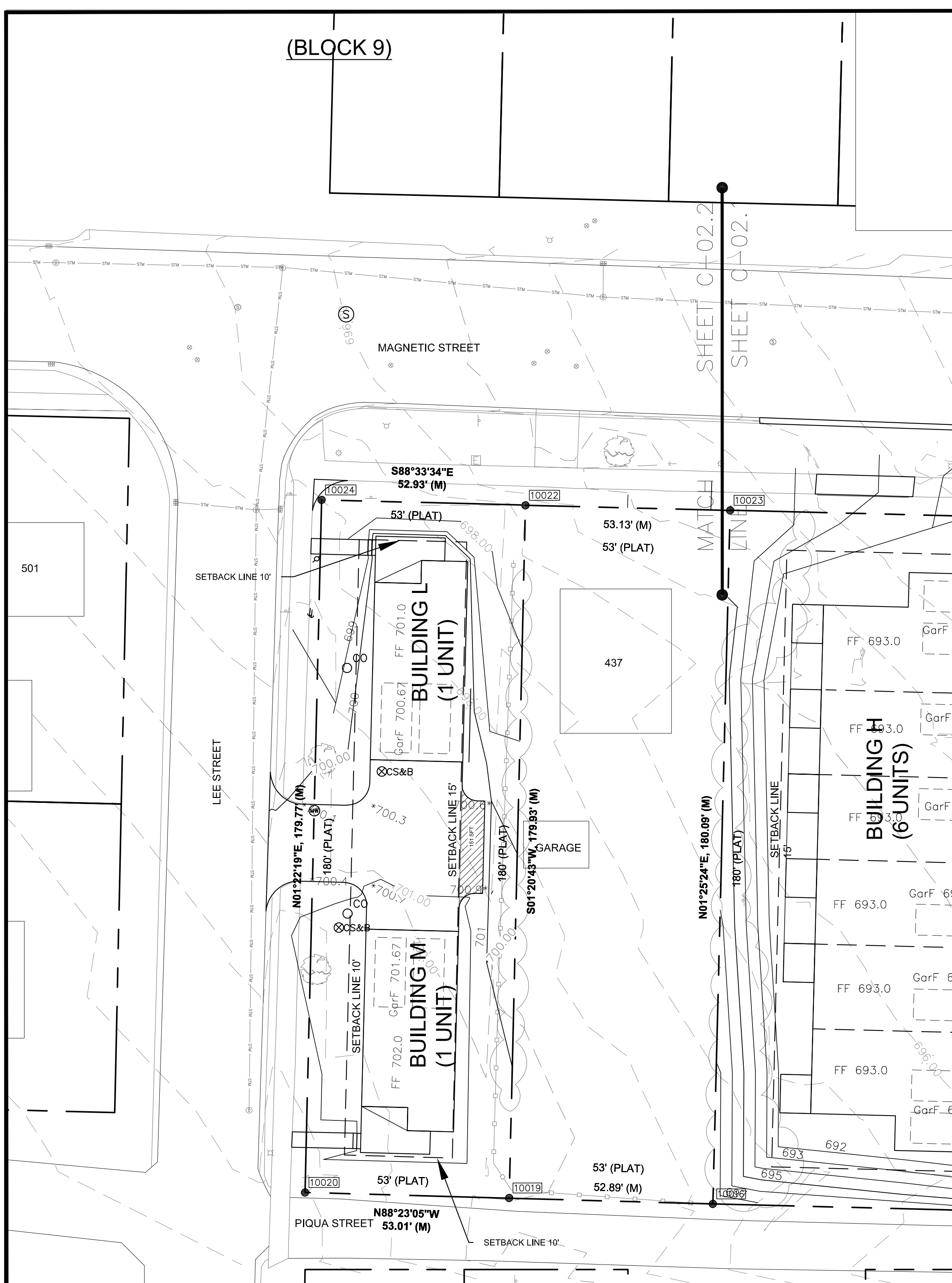
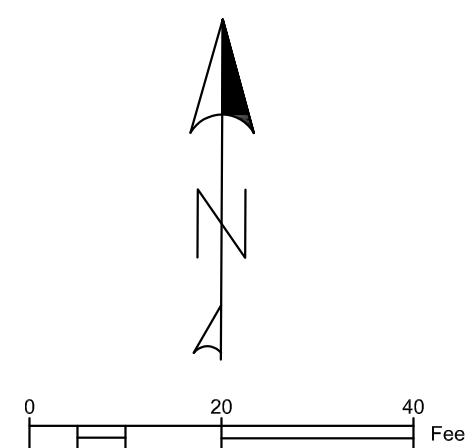
Designed By: LBS  
 Checked By: BMS  
 Drawn By: LBS  
 Approved By: BMS  
 PROJECT # 24042

SHEET NO. 8  
 DWG. NO. C-02.1



(BLOCK 9)

(BLOCK 11)



NOTE: PATIO'S SHALL NOT EXCEED 30° AGL.

NOTE: PATIO'S SHALL NOT EXCEED 30° AGL.



NOTE: NO GRADING SHALL OCCUR OUTSIDE OF PROPERTY LIMITS.



PHASE 2 GRADING/STORM PLAN

MARQUETTE GENERAL HOSPITAL SITE  
RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

Attention: 1" = 10'  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		LBS
		BMS
		PROJECT # 24042
		SHEET NO. 9
		DWG. NO. C-02.2

(BLOCK 10)

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BUILDING H  
(6 UNITS)

BUILDING A  
(3 UNITS)

BUILDING B  
(3 UNITS)

BUILDING C  
(3 UNITS)

BUILDING D  
(3 UNITS)

BUILDING E  
(3 UNITS)

BUILDING I  
(3 UNITS)

BUILDING J  
(3 UNITS)

BUILDING K  
(3 UNITS)

360

GARAGE

SHEET C-03.2

SHEET C-03.

SHEET C-03.1

SHEET C-03.D

N01°25'24"E, 180.09' (M)

S01°24'27"W, 102.20' (M)

S88°33'31"E, 649.64' (M)

N88°33'59"W, 99.95' (M)

N88°34'10"W, 549.74' (M)

S01°24'36"W, 77.69' (M)

100' (PLAT)

99.95' (M)

MATCH LINE

MATCH LINE

10023

1054

10016

1052



**NOTE:**  
ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.

ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.

ALL WATER AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF WAYS OR EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.

**LEGEND**

- EX. WATERMAIN (CITY)
- EX. NATURAL GAS (DTE)
- NGAS PROPOSED NATURAL GAS (DTE)
- LAT PROPOSED 6" SANITARY LATERAL (PRIVATE)
- 8-PVC-SAN PROPOSED 8" SANITARY SEWER (PRIVATE)
- EX-SAN EX. SANITARY SEWER (CITY)
- OVPD EX. OVERHEAD POWER (MBLP)
- ELEC PROPOSED UNDERGROUND POWER (PRIVATE)
- STM PROPOSED STORM SEWER (PRIVATE)
- PROPERTY BOUNDARY
- 6-DI-WM PROPOSED 6" WATERMAIN (PRIVATE)
- 8-DI-WM PROPOSED 8" WATERMAIN (PRIVATE)
- ⊕ PROPOSED UTILITY POLE
- ⊙ PROPOSED HYDRANT
- ⊗ PROPOSED VALVE
- ⊙ CO PROPOSED SAN. CLEANOUT
- ⊙ PROPOSED SANITARY STRUCTURE
- ⊙ PROPOSED CATCH BASIN



PHASE 1 UTILITY PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

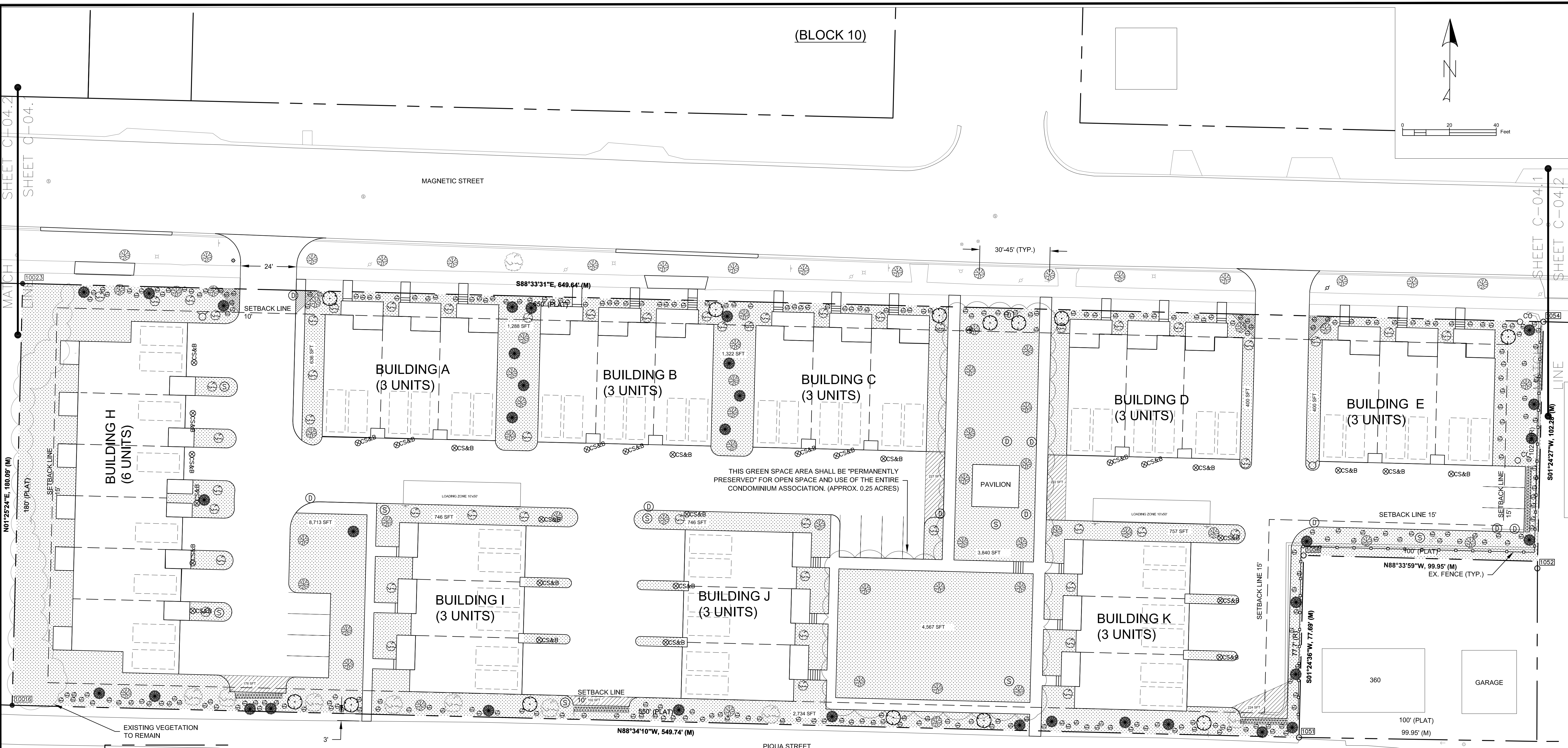
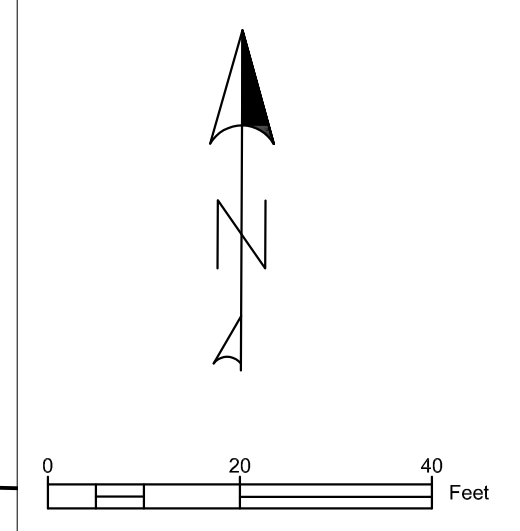
Attention: 1"  
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
4/22/25	REVIEW
5/5/25	REVIEW

Designed By:	LBS
Checked By:	BMS
Drawn By:	LBS
Approved By:	BMS
PROJECT #	24042
SHEET NO.	10
DWG. NO.	C-03.1



(BLOCK 10)



**GREENSPACE CALC'S REQUIRED (5%):**  
 $20,739 + 10,676 \text{ SFT} \times 0.05 = 1,571 \text{ SFT}$   
 (360 SFT EACH MIN)

**ACTUAL:**  
 $746 + 746 + 757 = 2,249 \text{ SFT}$

**FRONTAGE LANDSCAPING REQUIREMENTS:**  
 SOUTH: 549.74'  
 DECIDUOUS/EVERGREEN: 14  
 ORNAMENTAL: 5  
 SHRUBS: 110

**NORTH: 602.64'**  
 DECIDUOUS/EVERGREEN: 15  
 ORNAMENTAL: 6  
 SHRUBS: 121

**LANDSCAPING TOTALS:**  
 DECIDUOUS/EVERGREEN: 83  
 ORNAMENTAL: 13  
 SHRUBS: 326

NOTE: ALL GREEN SPACE BUFFER YARDS AND LANDSCAPING WILL BE PERMANENTLY PRESERVED TO MAINTAIN BUFFERS BETWEEN ADJACENT PROPERTIES AND LAND USES. THE CONDOMINIUM ASSOCIATION WILL BE REQUIRED TO PROVIDE ANNUAL MAINTENANCE TO THESE AREAS AND RE-PLANT AS NECESSARY TO MAINTAIN BUFFER YARDS.

Recommended Plant Type and Size	Common Name
Evergreen Trees (8 feet minimum height)	Canadian Hemlock, Eastern Red Cedar, European Larch, Scotch Pine, White Pine, Black Hills Spruce, Colorado Green Spruce, Engelmann Spruce, Norway Spruce
Deciduous Trees (3-inch minimum caliper)	Sugar Maple varieties, Red Maple varieties, Amur Cork Tree, American Yellowwood, Bicolor Oak, Swamp White Oak, Little-Leaf Linden, Ohio Buckeye
Ornamental Trees (2-inch minimum caliper)	Dolgo Crabapple, Siberian Crabapple, Cockspur Hawthorn, Blackhaw Viburnum, Nannyberry Viburnum, Tulip Tree
Deciduous Shrubs (3 feet minimum height)	Arrowwood Viburnum, Wayfaring Tree, Nannyberry, European Cranberry, American Cranberry, American Cranberry, Redosier Dogwood, Siberian Dogwood, Fragrant Sumac, Staghorn Sumac, Bush Cinquefoil, Tatarian Honeysuckle, Winterberry, American Elder
Evergreen Shrubs (18 inches minimum height for low growing species and 30 inches minimum for all other species)	Common Juniper, Creeping Juniper, Bush Cinquefoil, Canada Yew, Amur Privet, Mugo Pine

- PLANTING LEGEND**
- 3' HIGH EVERGREEN HEDGE
  - GREENSPACE (MULCH OR GRASS)
  - DECIDUOUS TREE
  - EVERGREEN TREE
  - SHRUB
  - ORNAMENTAL TREE
  - CLEAR VISION AREA (10'X10' TYP. TREES SHALL NOT EXCEED 8' TALL. SHRUBS SHALL NOT EXCEED 30" TALL. ALL PLANTINGS SHALL BE GREATER THAN 3' FROM EDGE OF DRIVEWAY)

NOTE: STREET TREES PLANTED IN RIGHT OF WAY SHALL CONFORM TO MARQUETTE LDC 54.1003(A).



PHASE 1 LANDSCAPING PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



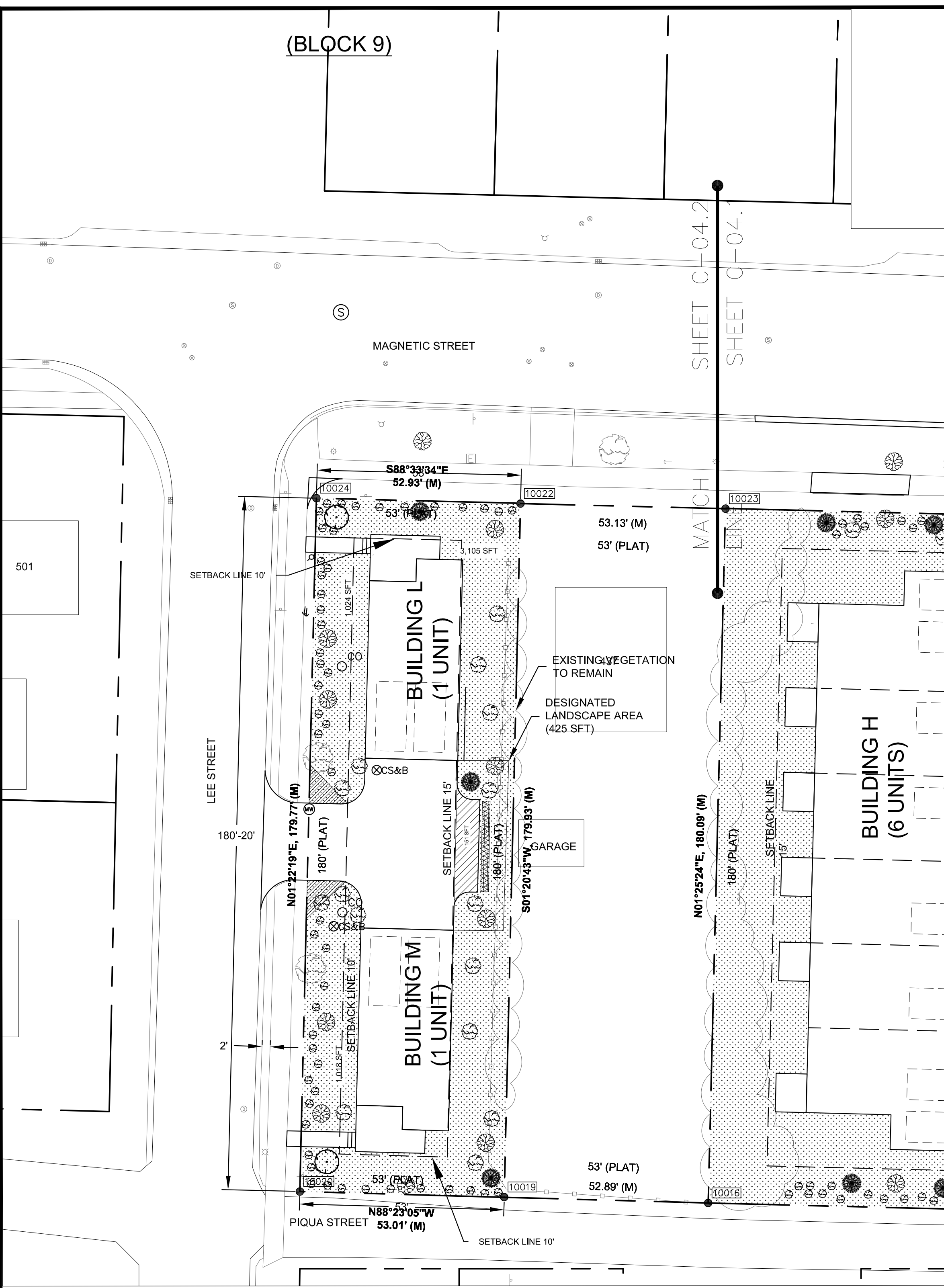
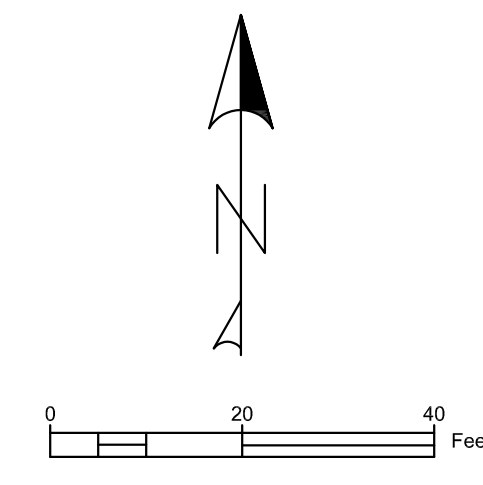
Attention: 1" = 1'

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ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		LBS
		BMS
		PROJECT # 24042
		SHEET NO. 12
		DWG. NO. C-04.1

(BLOCK 9)

(BLOCK 11)



**GREENSPACE CALC'S (BLOCK 9)**  
 REQUIRED (5%):  
 1,812 SFT X 0.05 = 90.6 SFT  
 (360 SFT EACH MIN)

ACTUAL: 425 SFT

**FRONTAGE LANDSCAPING REQUIREMENTS:**  
 NORTH AND SOUTH: 52.93' EA  
 DECIDUOUS/EVERGREEN: 1 EA  
 ORNAMENTAL: 1 EA  
 SHRUBS: 11 EA

WEST: 159.77'  
 DECIDUOUS/EVERGREEN: 4  
 ORNAMENTAL: 2  
 SHRUBS: 32

**LANDSCAPING TOTALS:**  
 DECIDUOUS/EVERGREEN: 13  
 ORNAMENTAL: 2  
 SHRUBS: 66

**GREENSPACE CALC'S (BLOCK 11)**  
 REQUIRED (5%):  
 4,781 SFT X 0.05 = 239 SFT  
 (360 SFT EACH MIN)

ACTUAL: 419 SFT

**FRONTAGE LANDSCAPING REQUIREMENTS:**  
 NORTH: 155.41'  
 DECIDUOUS/EVERGREEN: 4  
 ORNAMENTAL: 2  
 SHRUBS: 31

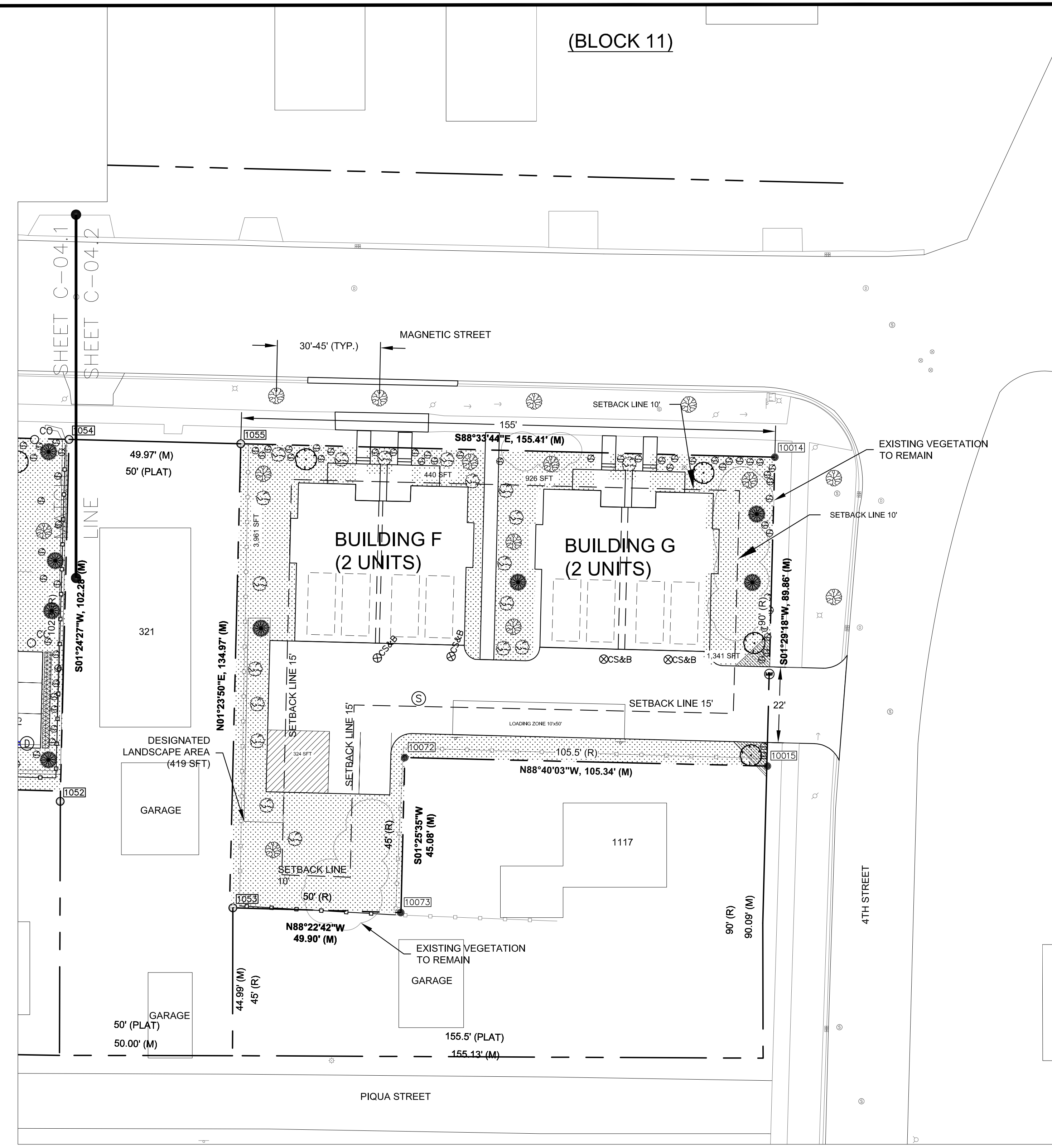
EAST: 67.86'  
 DECIDUOUS/EVERGREEN: 2  
 ORNAMENTAL: 1  
 SHRUBS: 14

**LANDSCAPING TOTALS:**  
 DECIDUOUS/EVERGREEN: 11  
 ORNAMENTAL: 4  
 SHRUBS: 62

- PLANTING LEGEND**
- 3' HIGH EVERGREEN HEDGE
  - GREENSPACE (MULCH OR GRASS)
  - DECIDUOUS TREE
  - EVERGREEN TREE
  - SHRUB
  - ORNAMENTAL TREE
  - CLEAR VISION AREA (10'X10' TYP. TREES SHALL NOT EXCEED 8' TALL, SHRUBS SHALL NOT EXCEED 30" TALL, ALL PLANTINGS SHALL BE GREATER THAN 3' FROM EDGE OF DRIVEWAY)

**NOTE:** STREET TREES PLANTED IN RIGHT OF WAY SHALL CONFORM TO MARQUETTE LDC 54.1003(A).

ALL GREEN SPACE BUFFER YARDS AND LANDSCAPING WILL BE PERMANENTLY PRESERVED TO MAINTAIN BUFFERS BETWEEN ADJACENT PROPERTIES AND LAND USES. THE CONDOMINIUM ASSOCIATION WILL BE REQUIRED TO PROVIDE ANNUAL MAINTENANCE TO THESE AREAS AND RE-PLANT AS NECESSARY TO MAINTAIN BUFFER YARDS.



Recommended Plant Type and Size	Common Name
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Deciduous Shrubs (3 feet minimum height)	Arrowwood Viburnum, Wayfaring Tree, Nannyberry, European Cranberry, American Cranberry, American Cranberry, Redosier Dogwood, Siberian Dogwood, Fragrant Sumac, Staghorn Sumac, Bush Cinquefoil, Tatarian Honeysuckle, Winterberry, American Elder
Evergreen Shrubs (18 inches minimum height for low growing species and 30 inches minimum for all other species)	Common Juniper, Creeping Juniper, Bush Cinquefoil, Canada Yew, Amur Privet, Mugo Pine



PHASE 2 LANDSCAPING PLAN

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT

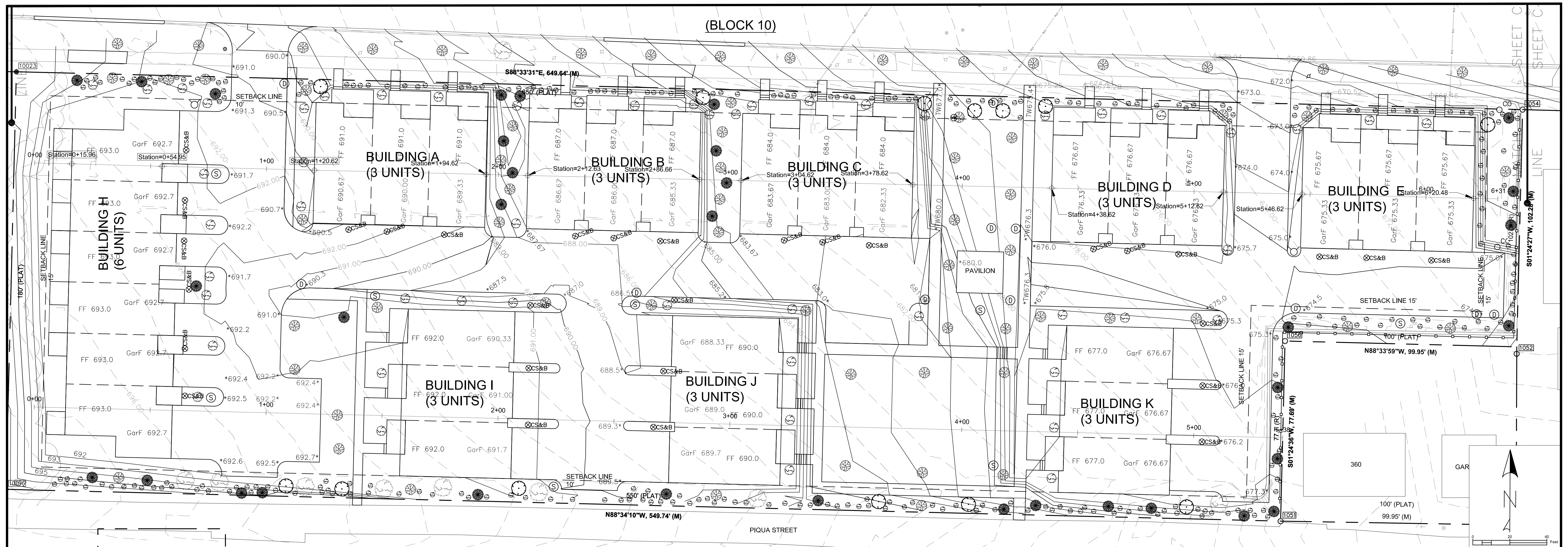


Attention: 1" = 1'

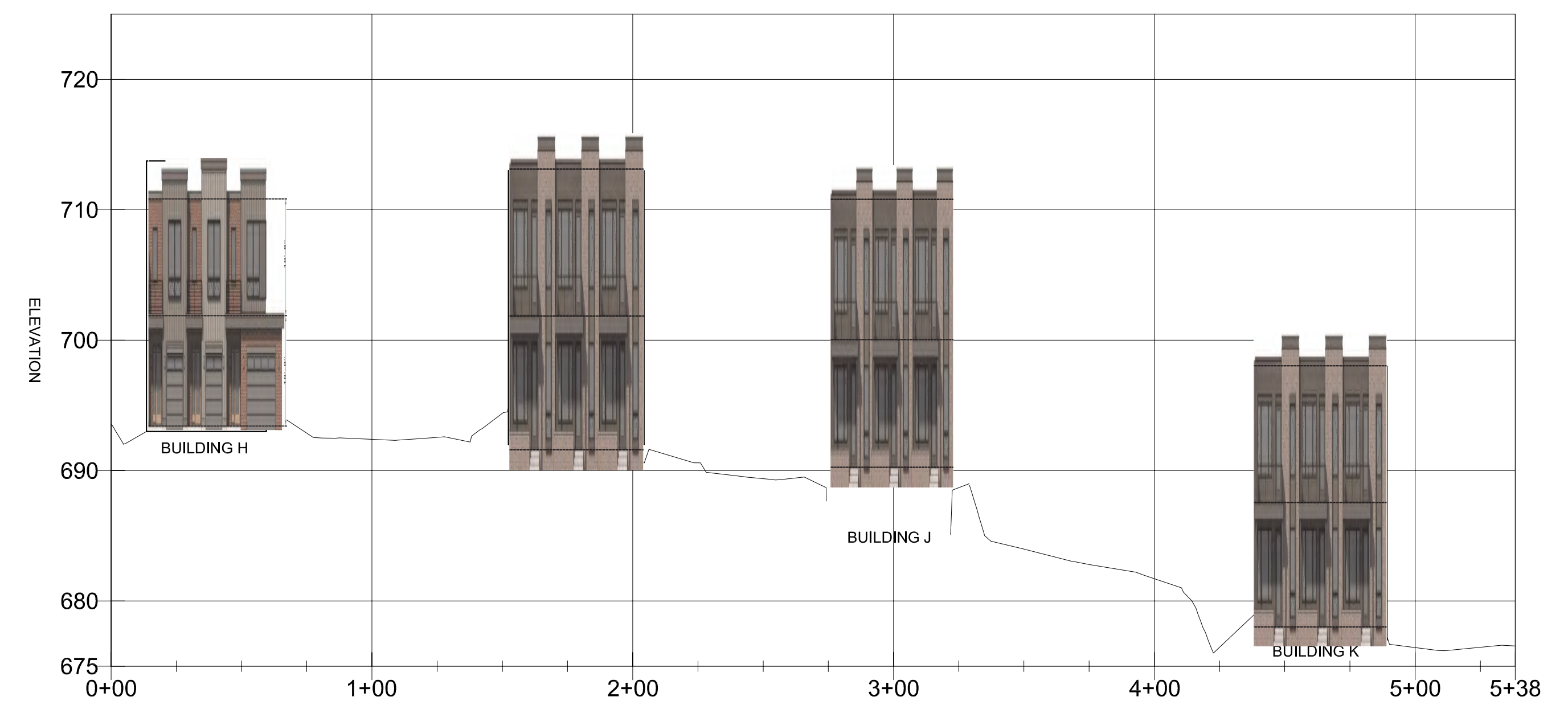
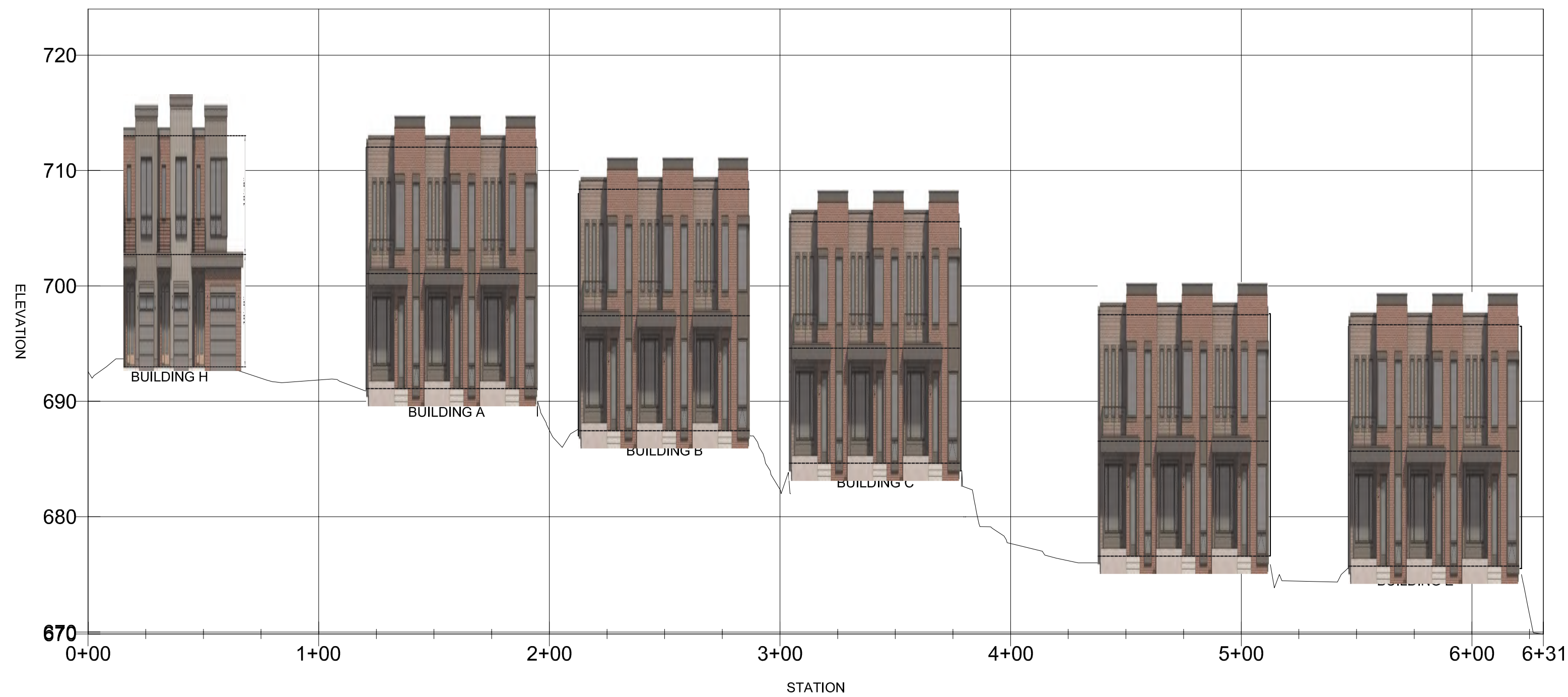
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 13
		DWG. NO. C-04.2





NOTE: SEE A-501 FOR BUILDING ELEVATION VIEWS



PHASE 1 ELEVATION PROFILE VIEWS

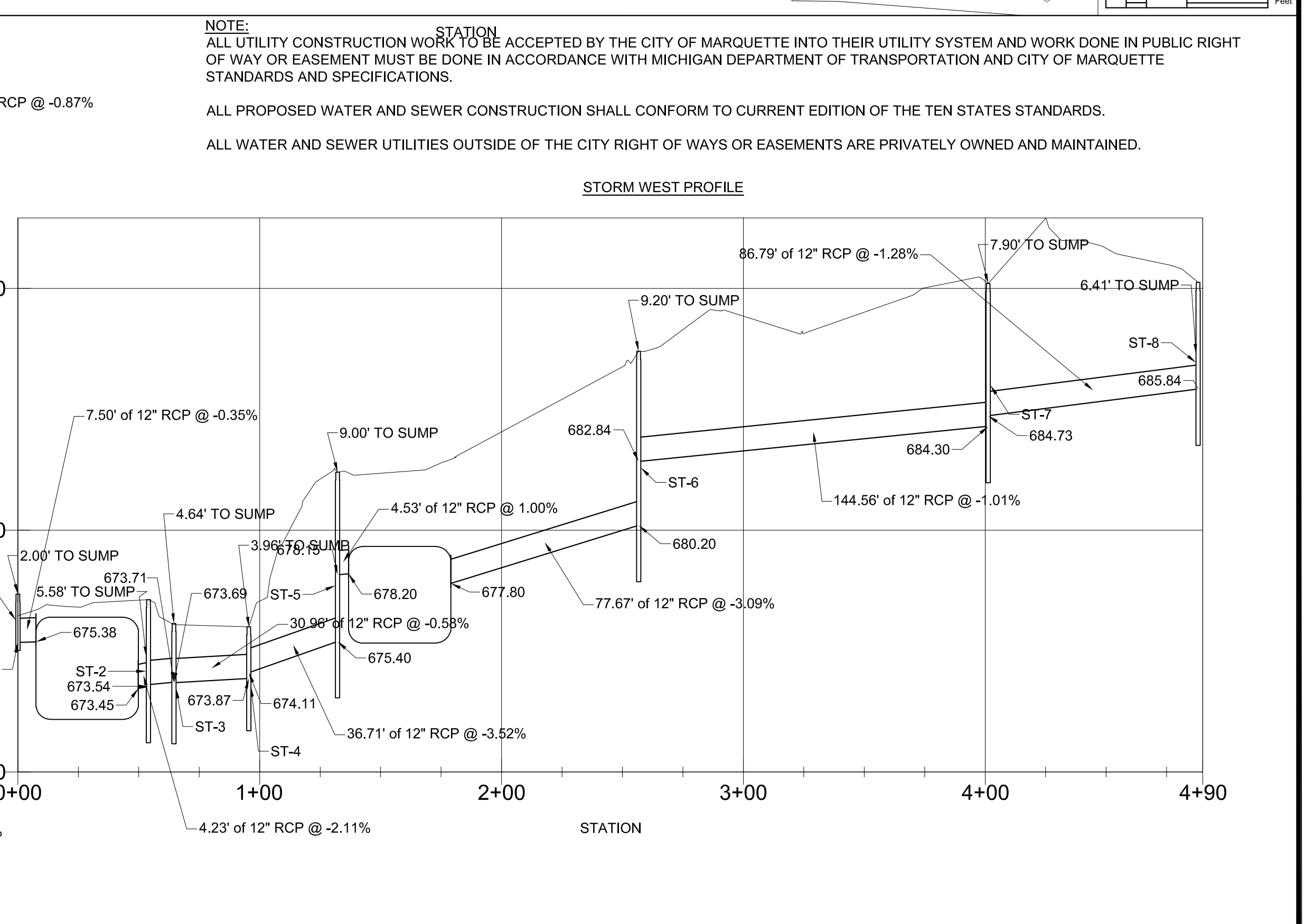
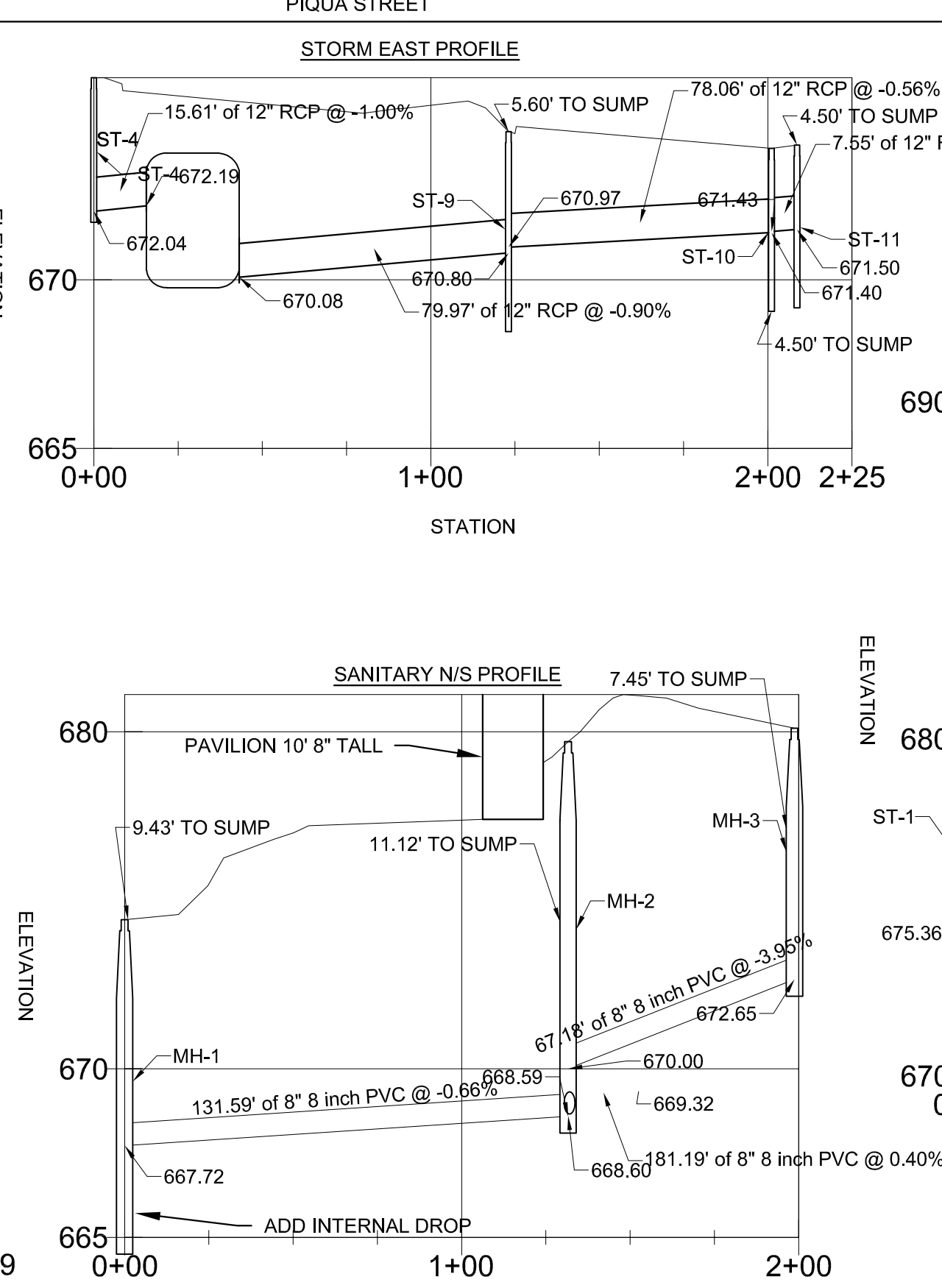
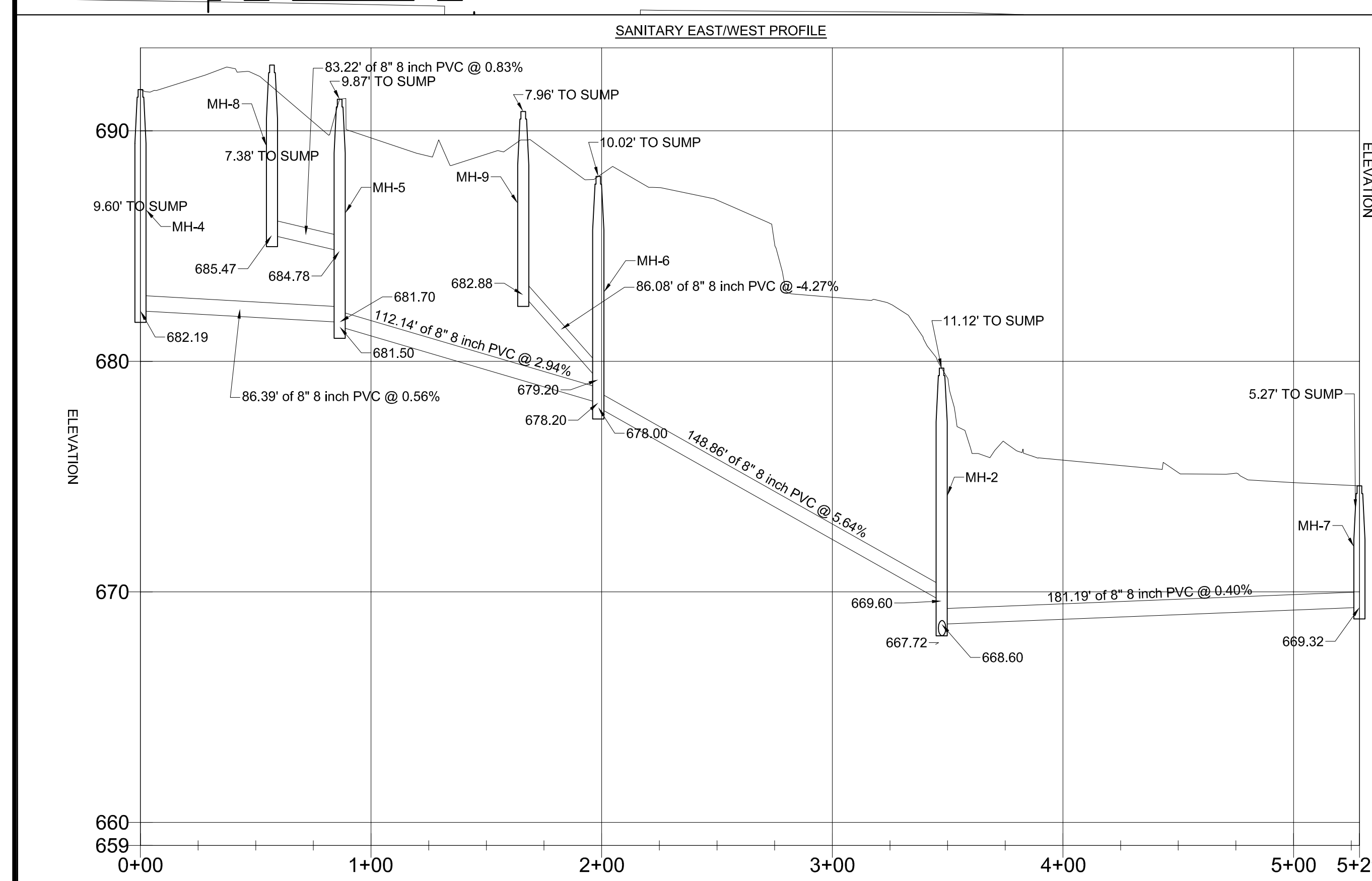
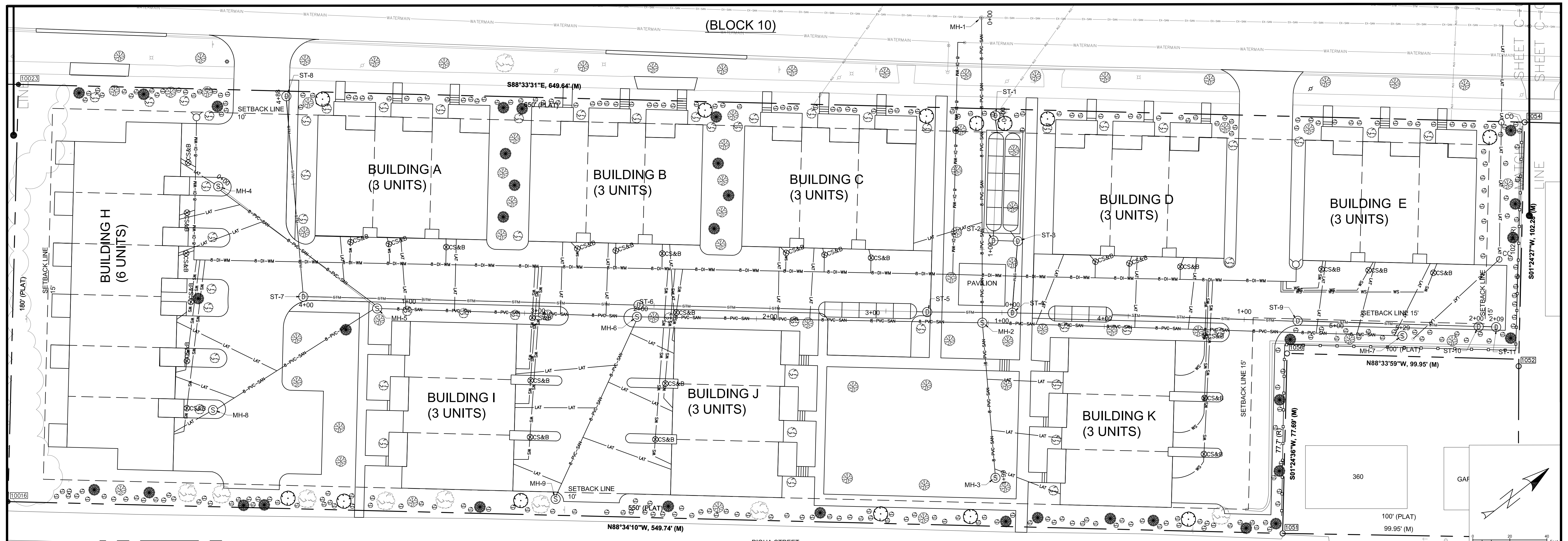
MARQUETTE GENERAL HOSPITAL SITE  
RE-DEVELOPMENT



WICKWIRE, P.C.  
715 Selden Road  
Iron River, MI 49935  
tel 906-265-9865  
wickwiresolutions.com

Attention: 1"  
If this scale bar does not  
measure 1" then drawing is  
not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	Checked By: BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 14
		DWG. NO. C-05.1



**NOTE:**  
 ALL UTILITY CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY OF MARQUETTE INTO THEIR UTILITY SYSTEM AND WORK DONE IN PUBLIC RIGHT OF WAY OR EASEMENT MUST BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF MARQUETTE STANDARDS AND SPECIFICATIONS.  
 ALL PROPOSED WATER AND SEWER CONSTRUCTION SHALL CONFORM TO CURRENT EDITION OF THE TEN STATES STANDARDS.  
 ALL WATER AND SEWER UTILITIES OUTSIDE OF THE CITY RIGHT OF WAYS OR EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED.



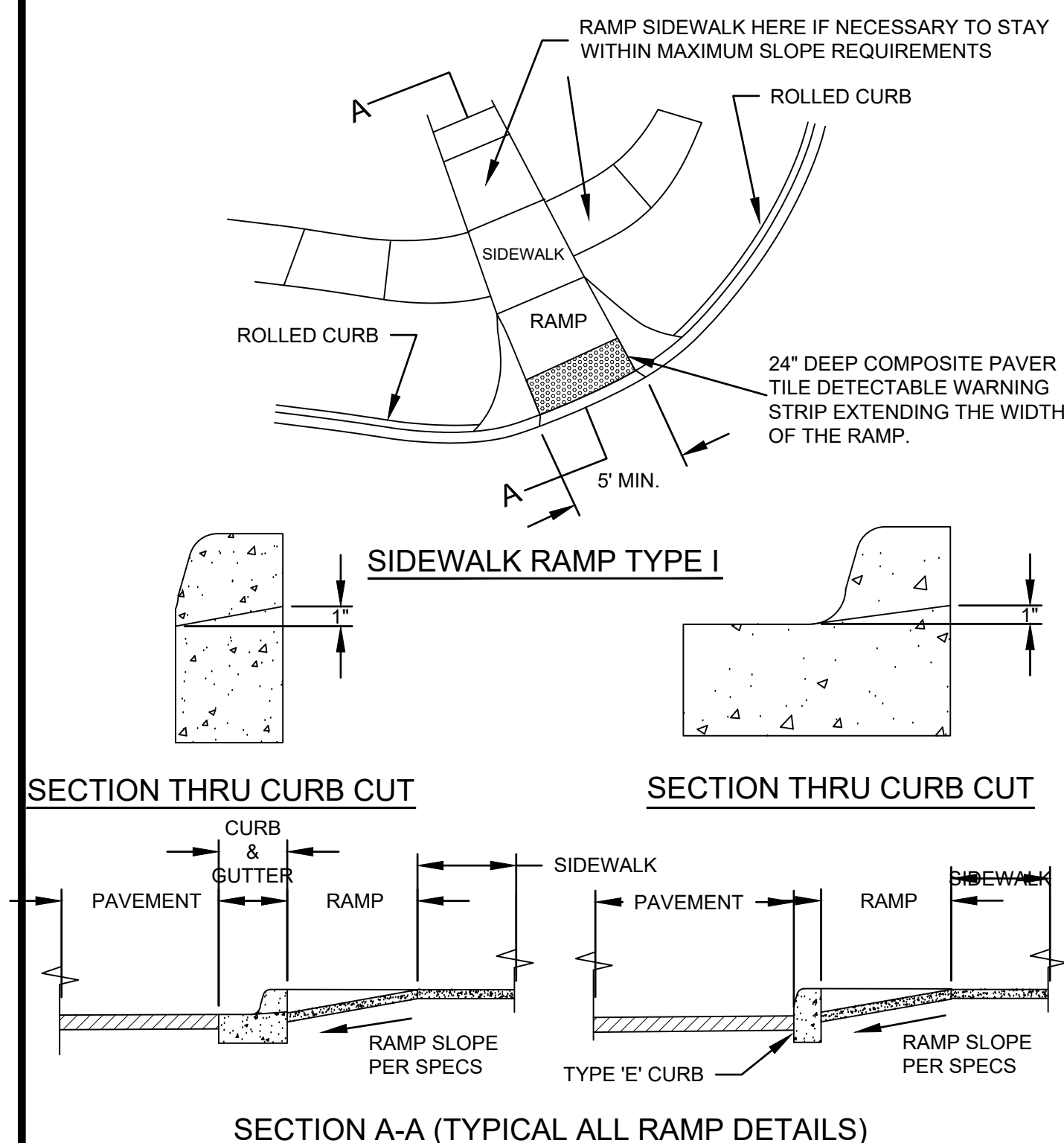
PHASE 1 UTILITY PROFILE VIEWS

MARQUETTE GENERAL HOSPITAL SITE RE-DEVELOPMENT



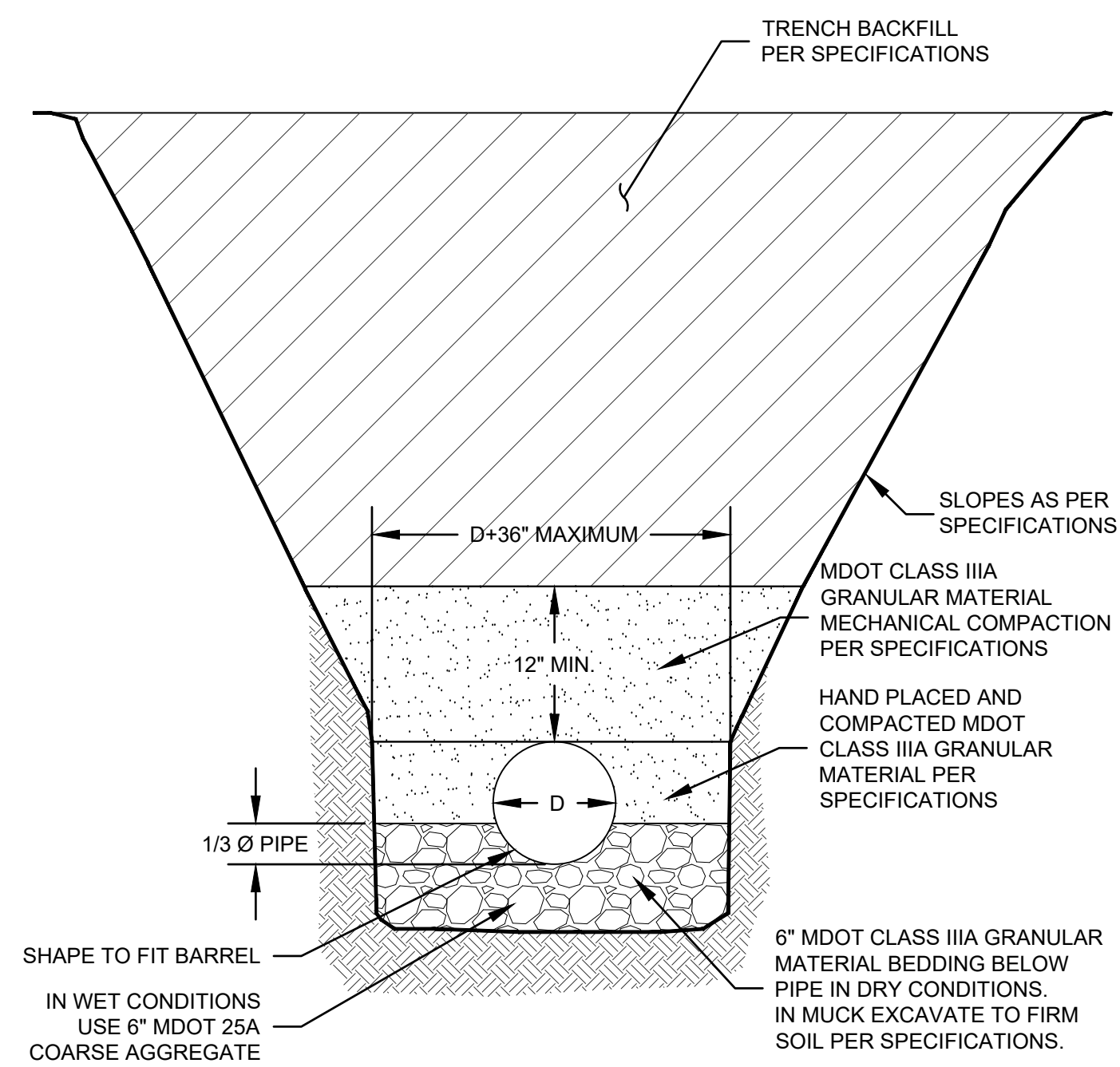
Attention: 1" = 100'  
 If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		Drawn By: LBS
		Approved By: BMS
		PROJECT # 24042
		SHEET NO. 15
		DWG. NO. C-05.2



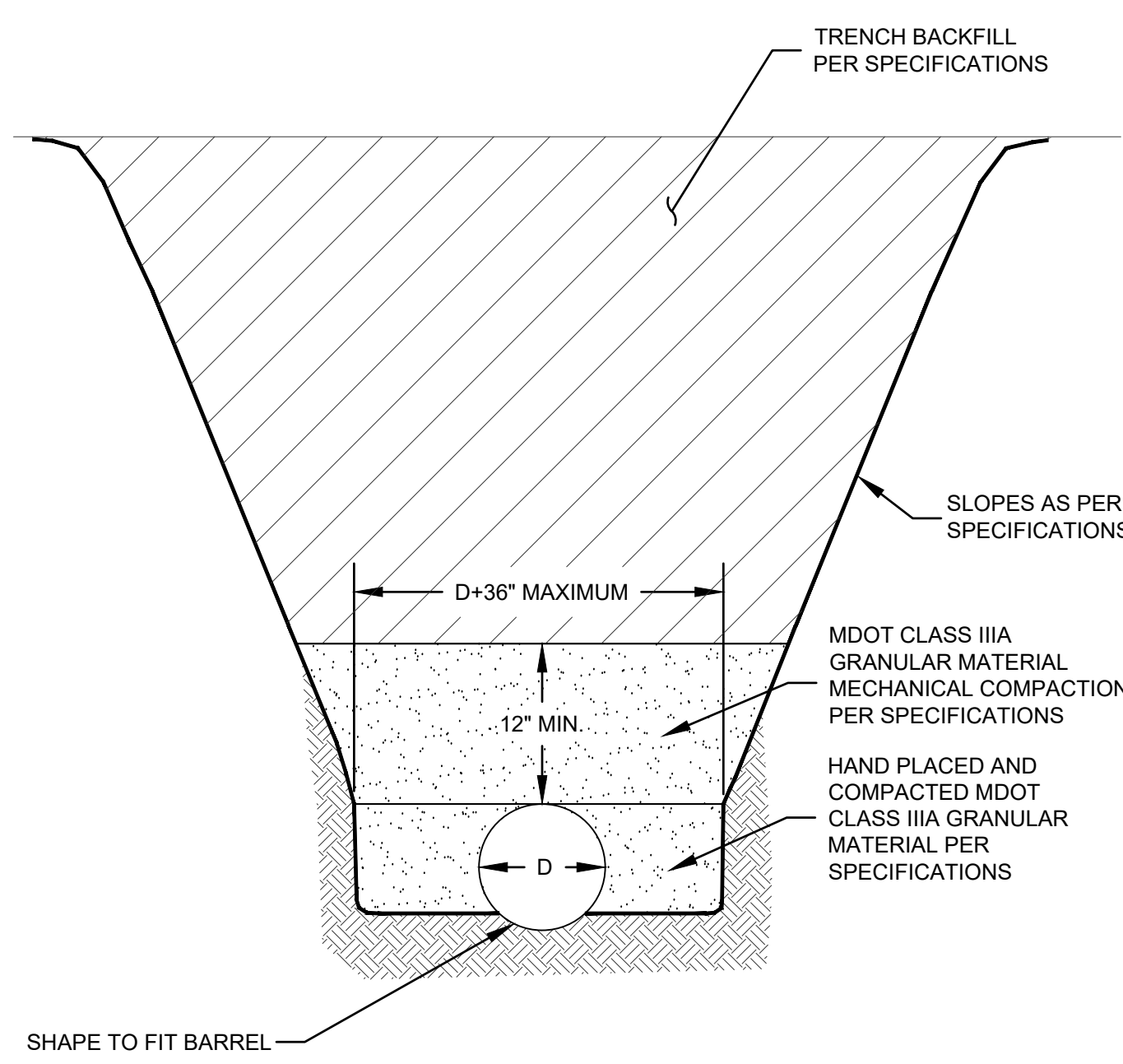
**03-021 TYPICAL SIDEWALK RAMP DETAILS**  
NO SCALE

- NOTES:**
1. CONCRETE SIDEWALK RAMP SHALL BE SAWCUT TO FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
  2. CONCRETE SIDEWALK RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-28-G, OR THE LATEST REVISION THEREOF.
  3. ANY EXISTING CONCRETE SIDEWALK RAMP WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
- PARKING LOT RECONSTRUCTION REQUIREMENTS:**
1. TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR PARKING LOT REPAIR OR CONSTRUCTION.
  2. THE SLOPE OF THE PROPOSED CROSS SECTION CARRIES. SEE GRADING PLAN FOR DETAILS.



**METHOD 2**  
**02-192 PIPE BEDDING DETAIL**  
NO SCALE

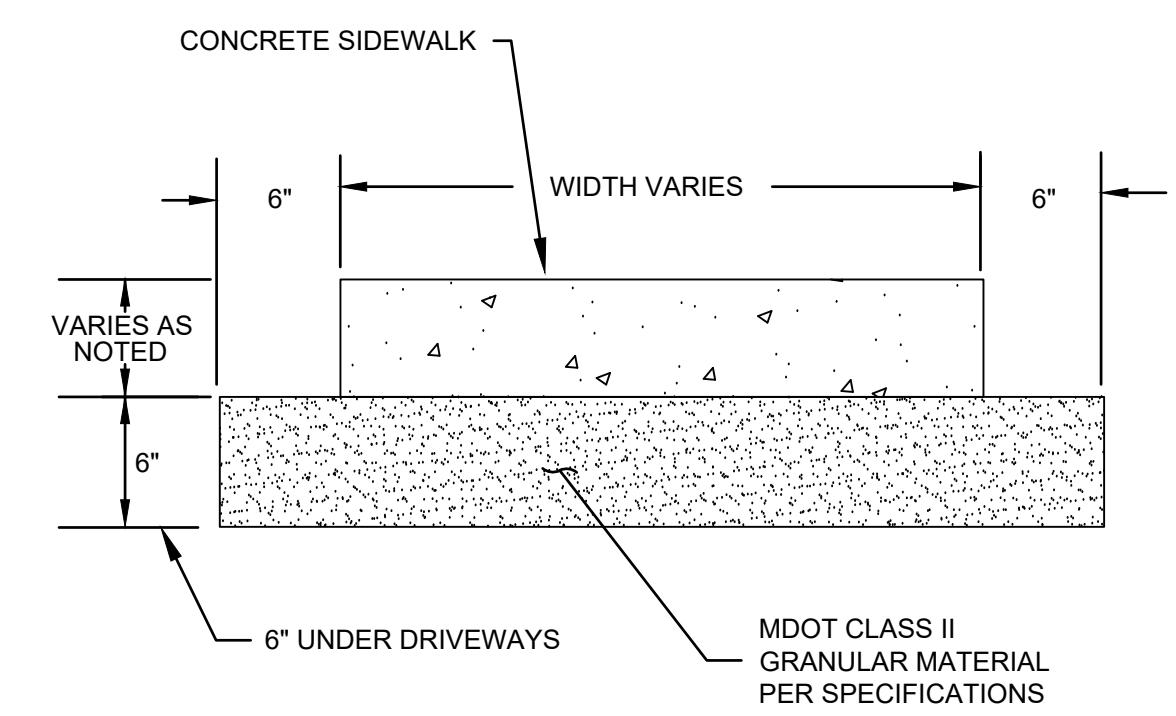
- NOTES:**
1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.
  2. CONTRACTOR SHALL INSTALL NON-WOVEN 8 OZ/SYD GEOTEXTILE FABRIC ABOVE MDOT 25A STONE FOR ENTIRE TRENCH WIDTH AND LENGTH OF STONE BEDDING WHEREVER UTILIZED. GEOTEXTILE FABRIC JOINTS SHALL OVERLAP A MINIMUM OF 2.0 FEET.
- NOTES:**
1. WHEN OTHER THAN 7" (4" MIN. TO 9" MAX.) FACE EXPOSURE IS SPECIFIED ON PLANS. VARY TOTAL CURB HEIGHT AND BATTER ACCORDINGLY.
  2. CURB MAY BE POURED MONOLITHICALLY WHEN ADJACENT TO CONCRETE SIDEWALK.



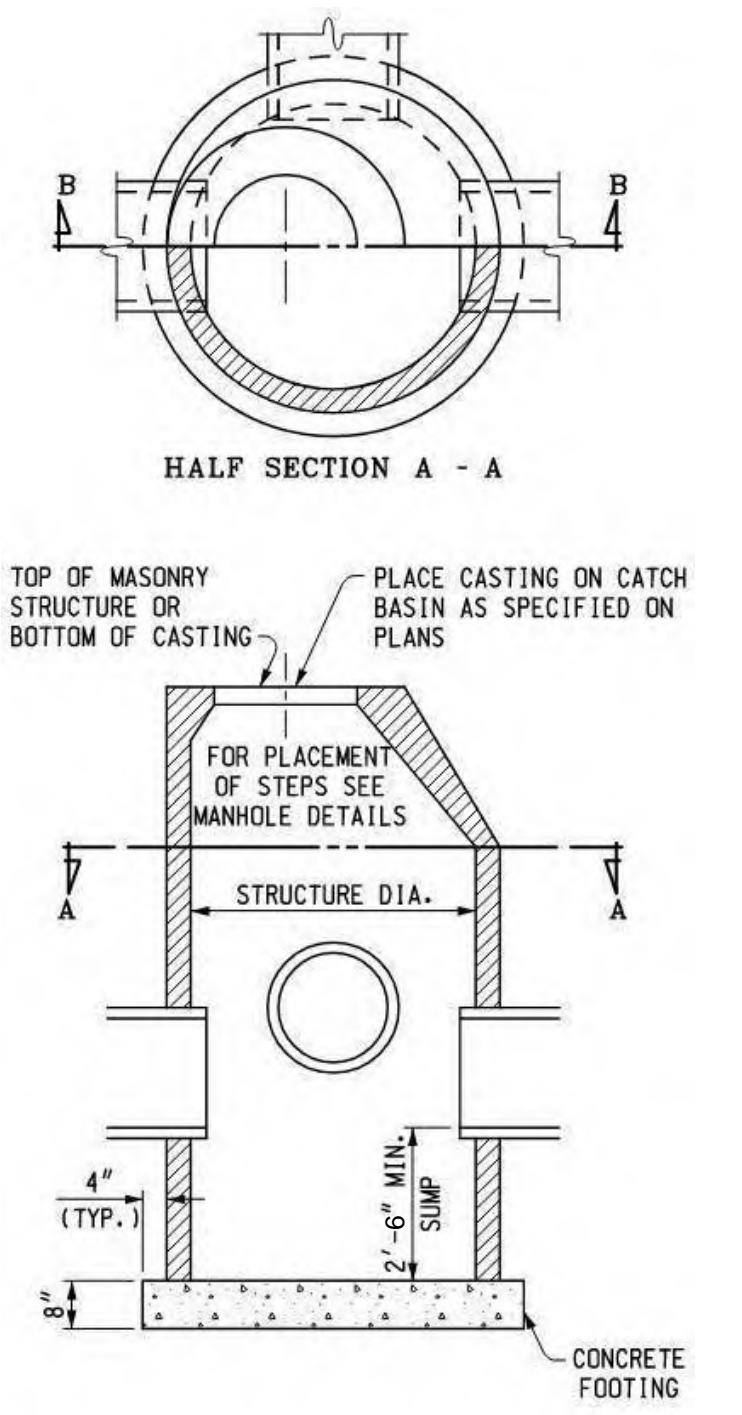
**METHOD 1**  
**02-190 PIPE BEDDING DETAIL**  
NO SCALE

- NOTES:**
1. THE BACKFILL MATERIALS AND METHODS SHALL CONFORM TO THE SPECIFICATIONS.

- NOTES:**
1. CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
  2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-J OR THE LATEST VERSION THEREOF.
  3. ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
  4. CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-H.
  5. NO REINFORCEMENT SHALL BE USED IN CONCRETE SIDEWALK.
  6. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE.

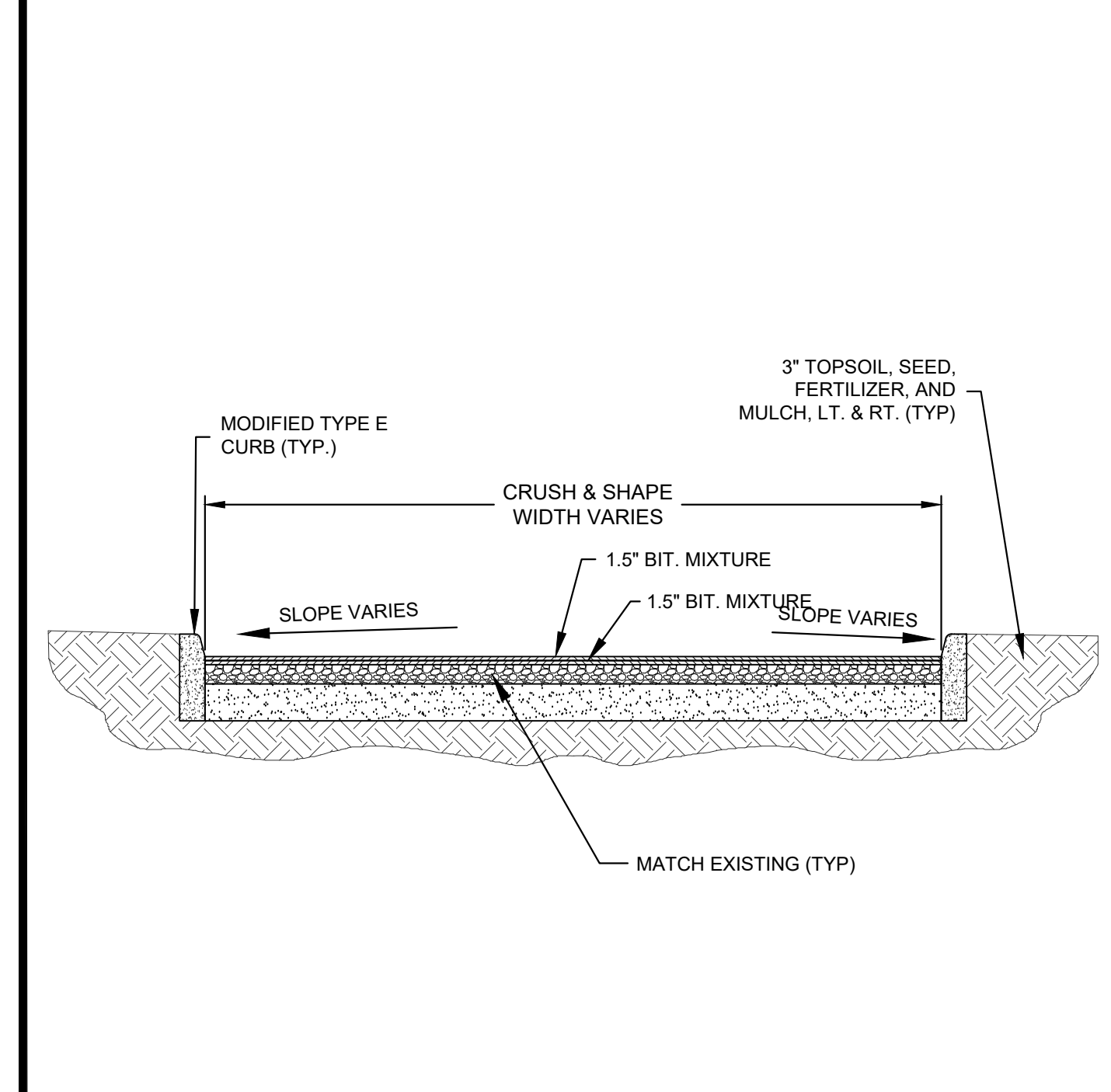


**03-022 CONCRETE SIDEWALK**  
NO SCALE

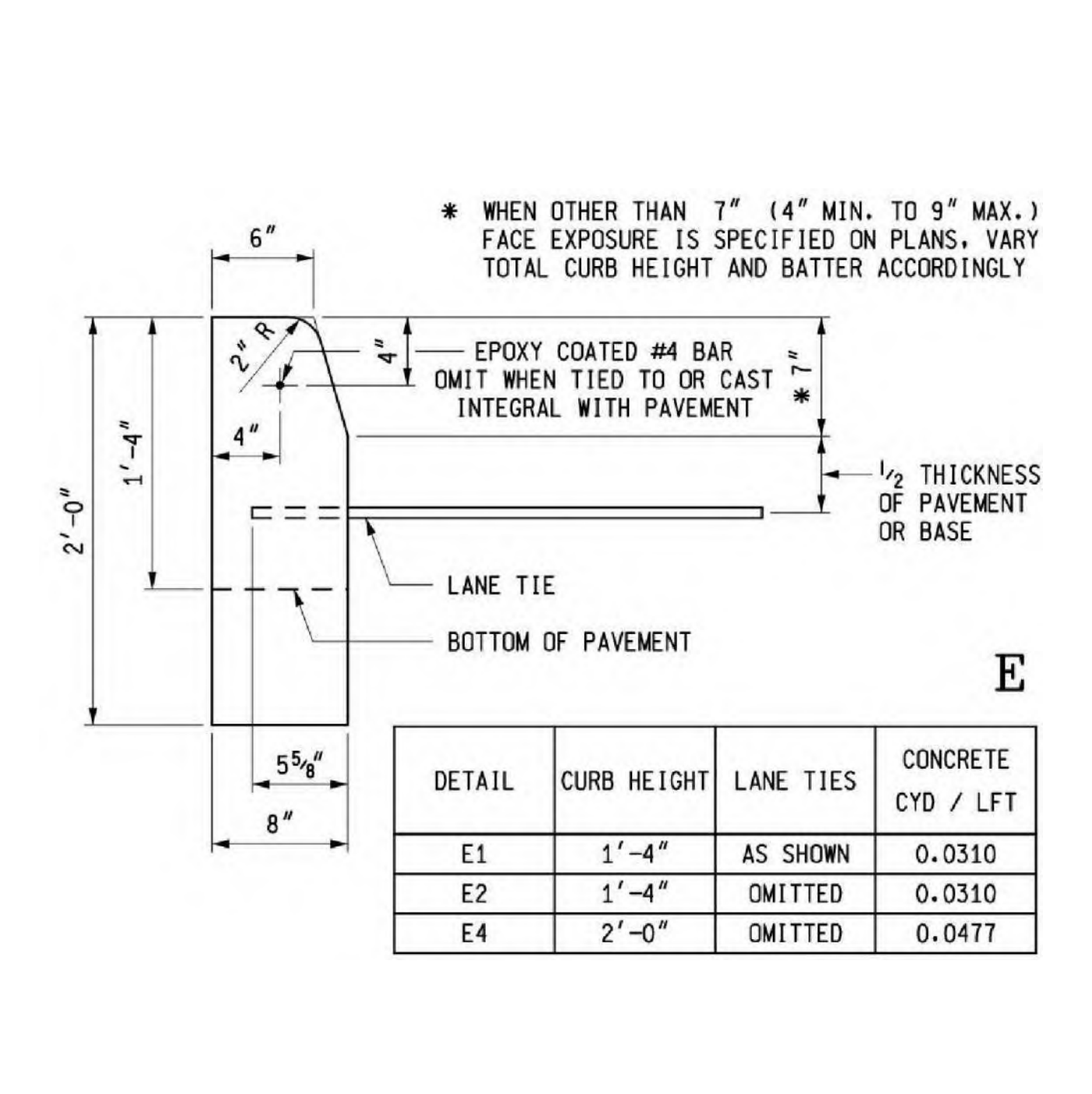


**CATCH BASIN DETAIL**

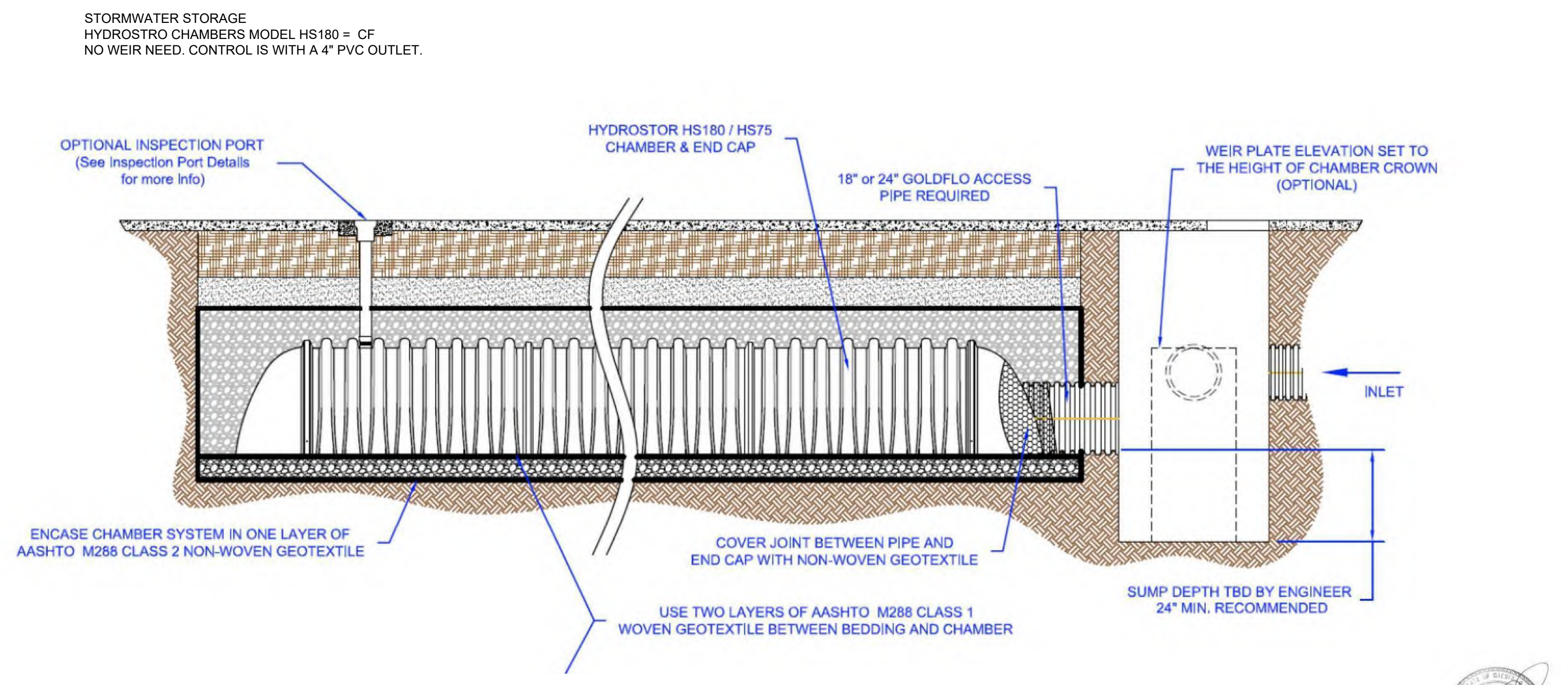
- NOTES:**
1. STRUCTURE COVER SHALL BE ROUND STORM CAST IRON.



**02-050 TYPICAL PAVED PARKING LOT SECTION**  
NO SCALE



**03-046 MDOT TYPE E CURB DETAIL**  
NO SCALE

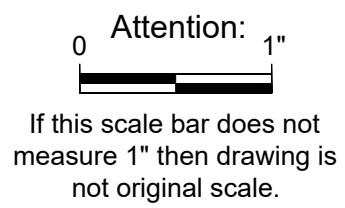


**02-190 HYDROSTRO CHAMBERS MODEL HS180 = CF**  
NO WEIR NEED. CONTROL IS WITH A 4" PVC OUTLET.

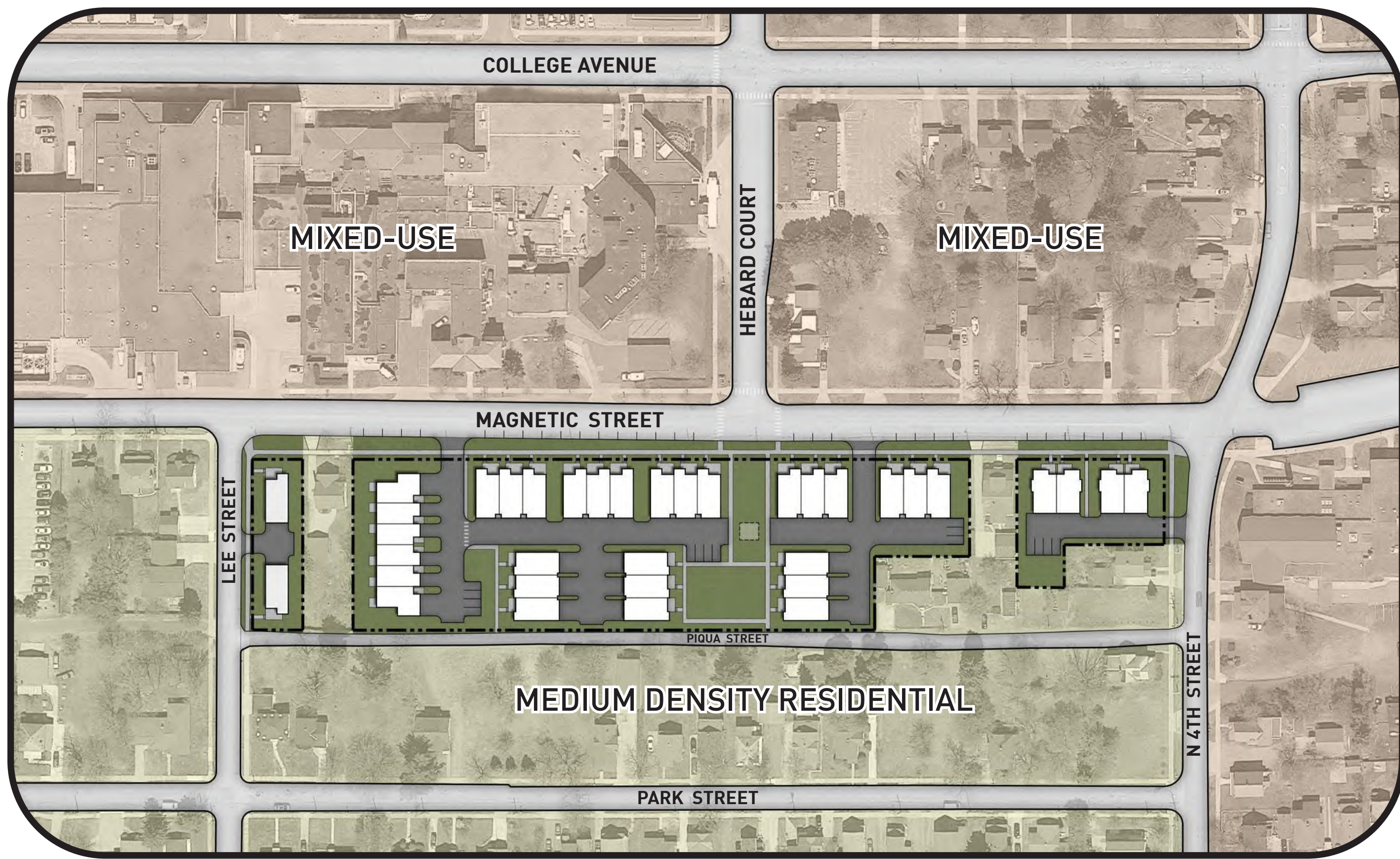


DETAILS

MARQUETTE GENERAL HOSPITAL SITE  
RE-DEVELOPMENT

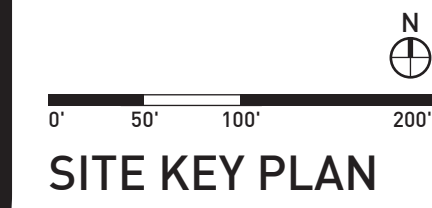


ISSUE DATE	FOR	Designed By:
4/22/25	REVIEW	LBS
5/5/25	REVIEW	BMS
		LBS
		BMS
		24042
		SHEET NO. 16
		DWG. NO. D-1



UNIT BREAKDOWN					
UNIT TYPE	# of BEDROOMS	# of BATHS	UNIT FOOTPRINT (sf)	TOTAL UNIT AREA (gsf)	TOTAL UNITS
1	3	2.5	1170	1540	17
2	3	2.5	1120	1560	9
3	3	2.5	950	1510	6
4	2/3	2.5	1120	1520	4
					<b>36</b>

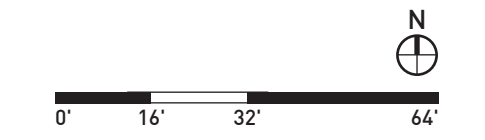
\* Garage area not included in total unit area



PROJECT BREAKDOWN						
BUILDING	# of UNITS	UNIT TYPE	STORIES	BUILDING HEIGHT	BUILDING FOOTPRINT (gsf)	BUILDING AREA (gsf)
A	3	1	2	22'-8"	3600	6240
B	3	1	2	22'-8"	3600	6240
C	3	1	2	22'-8"	3600	6240
D	3	1	2	22'-8"	3600	6240
E	3	1	2	22'-8"	3600	6240
F	2	4	2	22'-8"	2250	4190
G	2	4	2	22'-8"	2250	4190
H	6	3	2	21'-4"	6170	11610
I	3	2	2	22'-8"	3370	6290
J	3	2	2	22'-8"	3370	6290
K	3	2	2	22'-8"	3370	6290
L	1	1	2	22'-8"	1180	2080
M	1	1	2	22'-8"	1180	2080
TOTAL	36	-	-	-	41140	74220



NOTE: TREES ARE SHOWN FOR REFERENCE ONLY. PLEASE REFER TO LANDSCAPE DRAWINGS ON SHEETS C-04.1 AND C-04.2 FOR FURTHER LANDSCAPING DETAIL



ARCHITECTURAL SITE PLAN  
SHEET NO: AS-101  
PRELIMINARY PUD | 02 MAY 2025  
DEVELOPER/OWNER: Veridea Group  
APPLICANT: Veridea Group  
PREPARED BY: Integrated Architecture  
PROJECT NO: 20240907



MAGNETIC STREET

BUILDING A

BUILDING I

PIQUA STREET

N-S SITE SECTION 1



MAGNETIC STREET

BUILDING D

PAVILION

BUILDING K

PIQUA STREET

N-S SITE SECTION 2



BUILDING E

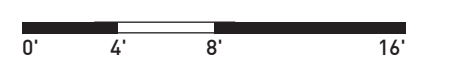
DRIVEWAY

BUILDING D

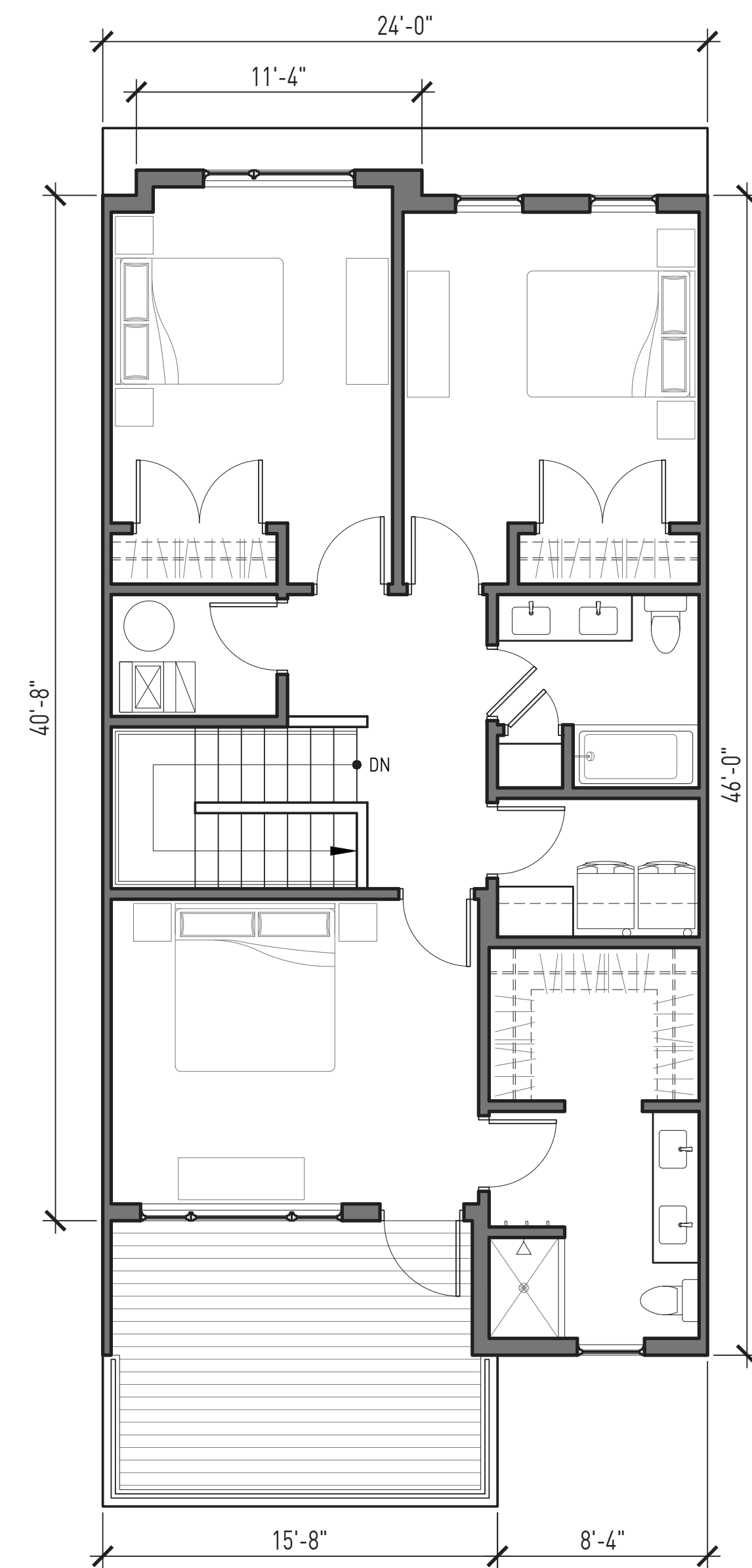
GREEN SPACE  
*(continuation of Hebard Ct)*

E-W SITE SECTION 3

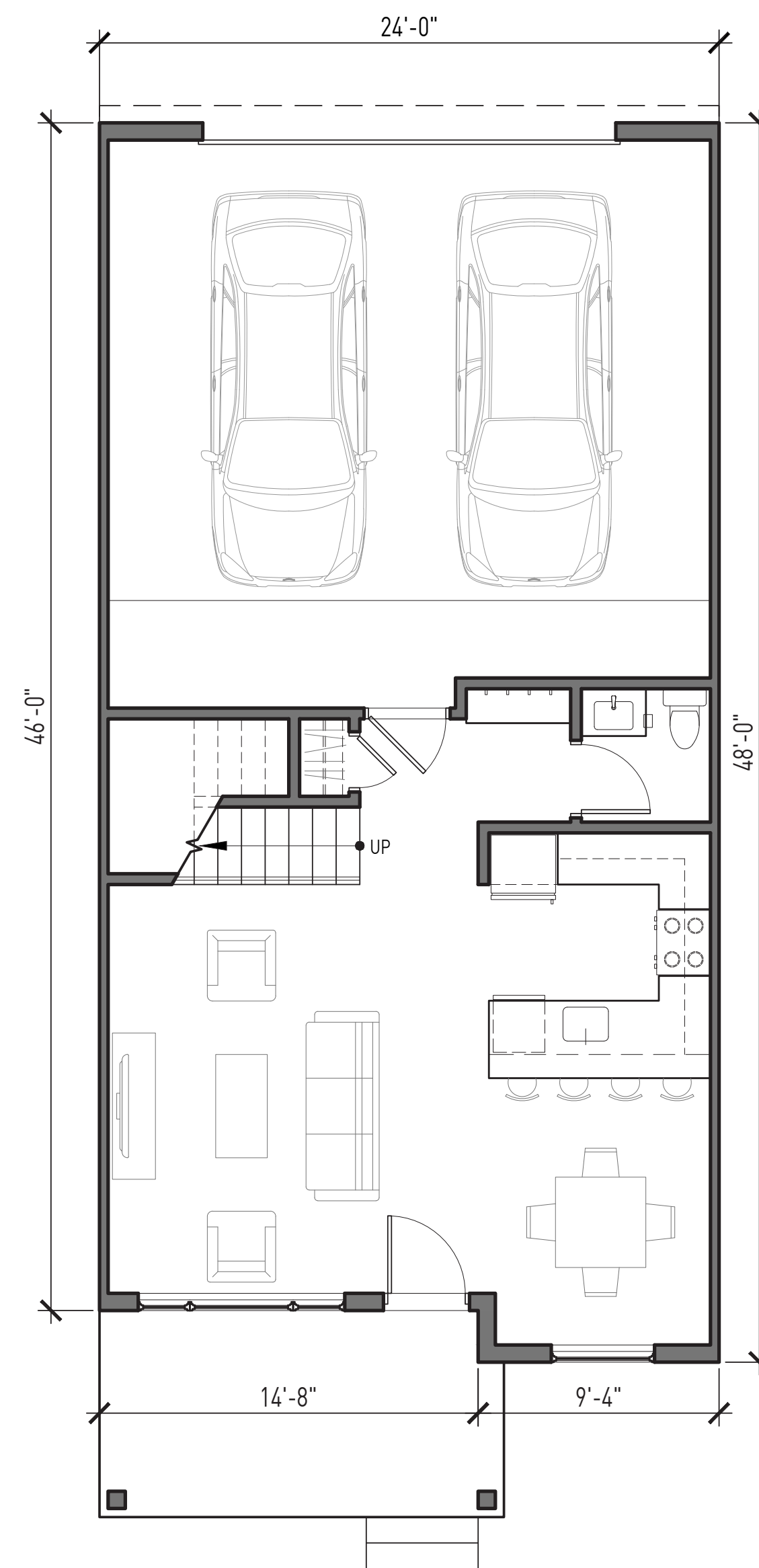
NOTE: Site sections intended to show building and site relationships, reference civil drawings for proposed grading



SITE SECTIONS	
SHEET NO:	AS-102
PRELIMINARY PUD	02 MAY 2025
DEVELOPER/OWNER: Veridea Group	
APPLICANT: Veridea Group	
PREPARED BY: Integrated Architecture	
PROJECT NO: 20240907	



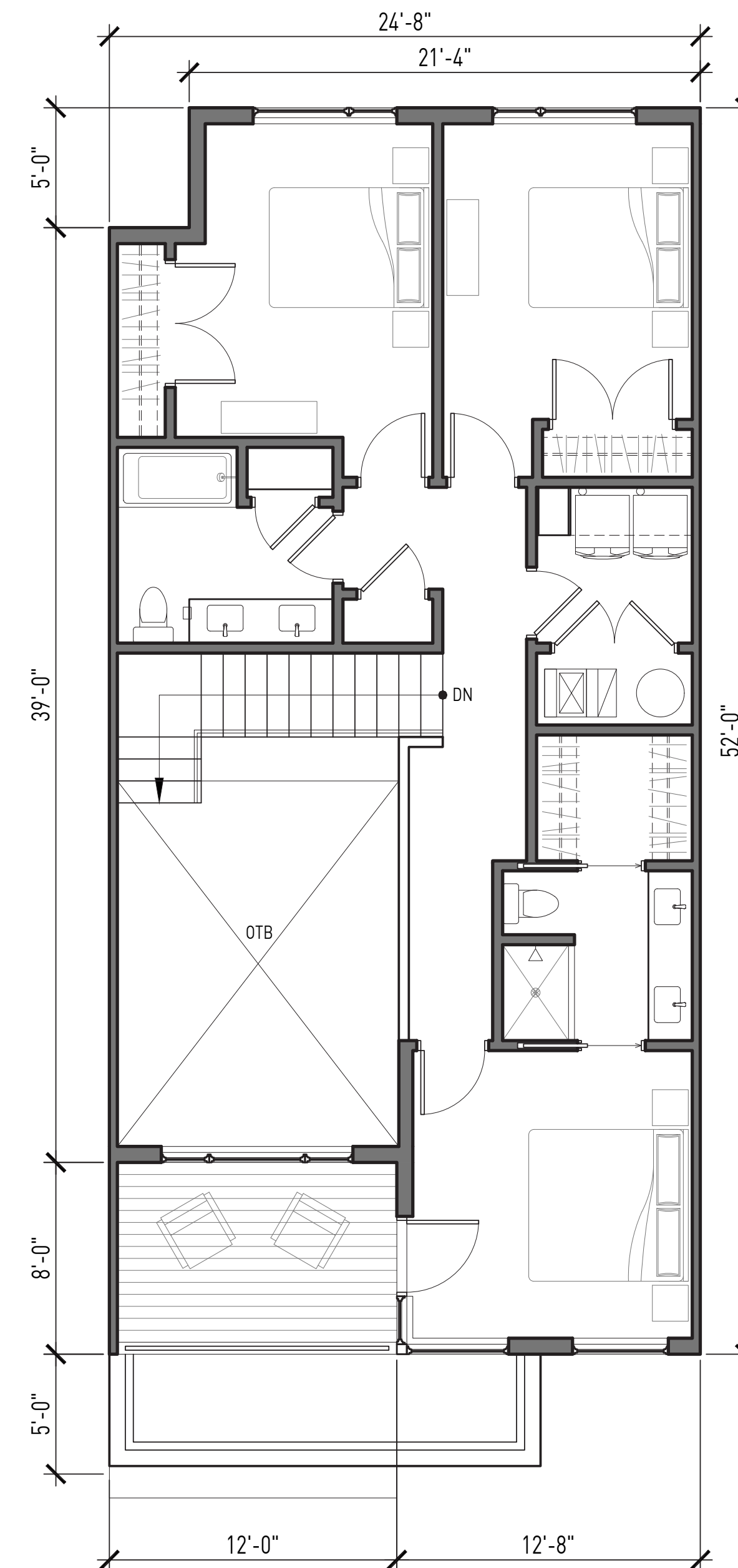
2ND FLOOR PLAN (970 GSF)



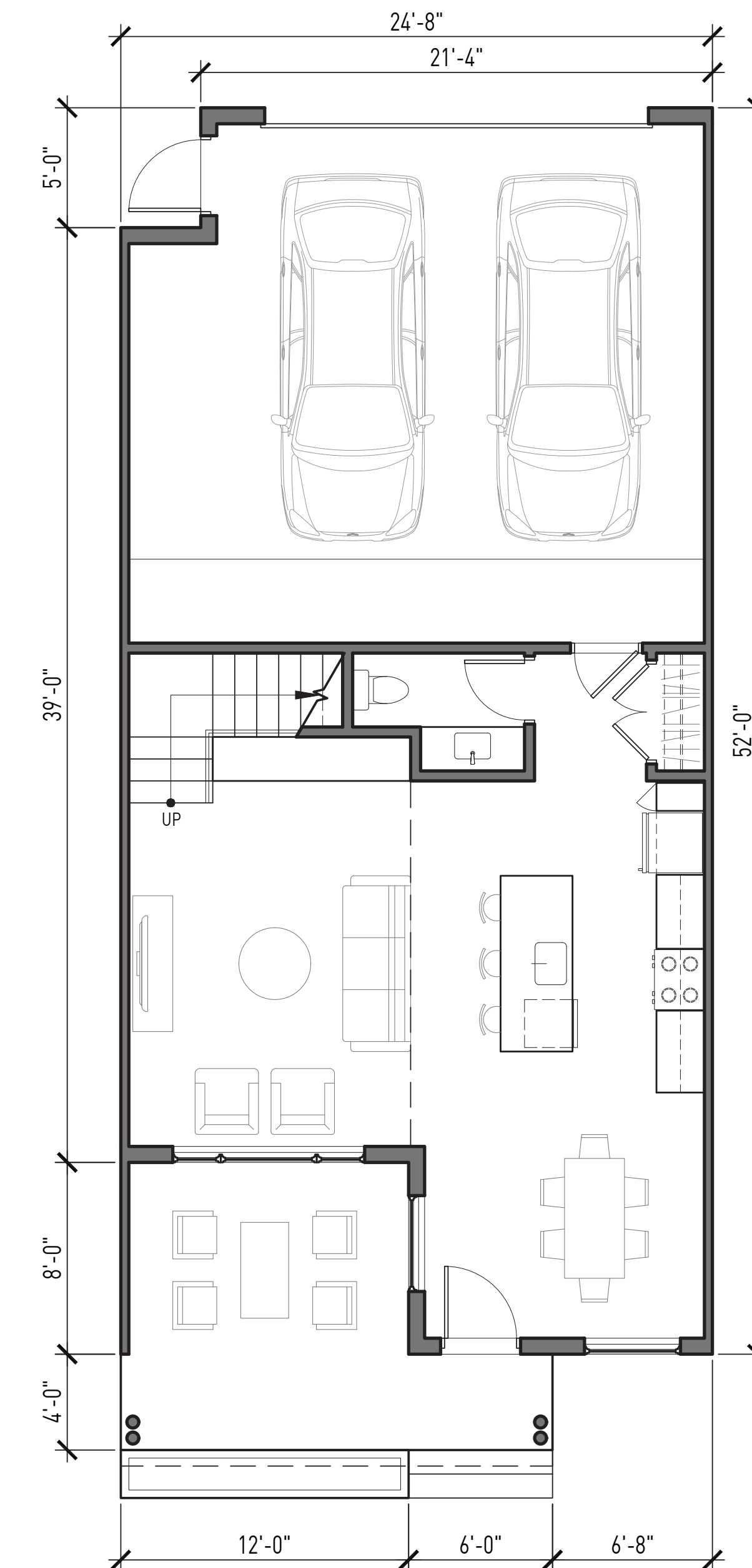
1ST FLOOR PLAN (590 GSF)

**TOWNHOUSE - TYPE 2**

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,560 GSF



2ND FLOOR PLAN (905 GSF)



1ST FLOOR PLAN (635 GSF)

**TOWNHOUSE - TYPE 1**

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,540 GSF



UNIT FLOOR PLANS

SHEET NO: **A-101**

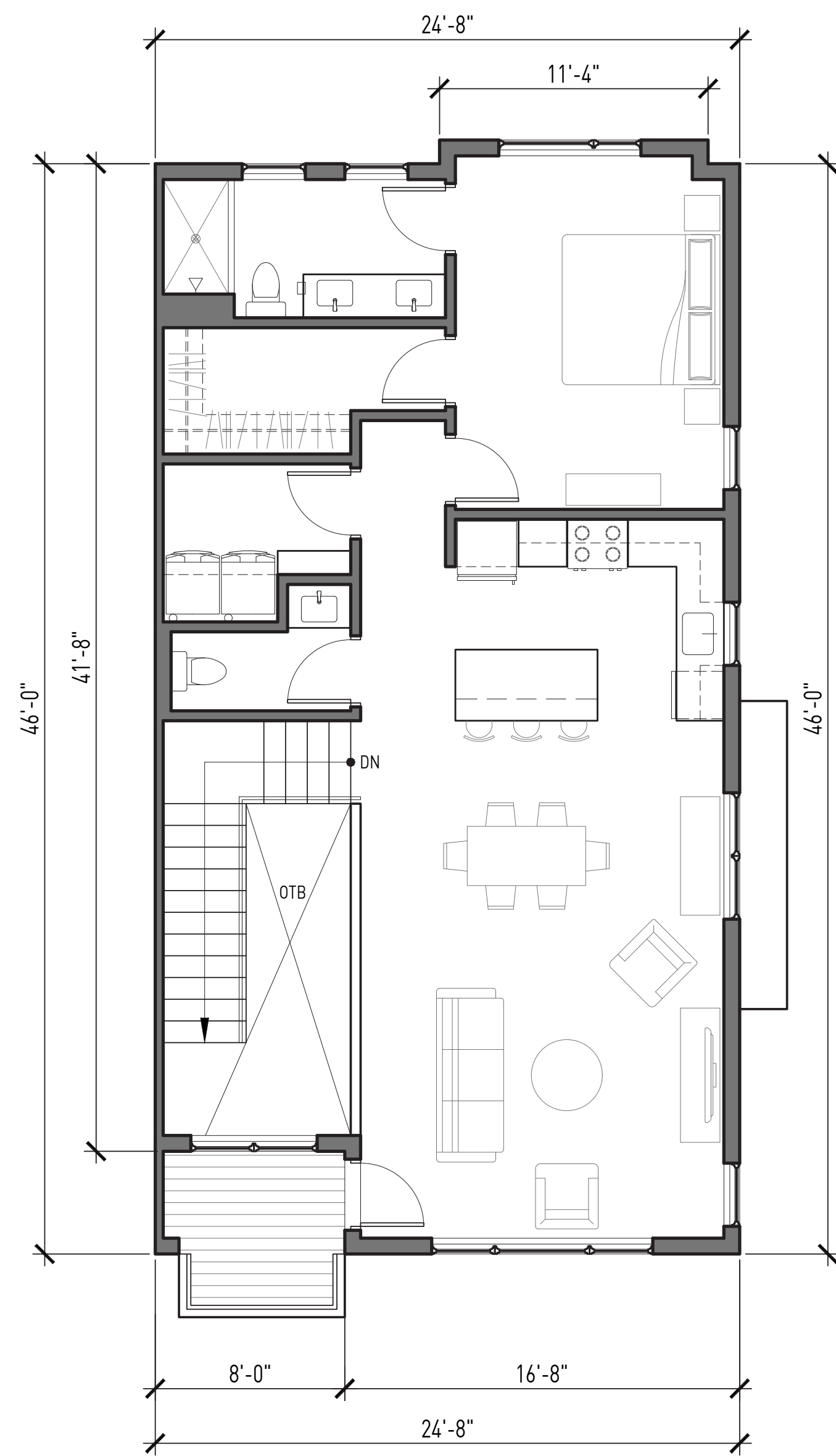
PRELIMINARY PUD | 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

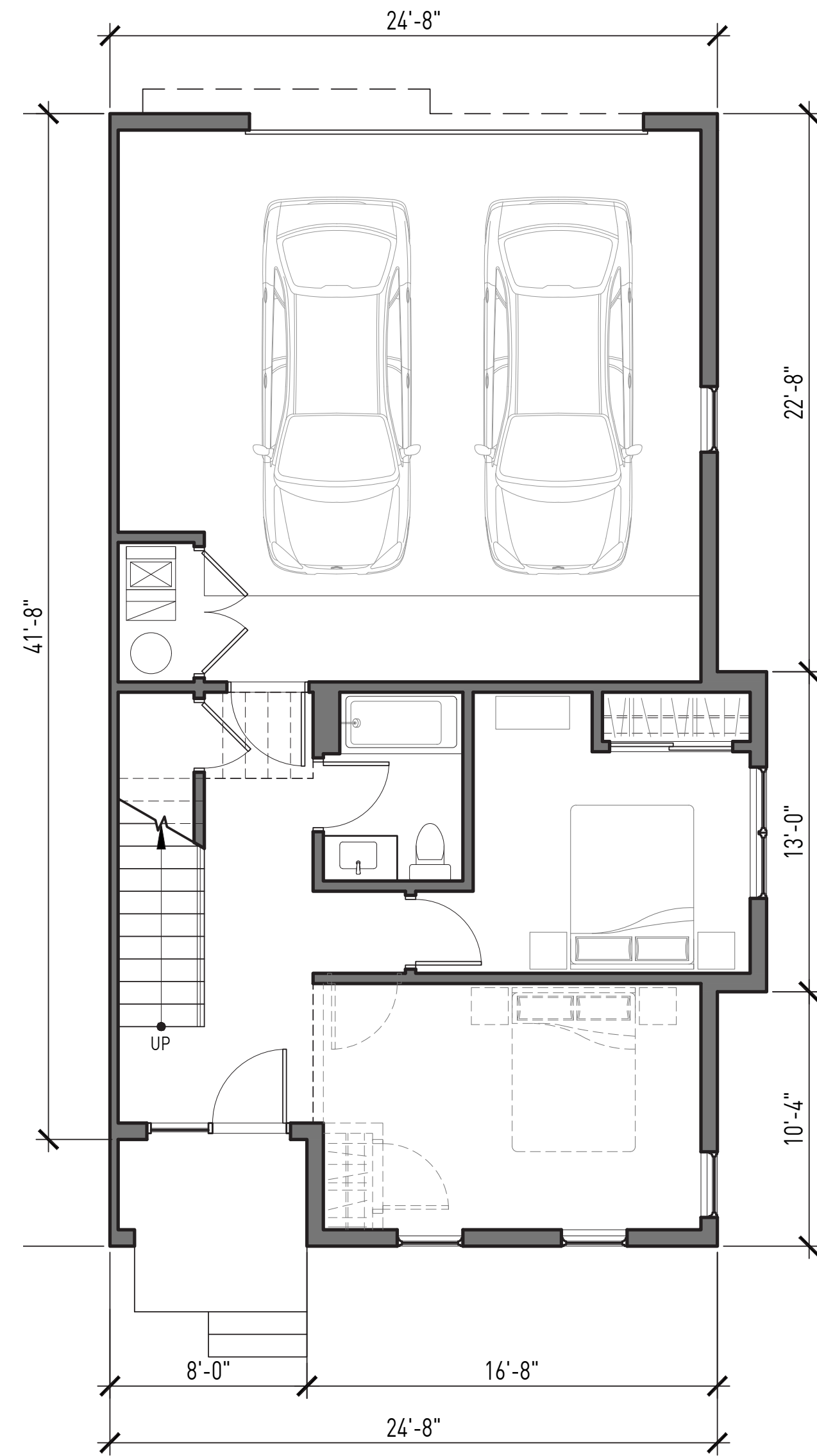
APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907



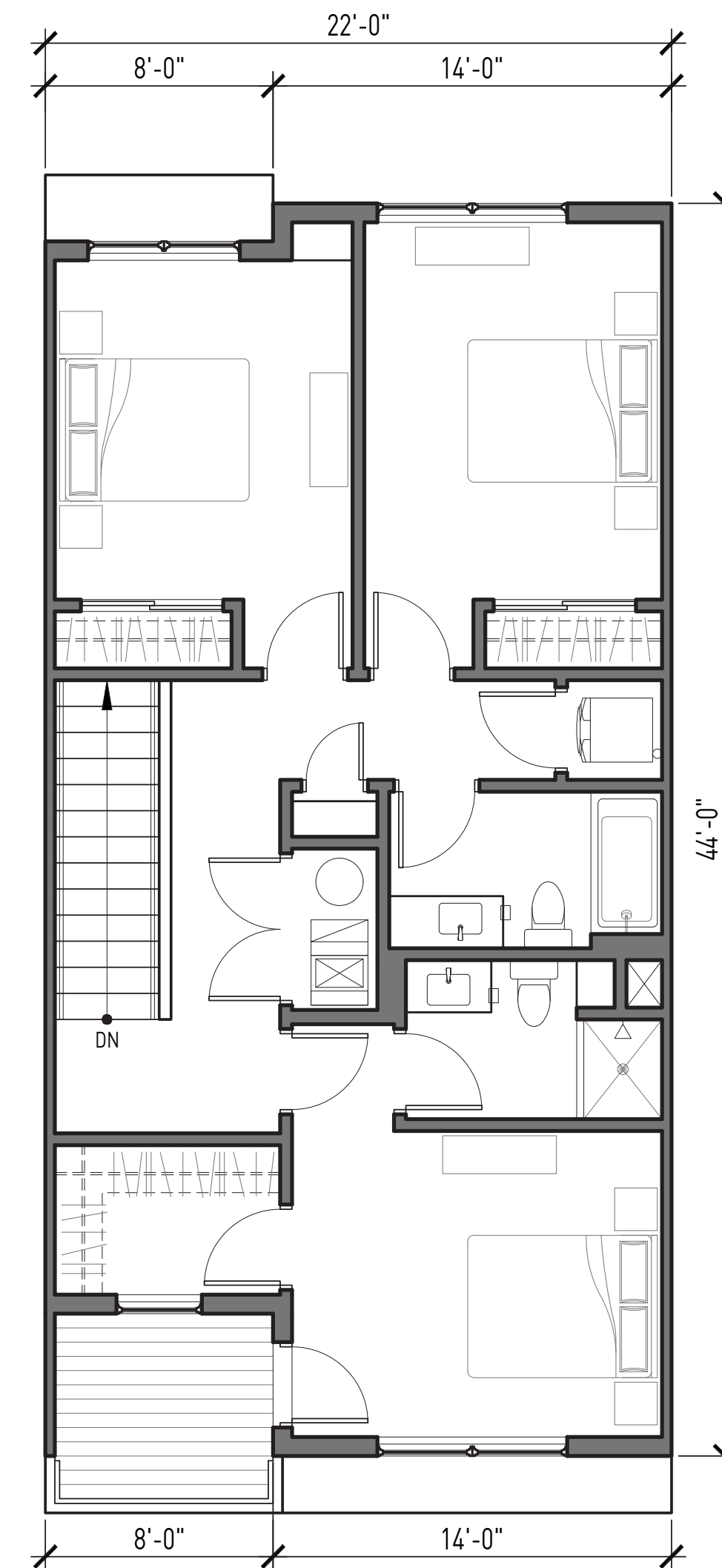
2ND FLOOR PLAN (960 GSF)



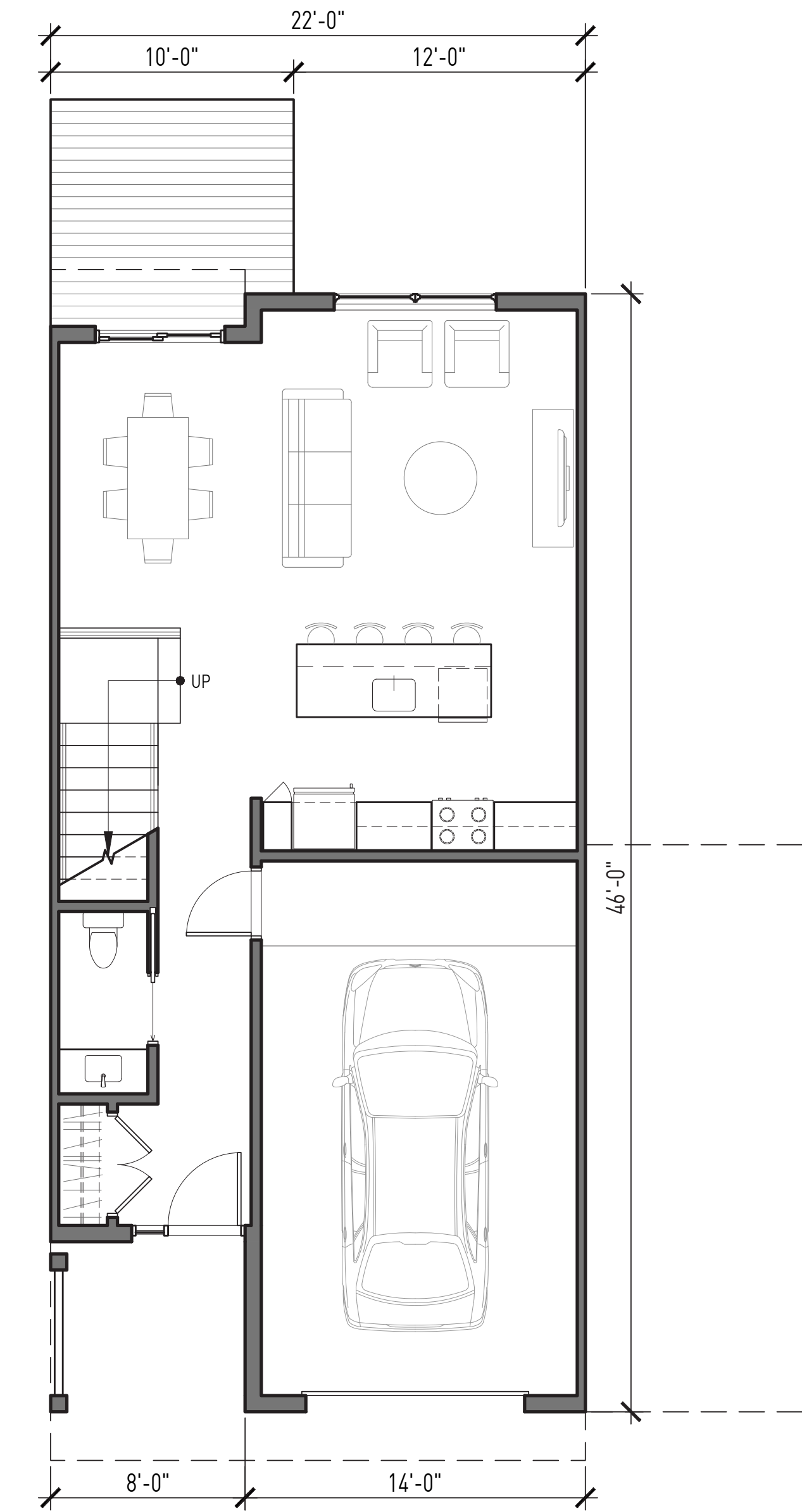
1ST FLOOR PLAN (560 GSF)

**TOWNHOUSE - TYPE 4**

- 2/3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,520 GSF



2ND FLOOR PLAN (870 GSF)



1ST FLOOR PLAN (640 GSF)

**TOWNHOUSE - TYPE 3**

- 3-BEDROOM UNIT
- 2-STORY
- TOTAL AREA: 1,510 GSF



UNIT FLOOR PLANS

SHEET NO: **A-102**

PRELIMINARY PUD | 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

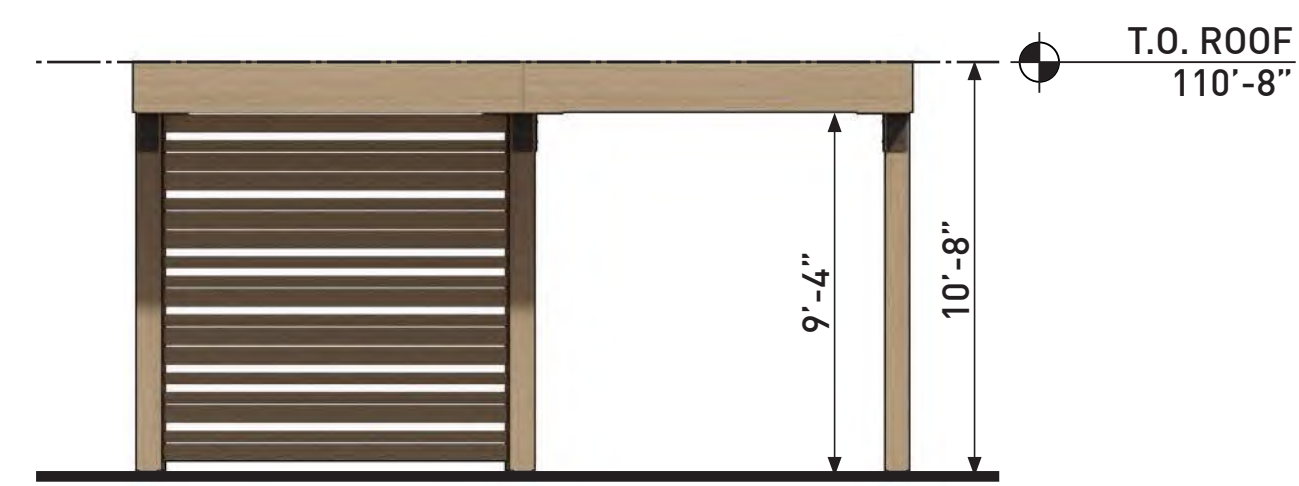
PROJECT NO: 20240907



BUILDING H - FRONT ELEVATION



PAVILION - PERSPECTIVE



PAVILION - FRONT ELEVATION



BUILDING I - FRONT ELEVATION  
(J & K SIMILAR)



BUILDING F - FRONT ELEVATION  
(BLDG G SIMILAR)



BUILDING A - FRONT ELEVATION  
(B,C,D,E,L & M SIMILAR)



BUILDING ELEVATIONS

SHEET NO: **A-501**

PRELIMINARY PUD | 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

NOTE: FINAL MATERIAL COLOR SELECTIONS TO BE DETERMINED

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- PRE-FINISHED METAL COPING
- MODULAR BRICK, RUNNING BOND
- TYPICAL, PRE-FINISHED LAP SIDING
- PRE-FINISHED METAL SHADOWBOX
- TYPICAL, RESIDENTIAL WINDOW SYSTEM
- GREEN ROOF PLANTER W/  
METAL GUARDRAIL BEHIND
- WALL SCONCE LIGHT FIXTURE
- PRE-FINISHED METAL  
COLUMNS & CANOPY
- CAST-IN-PLACE CONCRETE  
PORCH AND PLANTER



CONCEPT RENDERINGS |  
ARCHITECTURAL DETAILS

SHEET NO: **A-501**

PRELIMINARY PUD | 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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- PRE-FINISHED METAL GUARDRAIL
- COMPOSITE WOOD PORCH SOFFIT
- MODULAR BRICK, RUNNING BOND
- TYPICAL, RESIDENTIAL WINDOW SYSTEM
- PRE-FINISHED METAL SHADOWBOX
- TYPICAL, PRE-FINISHED LAP SIDING
- PRE-FINISHED METAL RESIDENTIAL GARAGE DOORS
- PRE-FINISHED METAL COLUMNS & CANOPY
- MODULAR BRICK PLANTER & CAST-IN-PLACE CONCRETE PORCH



CONCEPT RENDERINGS | ARCHITECTURAL DETAILS

SHEET NO: **A-502**

PRELIMINARY PUD | 02 MAY 2025

DEVELOPER/OWNER: Veridea Group

APPLICANT: Veridea Group

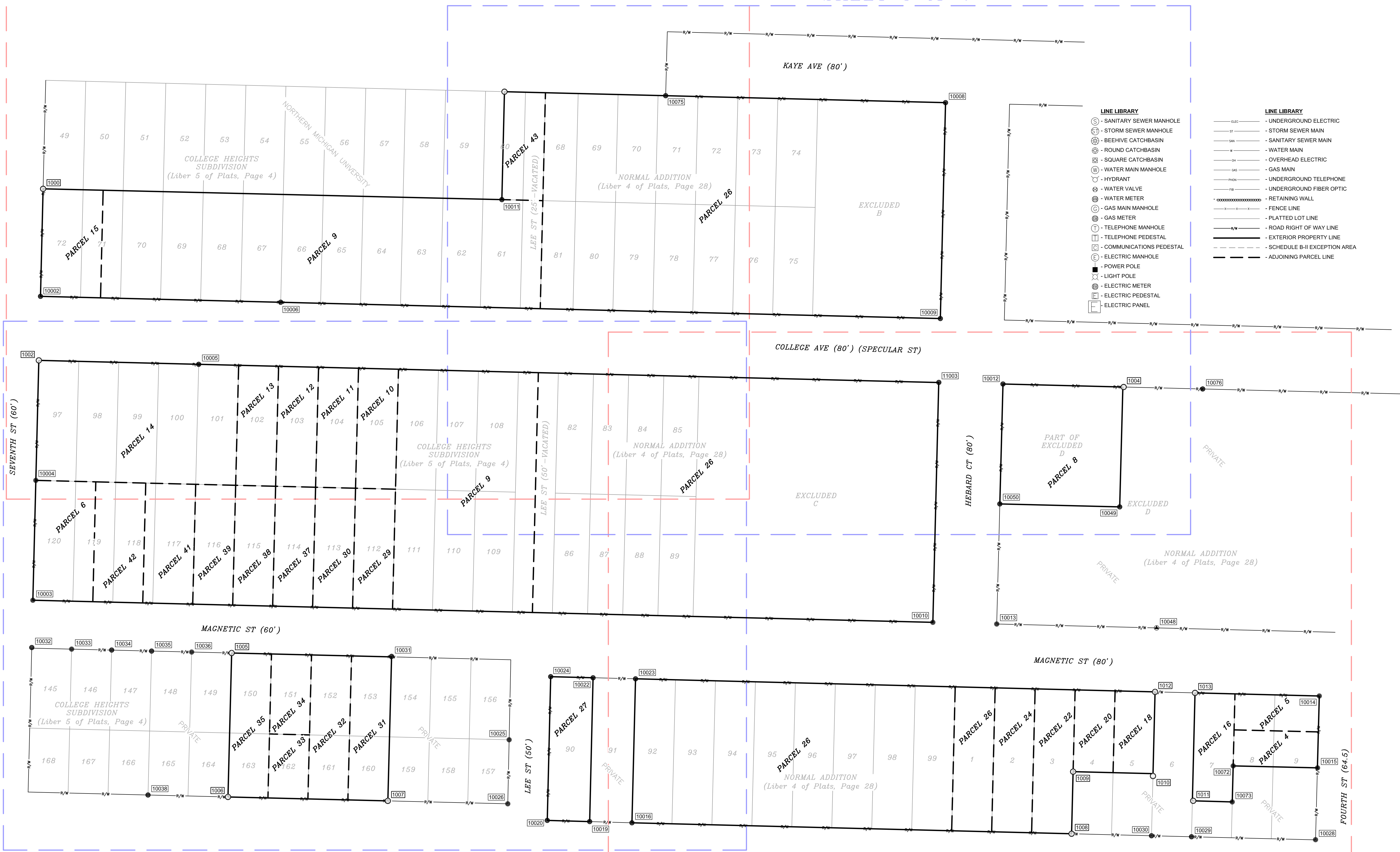
PREPARED BY: Integrated Architecture

PROJECT NO: 20240907

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ALTA/NSPS LAND TITLE SURVEY

LOTS 60 THRU 72, LOTS 97 THRU 120, LOTS 150 THRU 153 AND LOTS 160 THRU 163 OF THE COLLEGE HEIGHTS SUBDIVISION, LOTS 1 THRU 3, PART OF LOTS 4, 5, 7, 8 AND 9, LOTS 68 THRU 90, LOTS 92 THRU 99, ALL OF EXCLUDED LOTS "B" AND "C" AND PART OF EXCLUDED LOT "D" OF THE NORMAL ADDITION TO THE CITY OF MARQUETTE, PART OF VACATED LEE STREET, SECTION 14, T48N-R25W, CITY OF MARQUETTE, MARQUETTE COUNTY, MICHIGAN



**ALTA/NSPS LAND TITLE SURVEY**

LOTS 60 THRU 72, LOTS 97 THRU 120, LOTS 150 THRU 153 AND LOTS 160 THRU 163 OF THE COLLEGE HEIGHTS SUBDIVISION, LOTS 1 THRU 3, PART OF LOTS 4, 5, 7, 8 AND 9, LOTS 68 THRU 90, LOTS 92 THRU 99, ALL OF EXCLUDED LOTS "B" AND "C" AND PART OF EXCLUDED LOT "D" OF THE NORMAL ADDITION TO THE CITY OF MARQUETTE, PART OF VACATED LEE STREET, SECTION 14, T48N-R25W, CITY OF MARQUETTE, MARQUETTE COUNTY, MICHIGAN

**SCHEDULE C - LEGAL DESCRIPTION**

Land in the City of Marquette, Marquette County, MI, described as follows:

- Parcel 4:**  
The South 45 feet of the North 90 feet of Lots 8 and 9 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 5:**  
The North 45 feet of Lots 8 and 9 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 6:**  
The West 1/2 of Lot 119, and Entire Lot 120, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 8:**  
A parcel of land in the Northeast Quarter of the Southwest Quarter (NE 1/4 of SW 1/4) of Section 14, Township 48 North, Range 25 West, of the Normal Addition to the City of Marquette, County of Marquette and State of Michigan, described as:  
That portion of excluded Lot D beginning at the Southeast corner of West College Avenue and Hebard Court; Thence East 150 feet; Thence South 150 feet; Thence West 150 feet; Thence North 150 feet to the point of beginning, and Also having been described as follows:  
That part of that piece of land designated as Parcel D of the Plat of the Normal Addition to the said City of Marquette and more particularly described as follows: Commencing at a point on the South line of College Avenue (formerly Specular Street) 350 feet West of the Southwest corner of the intersection of Presque Isle Avenue and College Avenue; Thence South 150 feet; Thence West parallel with College Avenue 50 feet; Thence North 150 feet to the South line of College Avenue; Thence East along the South line of College Avenue 50 feet to the point of beginning.  
And, that part of that piece of land designated as Parcel D on the Plat of the Normal Addition to the City of Marquette, more particularly described as: Commencing at the Southeast corner of the intersection of Specular Street and Hebard Court, running thence East on the South line of Specular Street 100 feet; Thence South parallel with the East line of Hebard Court 150 feet; thence West parallel with Specular Street 100 feet to the East line of Hebard Court; Thence North on the East line of Hebard Court 150 feet to the place of beginning.
- Parcel 9:**  
Lot 61 through 70, inclusive and the East 1/2 of Lot 71, Also Lots 106 through 111, inclusive including vacated Lee Street lying adjacent to Lots 61, 108 and 109, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 10:**  
Lot 105, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 11:**  
Lot 104, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 12:**  
Lot 103, of College Heights, as recorded in Liber 5 of Plats Page 4, Marquette County Records.
- Parcel 13:**  
Lot 102, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 14:**  
Lots 97 through 101, inclusive, of College Heights, as recorded in Liber 5 of Plats, Page 4 Marquette County Records.
- Parcel 15:**  
The West 1/2 of Lot 71, and Entire Lot 72, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 16:**  
The North 135 feet of Lot 7 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 18:**  
The North 102.3 feet of Lot 5 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 20:**  
The North 102.3 feet of Lot 4 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 22:**  
Lot 3 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 24:**  
Lot 2 of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 26:**  
Lot 1, Excluded Lot B, Lots 68 through 81, inclusive, including adjacent vacated Lee Street, Excluded Lot C, Lots 82 through 89, inclusive, including adjacent vacated Lee Street, and Lots 92 through 99, inclusive, of Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records, also being premises situated in Section 14, Township 48 North, Range 25 West.
- Parcel 27:**  
Lot 90 Normal Addition to the City of Marquette, as recorded in Liber 4 of Plats, Page 28, Marquette County Records.
- Parcel 29:**  
Lot 112, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 30:**  
Lot 113, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 31:**  
Lots 153 and 160, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 32:**  
Lots 152 and 161, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 33:**  
Lot 162, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 34:**  
Lot 151, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 35:**  
Lots 150 and 163, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 37:**  
Lot 114, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 38:**  
Lot 115, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 39:**  
Lot 116, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 41:**  
Lot 117 and the East 12.5 feet of Lot 118, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 42:**  
The West 37.5 feet of Lot 118, and the East 1/2 of Lot 119, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.
- Parcel 43:**  
Lot 60, except the West 24 feet, including vacated street lying adjacent to said lot, of College Heights, as recorded in Liber 5 of Plats, Page 4, Marquette County Records.

**SCHEDULE B, PART II - EXCEPTIONS**

Issued through First American Title Insurance Company, Commitment Number NCS-1091568-NAS, Revision No.: 2 with an effective date of September 12, 2022, has been reviewed in conjunction with the preparation of this survey. Notes related to the review of this title policy, Schedule B, Part II Exceptions are as follows:

- 1-6. Intentionally Omitted.
- 7. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 109, Page 605. (Affects Parcel 29) - **SHOWN ON PAGE 5 OF 7**
- 8. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 115, Page 411. (Affects Parcel 35) - **SHOWN ON PAGE 5 OF 7**
- 9. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 116, Page 43. (Affects Parcel 9) - **SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7**
- 10. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 146, Page 381. (Affects Parcel 35) - **SHOWN ON PAGE 4 OF 7**
- 11. Building and use restrictions and other terms covenants and conditions, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604 (c), disclosed by instrument recorded in Liber 159, Page 9. (Affects Parcel 39) - **SHOWN ON PAGE 4 OF 7**
- 12. The terms, provisions and easement(s) contained in the document entitled "Conveyance of Right of Way" recorded November 2, 1993 as Liber 139 of Miscellaneous Records, Page 598. (Affects Parcel 34) - **SHOWN ON PAGE 4 OF 7**
- 13. The terms, provisions and easement(s) contained in the document entitled "Permanent Easement Agreement" recorded March 18, 1998 as Liber 153 of Miscellaneous Records, Page 489. (Affects Parcel 9) - **SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7**
- 14. The terms, provisions and easement(s) contained in the document entitled "Easement Agreement" recorded October 16, 1998 as Liber 155 of Miscellaneous Records, Page 582. - **NOT MAPPABLE**
- 15. The terms, provisions and easement(s) contained in the document entitled "Deed" recorded February 1, 1979 as Liber 330, Page 952. Affected by (Partial) Termination of Encumbrances dated August 30, 2012 and recorded September 6, 2012 in Instrument No. 2012R-10470 of Official Records. (Affects Parcel 9) - **SHOWN ON PAGE 2 OF 7 AND PAGE 3 OF 7**
- 16. The terms, provisions and easement(s) contained in the document entitled "Quit-Claim Deed" recorded September 16, 1980 as Liber 336, Page 376 of Official Records. (Affects Parcel 18) - **SHOWN ON PAGE 5 OF 7**
- 17. The terms, provisions and easement(s) contained in the document entitled "Temporary Easement Agreement" recorded September 14, 2005 as Instrument No. 2005R-11811 of Official Records. (Affects Parcels 9 through 14, 29 and 30, 37 and 38) - **SHOWN ON PAGE 3 OF 7 AND PAGE 5 OF 7**
- 18. The terms, provisions and easement(s) contained in the document entitled "Easement Agreement" recorded December 22, 2015 as Instrument No. 2015R-12456 of Official Records. - **NOT PART OF THIS SURVEY**
- 19-23. Intentionally Omitted.
- 24. The terms and provisions contained in the document entitled "Notice of Option to Repurchase and Covenants Running with the Land" recorded as Liber 100, Page 415 of Official Records. (Affects Parcel 43) - **NOT MAPPABLE**
- 25. The terms, provisions and easement(s) contained in the document entitled "Warranty Deed" recorded as Liber 330, Page 952 of Official Records. (Affects Parcel 43) - **WARRANTY DEED REFERENCES COVENANTS SUBJECTING PARCEL, BUT DOES NOT SPECIFY WHAT THEY ARE. - NOT MAPPABLE. WARRANTY DEED ALSO REFERENCES A NEGATIVE EASEMENT TO RESTRICT VEHICLE AND PEDESTRIAN ACCESS TO KAYE AVENUE FROM PARCEL - SHOWN ON PAGE 3 OF 7**
- 26. Lien(s) for any additional taxes which may become due as a result of a reassessment and retroactive adjustment of taxes. (Affects Parcel 43) - **NOT MAPPABLE**

**SURVEY NOTES**


- 1. Other commitment items not specified hereon may have been considered irrelevant to an ALTA/NSPS Land Title Survey and have not been reviewed in conjunction with preparation of this plat (i.e. Annexation Agreements, Leases, Mortgages, Liens, Special Assessments, Covenants, Trusts, Unspecified or Unrecorded Rights).
- 2. Utility locations derived from observed evidence during field survey, utility facilities mapping provided by utility company and a private underground utility locate performed by TriMedia on December 3, 2021.
- 3. (M) indicates TriMedia measured dimensions, (R) indicates record survey dimensions, (PLAT) indicates platted dimensions
- 4. **Note to the client, insurer, and lender – With regard to Table A, item 11, information from the utility company sources will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.**
- 5. Units: International Feet
- 6. Vertical Datum: NAVD88
- 7. Bearings based upon Michigan State Plane Coordinate System, North Zone (2111), NAD83/2011

**SURVEYOR'S CERTIFICATE**

ALTA / NSPS Land Title Survey

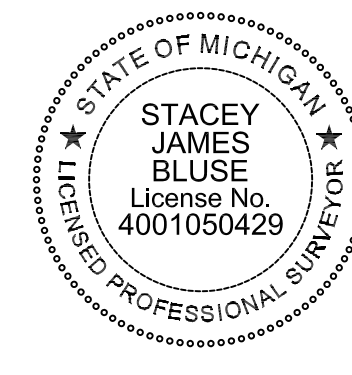
TO MSHDA, Cinnare Title Services, and the Marquette Housing Commission:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 4 and 11(b) of Table A thereof. The field work was completed on December 7, 2021.

TRIMEDIA ENVIRONMENTAL AND ENGINEERING, LLC

By:   
Stacey J. Bluse, P.S. No. 4001050429

DATE: 10/18/2022

**PREPARED BY**  
Trimedia Environmental & Engineering Services, LLC  
830 West Washington St.  
Marquette, MI 49855  
(906)-228-5125  
sbluse@trimediaee.com



**TABLE A NOTES**

- 1. Monumentation has been found or set at all corners of the property and are described in the Schedule of Property Monuments below
- 4. Gross land area for all parcels combined is 17,6000 acres.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by markings coordinated by the surveyor pursuant to a private utility locate request completed by Trimedia on December 03, 2021.

**Note to the client, insurer, and lender – With regard to Table A, item 11, information from the utility company sources will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.**

**SCHEDULE OF PROPERTY MONUMENTS (1000 - TYP)**

- 1000 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUDED 0.4' HIGH INTO CONCRETE RETAINING WALL
- 1001 - SET CAP No. 4001050429 ON FOUND 5/8" IRON
- 1002 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUDED FLUSH INTO CONCRETE SIDEWALK
- 1004 - SET 5/8" x 18" IRON W/CAP No. 4001050429, 1.00' EAST OF PROPERTY CORNER POSITION
- 1005 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 1006 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 1007 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 1008 - SET 5/8" x 18" IRON W/CAP No. 4001050429, GROUDED FLUSH INTO CONCRETE
- 1009 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 1010 - SET 5/8" x 18" IRON W/CAP No. 4001050429, 3.00' SOUTH OF PROPERTY CORNER POSITION
- 1011 - SET 5/8" x 18" IRON W/CAP No. 4001050429, 1.00' EAST OF PROPERTY CORNER POSITION
- 1012 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 1013 - SET 5/8" x 18" IRON W/CAP No. 4001050429
- 10000 - FD. 5/8" IRON W/CAP No. 40167
- 10002 - FD. 5/8" IRON W/CAP No. 27464
- 10003 - FD. 1" PIPE
- 10004 - FD. 1" PIPE
- 10005 - FD. 5/8" IRON W/CAP No. 40167
- 10006 - FD. 5/8" IRON W/CAP No. 40167
- 10008 - FD. 5/8" IRON W/CAP No. 40167
- 10009 - FD. 5/8" IRON W/CAP No. 40167
- 10010 - FD. 1" PIPE
- 10011 - FD. 5/8" IRON W/CAP No. 40167
- 10012 - FD. 5/8" IRON W/CAP No. 28404
- 10013 - FD. 3/4" PIPE
- 10014 - FD. 1" PIPE
- 10015 - FD. 3/4" PIPE
- 10016 - FD. 5/8" IRON W/CAP No. 27464
- 10019 - FD. 5/8" IRON W/CAP No. 27464
- 10020 - FD. 5/8" IRON W/CAP No. 27464
- 10022 - FD. 5/8" IRON W/CAP No. 27464
- 10023 - FD. 5/8" IRON W/CAP No. 27464
- 10024 - FD. 5/8" IRON W/CAP No. 27464
- 10025 - FD. 1" PIPE
- 10026 - FD. 1-1/4" PIPE
- 10028 - FD. 1" PIPE
- 10029 - FD. 1/2" IRON W/CAP No. 19616
- 10030 - FD. 1/2" IRON W/CAP No. 19616
- 10031 - FD. T-IRON
- 10032 - FD. 1/2" CAPPED IRON (NOT LEGIBLE)
- 10033 - FD. 3/4" PIPE
- 10034 - FD. T-IRON
- 10035 - FD. T-IRON
- 10036 - FD. 1" PIPE UNDER ROCK WALL (TOOK SHOT 0.3" WEST)
- 10038 - FD. 3/8" IRON
- 10048 - FD. PK NAIL W/WASHER P.S. No. 50454
- 10049 - FD. IRON W/CAP No. 28404 AT FENCE END
- 10050 - FD. 5/8" IRON W/CAP No. 28404
- 10072 - FD. 3/4" PIPE
- 10073 - FD. 3/4" PIPE
- 10075 - FD. 5/8" IRON W/CAP No. 40167
- 10076 - FD. T-IRON
- 11003 - FD. 5/8" IRON W/CAP No. 40167, N42°10'17"E, 0.20' FROM ACCEPTED PROPERTY CORNER LOCATION



NMU FOUNDATION  
PART OF THE COLLEGE HEIGHTS SUBDIVISION AND  
THE NORMAL ADDITION TO THE CITY OF MARQUETTE

P:\2021\2021-2790 - NMU Foundation - Former Marquette Hospital\Drawings\2021-2790 - NMU Foundation ALTA Survey of MSHDA Properties 2022-10-16.dwg

DATE	DESCRIPTION	ISSUED
10/18/22	SUBMITTAL - REVISED TITLE	
05/20/22	SUBMITTAL (per current title)	
12/15/21	DRAFT SUBMITTAL	

DESIGNED:   
DRAWN: SJB  
CHECKED: SDK  
APPROVED: SDK

TRIMEDIA  
JOB NUMBER:  
2021-2790

SHEET TITLE:

ALTA/NSPS  
Land Title  
Survey

S-6

SHEET NUMBER:

6 OF 7